

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to GWEN J. EDNEY, 4964 Ladera Lane, Riverside, California <sup>4694</sup>

her heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property.

That portion of Indian Hill Drive which fronts the northwesterly corner of the easterly portion of Lot 16 of Rubidoux Heights, recorded in Map Book 4, Page 80, and Map Book 5, Page 150, being 4964 Ladera Lane, and as shown on Exhibit "A."

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows:

For the construction of a retaining wall within the street right-of-way, as shown on Exhibit "A" attached hereto and made a part of this Encroachment Permit.

Prior to construction of the retaining wall, the Contractor doing the work shall obtain a construction permit from the City Engineer's Office at 3870 Mulberry Street.

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: Sept. 11, 1968

CITY OF RIVERSIDE, a municipal corporation

By [Signature] Mayor

Attest [Signature] City Clerk

The foregoing is accepted by:

Gwen J. Edney  
(Signature(s) of Permittee)

APPROVED AS TO CONTENT

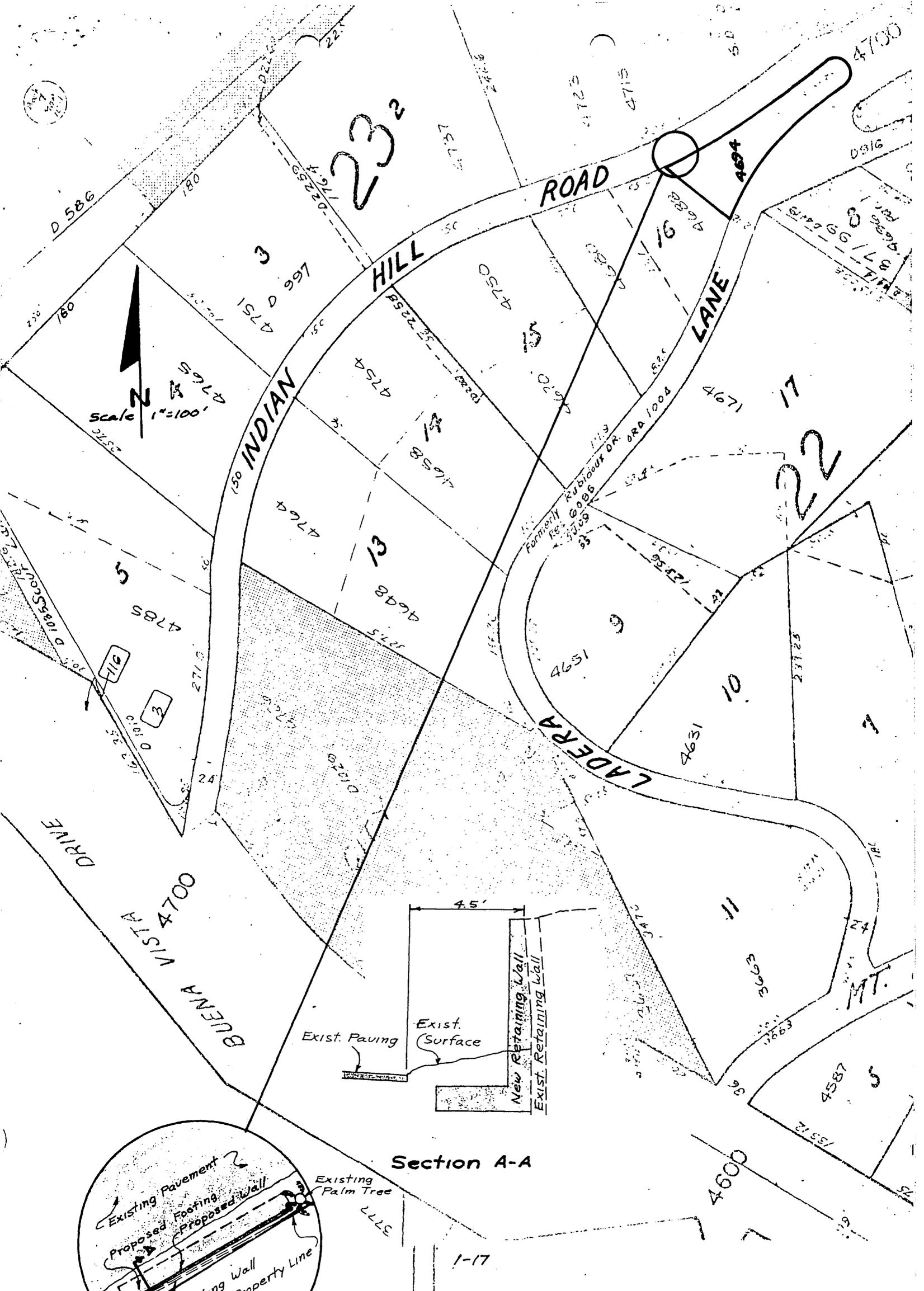
Noel Christensen  
Public Works Director

