REQUIRED. TO SET UP ACCOUNT(S), CALL RIVERSIDE PUBLIC UTILITIES CUSTOMER SERVICE: 951-782-0330.

ALL CHANGEMARKS HAVE BEEN RESOLVED. PLEASE REFER TO ANY PROJECT CONDITIONS THAT MAY

APPLY IN THE CONDITIONS REPORT PRIOR TO PERMIT ISSUANCE

TO FINAL BUILDING INSPECTION AND APPROVAL FOR THE ADU.

EXISTING SIZE OF THE PV PANEL (WHEN REQUIRED)

F THERE IS AN EXISTING PHOTOVOLTAIC SYSTEM OF SUFFICIENT SIZE ON THE MAIN HOUSE TO

ACCOMMODATE THE NEW ADU THEN HOMEOWNER IS TO PROVIDE A REPORT STATING THE

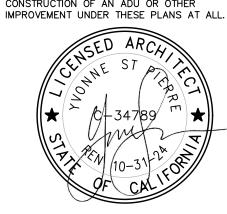
PROPERTIES LOCATED IN VHFHSZ OR WUI ZONES ARE TO USE WUI COMPLIANT

SPECIFICATION. APPLICANT IS TO PROVIDE WUI COMPLIANT INFORMATION IF

DIFFERENT THAN LISTING ON SHEET GO 3

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF RIVERSIDE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY O RIVERSIDE **BUILDING DEPARTMENT. BUILDING CODES** OO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES

WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBL FOR TRANSLATION ERRORS, DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. . THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OF LEGAL EXPOSURE TO DESIGN PATH STUDIO, NO WARRANTIES OF ANY NATURE. WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENT AND THE INFORMATION CONTAINED THEREON. ANY JSE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW. DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM AN' USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS 3. THE DESIGNS REPRESENTED BY THESE PLANS



City of Riverside Pre-Approved **ADU Program**

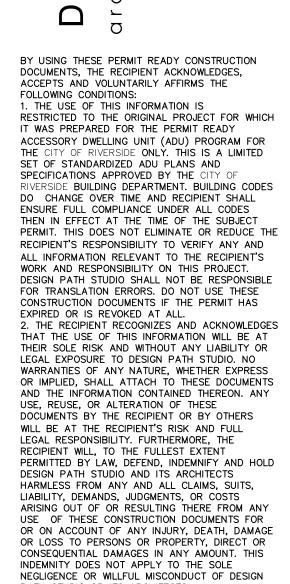
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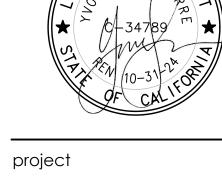
Title Sheet l Bedroom

October 2023

Riverside ADU

DESIGN PATH STUDIO





PATH STUDIO OR ITS ARCHITECTS.