APPROVED AS TO FORM:

[Signature]  
City Attorney

APPROVED AS TO CONTENT

[Signature]  
CITY MANAGER



# EXHIBIT "A"

E-203

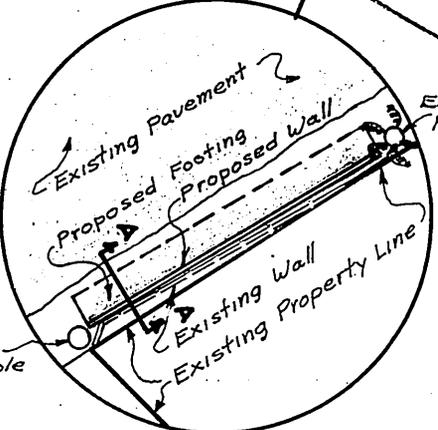
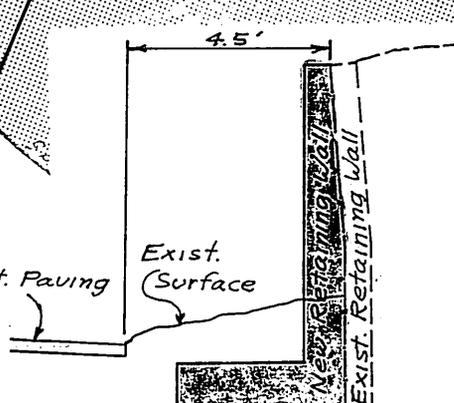
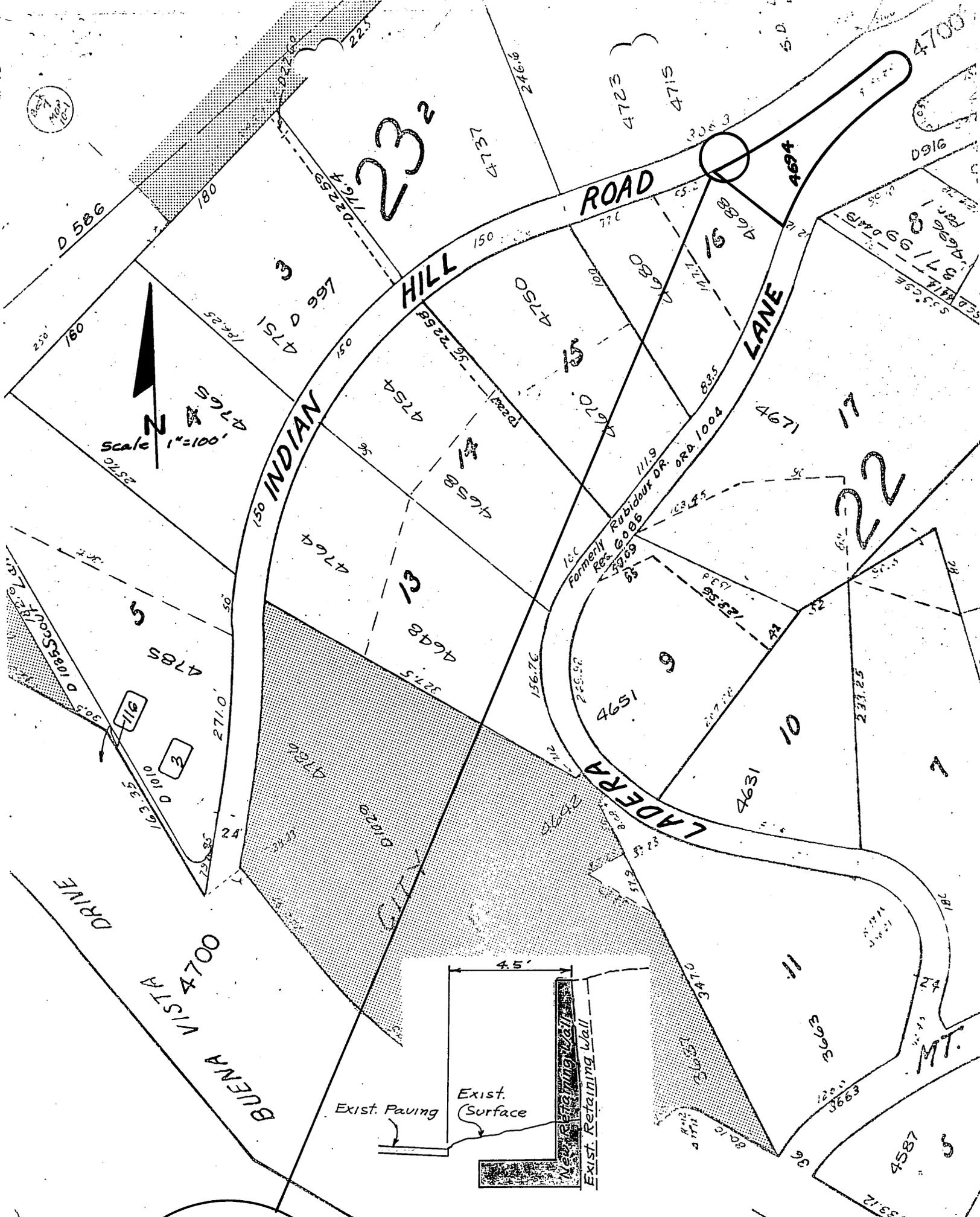
7/17/68 dck

Book 1007  
Page 1007

Scale 1" = 100'  
N  
4751  
4750  
4752

23<sup>2</sup>

22<sup>17</sup>



No interference with water and gas lines. Checked with Water Dept. and Gas Co. 7/23/68 Haus

# EXHIBIT "A"

E-203  
7/17/68 DCK

September 17, 1968

Public Works Dept.			
	Initial	Info.	Action
Director	JFM		✓
Assistant	Rug		✓
Building			
Traffic			
Airport			
Off. Engr.	TJB		✓
Cap. Proj.			
1911 Act			
Plan Chk.			
Rt. of W.	Hank		✓
Inspection			
Survey	EP		✓
Clerical	Hens		✓
File			✓

please post

Mrs. Gwen J. Edney  
4964 Ladera Lane  
Riverside, California

4694

Re: Encroachment Permit

Dear Mrs. Edney:

Enclosed is a fully executed original of the Encroachment Permit for your files.

Yours very truly,

J. F. MARTINEK  
Public Works Director

By WILLIAM D. GARDNER  
Assistant City Engineer

DCK:WDG:mh

Enclosure: Encroachment Permit

CL-304-408C

E-203



4694 , Ladera Lane,  
Riverside . 92501.

26<sup>th</sup> August 1968 .

The Honorable Mayor,  
City of Riverside.

Dear Sir,

It is necessary for me to have a retaining wall constructed in order to support an existing wall which is cracked. As this will encroach on city property on Indian Hill Road, I request your approval of the attached Encroachment Permit.

Yours truly,

Gwen J. Edney.

Public Works Dept.		
	Initial	Info. Action
Director		
Assistant		
Building		
Traffic		
Airport		
Off. Engr.	WMB	✓
Cap. Proj.		
1911 Act		
Plan Clk.		
Rt. of W		
Inspection		
Survey		
Clerical	WMB	✓
File		✓

August 7, 1968

Mrs. E. B. Edney  
 4964 Ladera Lane  
 Riverside, California

4694

Re: Encroachment Permit

Dear Mrs. Edney:

Enclosed are three copies of an Encroachment Permit for the construction of a retaining wall in the Indian Hill Drive right of way.