3. THE DESIGNS REPRESENTED BY THESE PLANS

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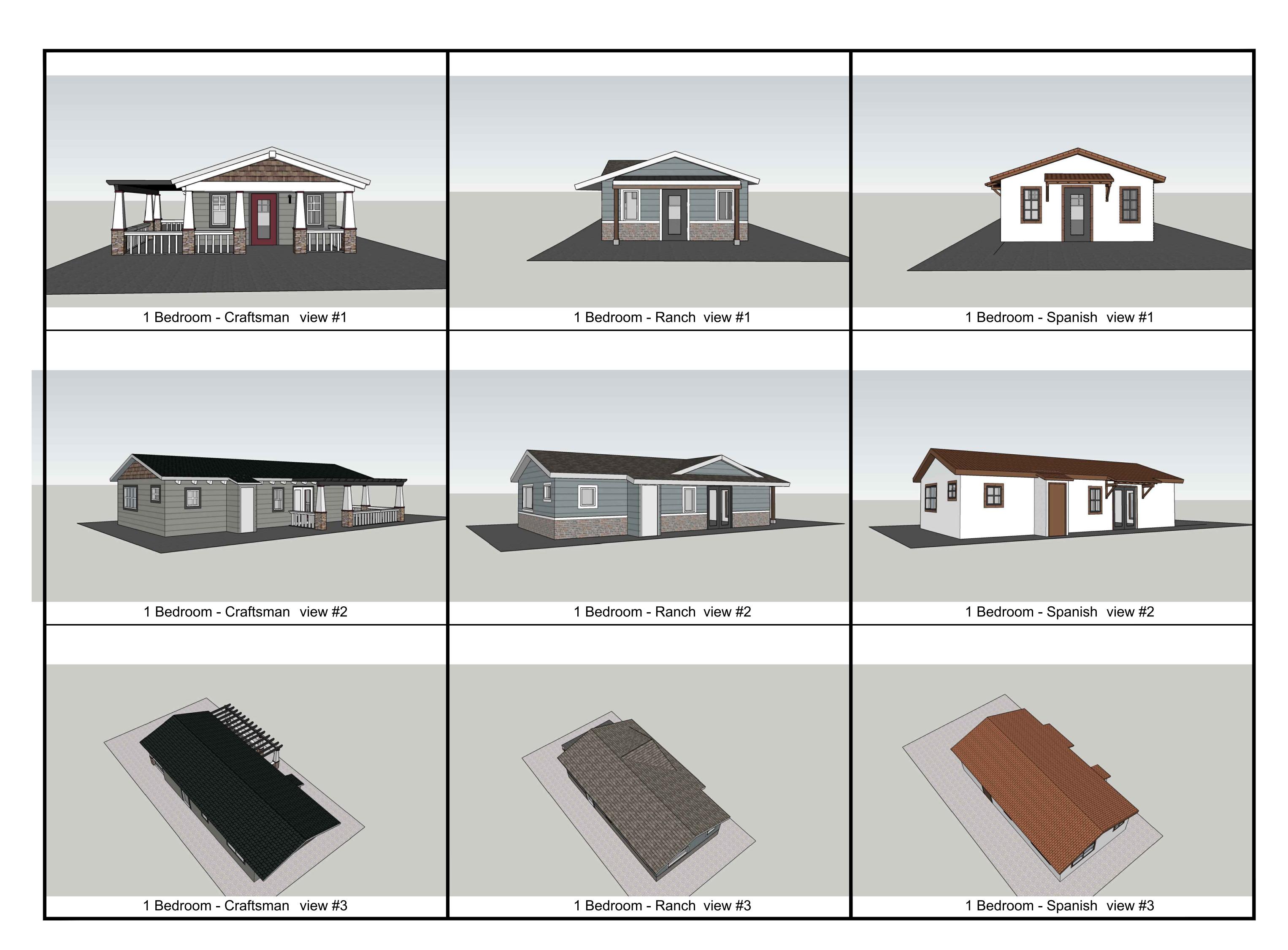
4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

City of Riverside Pre-Approved ADU Program

description

Exterior Style Options

October 2023



MANDATORY PRESCRIPTIVE NOISE INSULATION REQUIREMENTS CHECKLIST

Residential Building in the 60+ dB CNEL Noise Zone

These are minimum requirements and DO NOT apply to specific areas adjacent to railroad tracks, freeways, airports, etc. Please note that code requirements change over time; always check the current codes or ask the plans examiner to verify requirements.

PRESCRIPTIVE REQUIREMENTS	INCORPOR DESIGN?* *If No, provide Acoustical and report	2
EXTERIOR WALLS		
Minimum 2x4" studs	X Yes	□ No
Exterior finish: 7/8" stucco, brick veneer, masonry. Wood/metal siding must be backed 1/2" solid sheathing.	X Yes	□No
Masonry walls (<40psf) must be supported by stud-wall w/ 5/8" gyp-board/plaster. N/A	- Yes	□ No
Wall Insulation: Minimum R-13 glass fiber/mineral wool installed throughout stud bay	X Yes	□No
Exterior solid sheathing must be covered with overlapping asphalt felt.	X Yes	□No
Interior wall finish: 5/8" min. gyp-board/plaster.	X Yes	□No
EXTERIOR WINDOWS		
Openable windows: STC 40 dB min. and air infiltration rate of 0.5 cf/m max. in accordance w/ ASTM E-283.	X Yes	□No
Fixed Windows must be: 1. STC 40 dB, or 2. 5/8-inch laminated glass STC 40 dB and set in non-hardening glazing material, or 3. Glass block at least 3-1/2 inches thick	X Yes	□No
Max glazing in sleeping rooms: Total area of glazing shall not exceed 20% of floor or wall area	X Yes	□ No
EXTERIOR DOORS		
Exterior hinged doors facing the source of the noise must be min. STC 40 dB.	X Yes	□ No
Sliding glass doors not facing source of noise must be min STC 35 dB. Direct exposure not permitted.	X Yes	□No
Access doors from attached garage to residence interior: STC 30 dB min. N/A	- Yes	□No

As the owner's project owner or authorized agent, I have read and understood the requirements listed above, and I certify that I will comply with these requirements.

Before the approval of a building permit, the applicant shall demonstrate compliance with the municipal code to reduce the interior

Owner or Authorized Agent Printed Name

Community & Economic

Development Department

Roof rafters: slope of 4:12 min. w/ 1/2" solid sheathing and roofing.

Ceilings: 5/8" gypsum wallboard/plaster and mounted on resilient channel.

2. 4" min. between panels. Size not to exceed 20% of roof area of room.

must be insulated flexible glass fiber ducting (10' min) between any two points of connection.