Please sign all three copies and return them to this office, along with a letter addressed to the "Honorable Mayor," requesting approval of the Encroachment Permit, and stating the reasons for requesting the approval.

Your letter to the Mayor and the Encroachment Permit will then be sent by us to the City Clerk for execution by the Mayor.

Yours very truly,

J. F. MARTINEK  
 Public Works Director

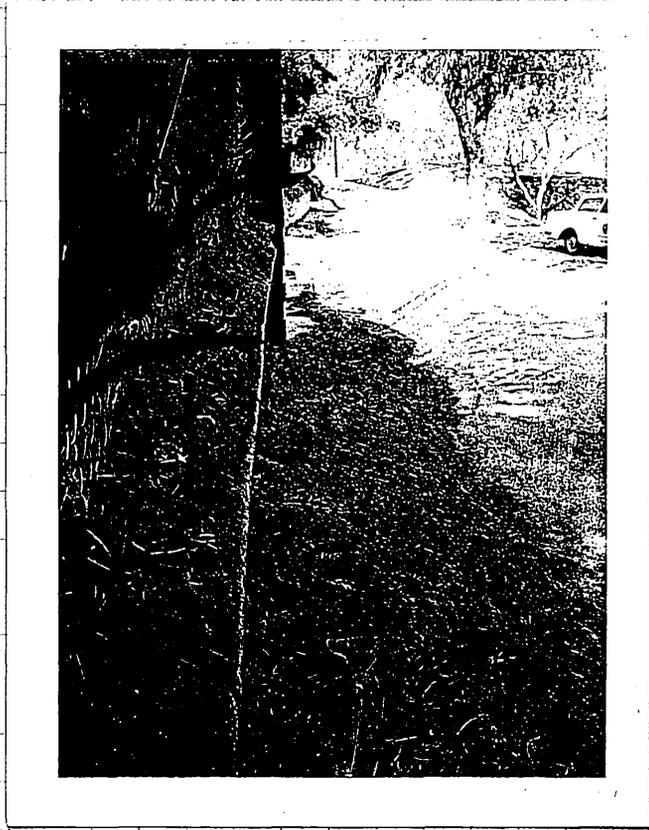
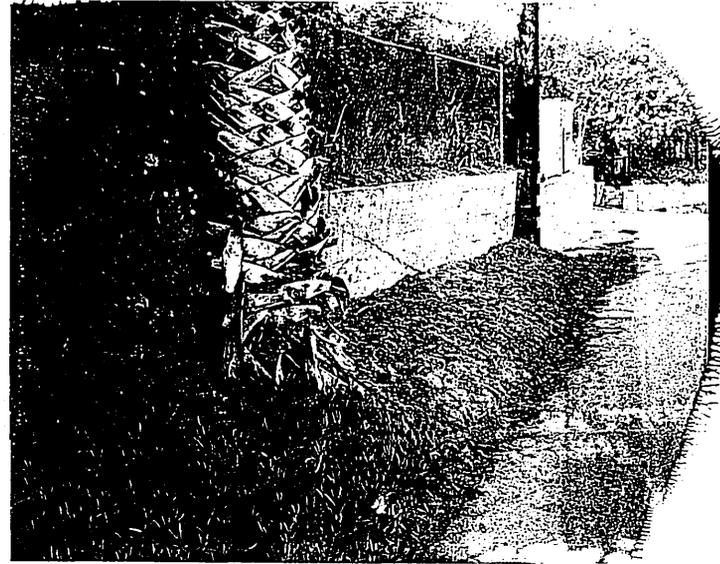
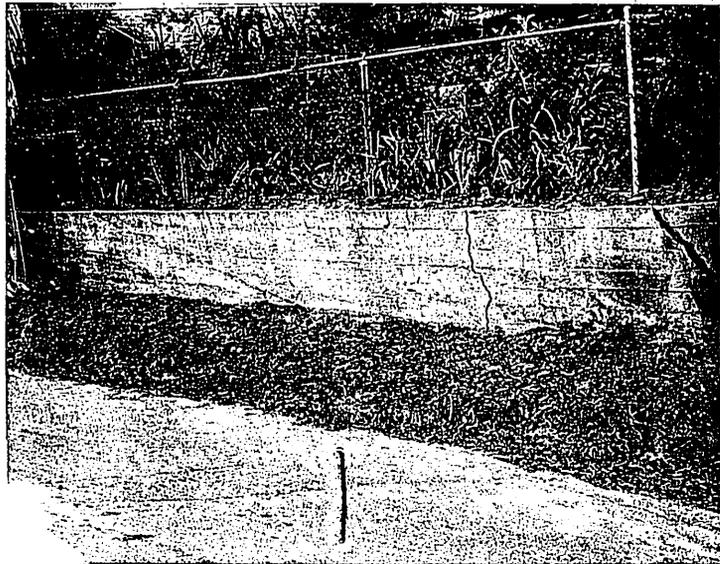
By WILLIAM D. GARDNER  
 Chief Public Works Engineer

DCK:WDG:mh  
 Enclosure: Encroachment Permit  
 cc: Public Utilities Department - Electric

C  
O  
P  
Y

7/19/68  
DK

Encroachment Permit (Mrs. Edney)  
4694 ~~4064~~ Ladena Lane.



Lewis has a B-1 license.  
He needs a A or C-P license

Handy  
7/17/68

# GALLAHER and BOVEY

soil mechanics engineers

6905 brockton avenue • riverside • california • 92506

phone • 683-5017

May 28, 1968

Job No. 8091.03

Mrs. E. B. Edney  
5694 Ladera  
Riverside, California

she will be  
back Aug. 5

4694

Dear Mrs. Edney:

Attached are sketches for two retaining wall schemes which you could use for the West retaining wall at your home.

The advantage of the wall supported by concrete piles is that the pile and pile columns could be constructed at this time to offer resistance for the existing wall; and the new wall portion placed between the piles at a future date. The advantage of the wall supported on a shallow footing is the elimination of drilling piles.

It would appear to us that the pile foundation would provide a higher degree of safety against possible wall settlement in the future and would also eliminate extending construction towards the street by at least 30 inches. Therefore we would suggest using the pile foundation scheme. If the cost of the pile wall is significantly greater than the cost of the shallow footing wall, you may wish to use the shallow footing scheme.

It would be well to have myself or one of our field engineers inspect the pile or footing excavations prior to placement of concrete to make sure that the soil conditions are as we anticipated. Settlement of the footing or pile from a soft soil condition could cause excessive yielding of the new wall.

Yours truly  
GALLAHER AND BOVEY, INC.

*LeRoy W. Bovey*  
LeRoy W. Bovey  
Civil Engineer

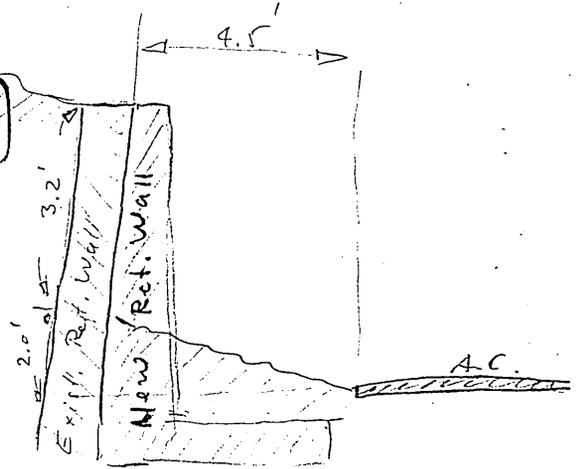
RECEIVED  
JUL 17 1968

DEPT. OF PUBLIC WORKS

Enclosures: Two Retaining Wall Schemes

Copies: Four enclosed.

lvb/mc



H M GALLAHER Civil Engineer      L V BOVEY Civil Engineer

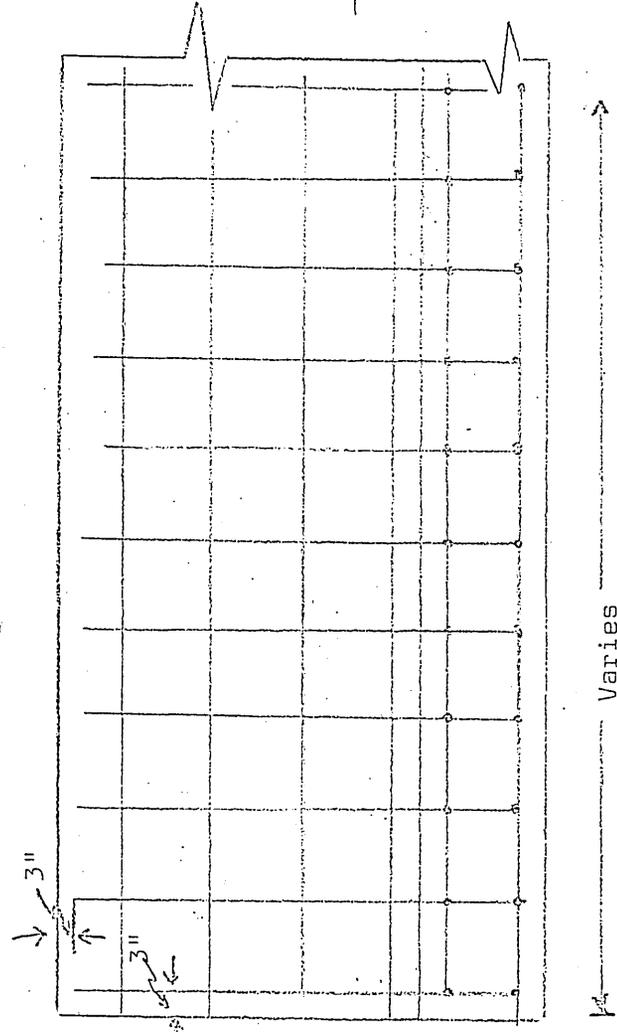
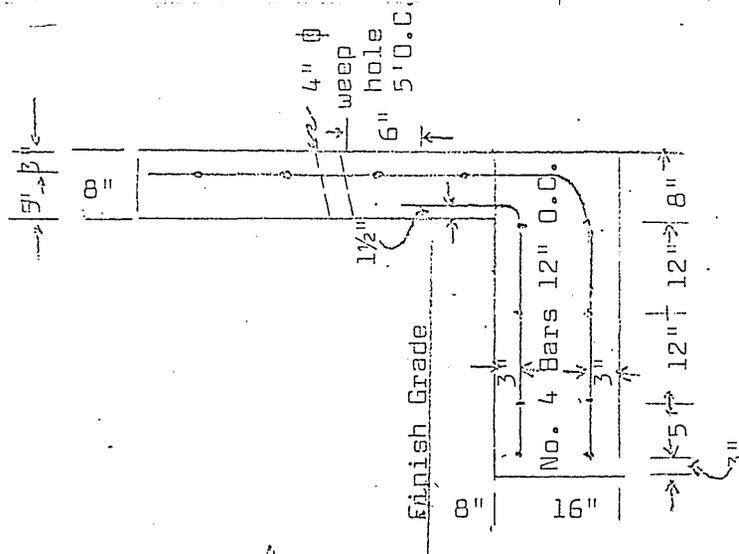
F B LEIGHTON Consulting Geologist

J D FETT Consulting Geophysicist

E-203

CANTILEVER RETAINING WALL ON CONTINUOUS WALL FOOTING

Note: 28 Day Concrete Strength 3000 PSI +  
 Maximum Slump 6 inches  
 Steel Reinforcing Bars Yield Strength 20,000 PSI Min.  
 Backfill Saturated Concrete Sand Slurry



Varies  
 Not to  
 Exceed  
 7'0"

Varies

MRS. EDNEY  
 JOB NO. 8091.03  
 MAY 1968