Each fireplace: Provide a damper at the top of the chimney and glass doors at firebox

Kitchen cooktop vent hoods: Non-ducted recirculating type with no ducted connection to the exterior.

Openings in the shell (access panels, pet doors, mail delivery drops, air-conditioning) are prohibited unless

Provision of an acoustical analysis report prepared by an acoustical engineer or firm and recommendations for

Construction of exterior walls in compliance with City of Riverside Noise Insulation construction requirement per

Attic Insulation (batt or blow-in glass fiber or mineral wool): R-30 min. between ceiling joists

1. Gable vents or vents that penetrate the roof w/6' min. transfer ducts that are insulating flexible ducting

Skylights: Completely enclosed light well from the roof opening to the ceiling opening w/ \min 3/16" plastic or

Ventilation system: Fresh air supply min. 2 air exchanges without opening to the exterior. All concealed ductwork

or metal ducts w/ 1" fiberglass sound absorbing duct liner must have a 90-degree bend w/ no direct line

Building & Safety Division

ROOF/CEILING CONSTRUCTION

of sight from the exterior, or 2. Noise control louver vents, or

Eave vents located under the eave overhang

laminated glass secondary openable glazing panel: Mounted at the ceiling line, and

designed to maintain the 45 dB CNEL (or less) standard.

noise level to 45 dBA or less by one of the following methods

Attic ventilation:

VENTILATION

FIREPLACES

WALL AND CEILING OPENINGS

noise attenuation measures to be applied.

ADDITIONAL COMMENTS

Owner or Authorized Agent Signature

Page 2 | 2

3900 Main Street, 3rd Floor • Riverside, CA 92522

ffice Hours M-F: 8:00 AM -4:30 PM | Wednesdays 9:00 AM TO 4:30 PM

951.826.5800

RiversideCA.gov/Building

X Yes No

X Yes \ \ \ No

X Yes \ \ \ No

X Yes □ No

X Yes ☐ No

X Yes \ \ \ No

N/A + TYES | N

Page 1 | 2

EXISTING SWIMMING POOL REQUIREMENTS

WHEN A BUILDING PERMIT IS ISSUED FOR THE CONSTRUCTION OF A NEW SWIMMING POOL OR SPA OR THE REMODELING OF AN EXISTING SWIMMING POOL OR SPA AT A PRIVATE SINGLE-FAMILY HOME. THE RESPECTIVE SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH AT LEAST TWO OF THE FOLLOWING SEVEN DROWNING PREVENTION SAFETY FEATURES:

(1) AN ENCLOSURE THAT MEETS THE REQUIREMENTS OF SECTION 115923 AND ISOLATES THE SWIMMING POOL OR SPA FROM THE PRIVATE SINGLE-FAMILY HOME. (2) REMOVABLE MESH FENCING THAT MEETS AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) SPECIFICATIONS F2286 STANDARDS IN CONJUNCTION WITH A GATE THAT IS SELF-CLOSING AND

SELF-LATCHING AND CAN ACCOMMODATE A KEY LOCKABLE DEVICE.

(3) AN APPROVED SAFETY POOL COVER, AS DEFINED IN SUBDIVISION (D) OF SECTION 115921. (4) EXIT ALARMS ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL OR SPA. THE EXIT ALARM MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING, SUCH AS A REPEATING NOTIFICATION THAT "THE DOOR TO THE POOL IS OPEN." (5) A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS PROVIDING DIRECT

ACCESS TO THE SWIMMING POOL OR SPA. (6) AN ALARM THAT, WHEN PLACED IN A SWIMMING POOL OR SPA, WILL SOUND UPON DETECTION OF ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER. THE ALARM SHALL MEET AND BE INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208 "STANDARD SAFETY SPECIFICATION FOR RESIDENTIAL POOL ALARMS," WHICH INCLUDES SURFACE MOTION, PRESSURE, SONAR, LASER, AND INFRARED TYPE ALARMS. A SWIMMING PROTECTION ALARM FEATURE DESIGNED FOR INDIVIDUAL USE, INCLUDING AN ALARM ATTACHED TO A CHILD THAT SOUNDS WHEN THE CHILD EXCEEDS A CERTAIN DISTANCE OR BECOMES SUBMERGED IN WATER, IS NOT A QUALIFYING DROWNING PREVENTION SAFETY

(7) OTHER MEANS OF PROTECTION, IF THE DEGREE OF PROTECTION AFFORDED IS EQUAL TO OR GREATER THAN THAT AFFORDED BY ANY OF THE FEATURES SET FORTH ABOVE AND HAS BEEN INDEPENDENTLY VERIFIED BY AN APPROVED TESTING LABORATORY AS MEETING STANDARDS FOR THOSE FEATURES ESTABLISHED BY THE ASTM OR THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS

(B) BEFORE THE ISSUANCE OF A FINAL APPROVAL FOR THE COMPLETION OF PERMITTED CONSTRUCTION OR REMODELING WORK, THE LOCAL BUILDING CODE OFFICIAL SHALL INSPECT THE DROWNING SAFETY PREVENTION FEATURES REQUIRED BY THIS SECTION AND, IF NO VIOLATIONS ARE FOUND, SHALL GIVE FINAL APPROVAL

EXCEPT AS PROVIDED IN SECTION 115925, WHEN A BUILDING PERMIT IS ISSUED FOR THE CONSTRUCTION OF A NEW SWIMMING POOL AND/OR SPA THE REMODELING OF AN EXISTING SWIMMING POOL AND/OR SPA AT A PRIVATE SINGLE-FAMILY HOME, THE RESPECTIVE SWIMMING POOL AND.OR SPA SHALL BE EQUIPPED WITH ITEM NO.1 SUBSECTION 115922 (A) AND AT LEAST ONE ADDITION ITEM OF THE FOLLOWING SEVEN DROWNING PREVENTION FEATURES.

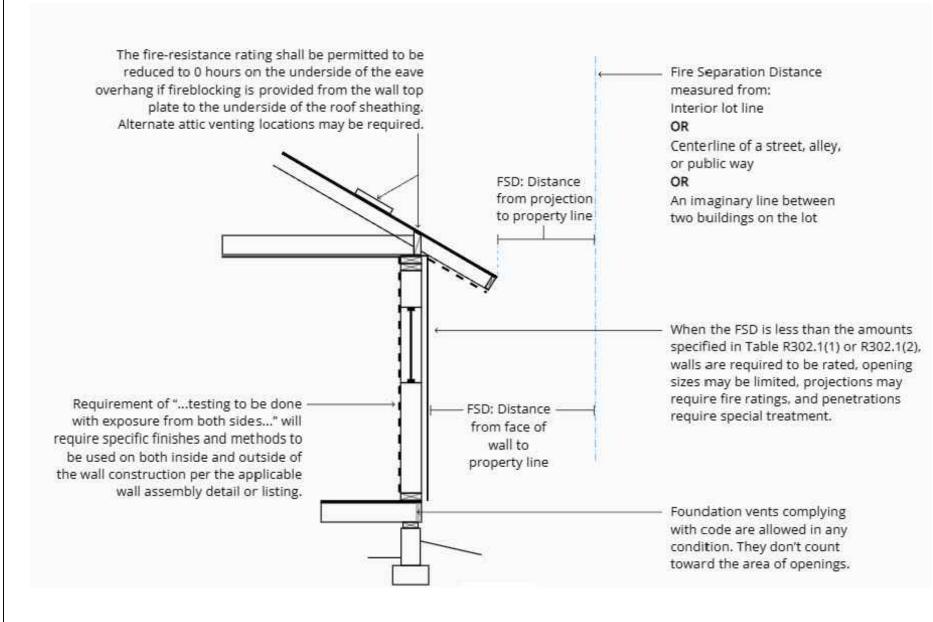
THE APPLICANT SHALL PROVIDE A DIMENSIONED AND SCALED SITE PLAN SHOWING PROPERTY LINES, YARDS, DIMENSIONED SETBACKS, EASEMENTS, UTILITIES, STREETS, EXISTING AND PROPOSED BUILDINGS, MINIMUM SEPARATION FROM EXISTING STRUCTURES, AND FUEL MODIFICATION ZONES IF APPLICABLE. SEE EXAMPLE SITE

PLAN IN THIS SET FOR REFERENCE

THE APPLICANT SHALL IMPLEMENT SITE DESIGN STORMWATER BEST MANAGEMENT PRACTICES (BMP) AND LOW IMPACT DEVELOPMENT (LID) CONCEPTS SUCH AS IMPERVIOUS AREA DISPERSION, DRAINAGE TO NATURAL VEGETATION, REDUCTION IN IMPERVIOUS SURFACES, BREAKING UP HARDSCAPE AREA, ETC. APPLICANT IS REQUIRED TO INCORPORATE THESE CONCEPTS WITH NEW CONSTRUCTION

ALL SEPTIC SYSTEMS SHALL COMPLY WITH THE RIVERSIDE EHS LAMP STANDARDS

WALL AND PROJECTION SEPARATION REQUIREMENTS TO PROPERTY LINES AND ADJACENT BUILDINGS



PLEASE NOTE: NOT ALL ELEVATIONS IN THESE PERMIT READY ADU PLANS COMPLY WITH 25% MAX OPENINGS RULE FOR NON-SPRINKLERED BUILDING AND THEREFORE A MINIMUM SEPARATION OF 5' TO THE PROPERTY LINE WOULD BE REQUIRED AND MINIMUM10' TO ADJACENT BUILDINGS (FOR NON-SPRINKLERED BUILDINGS).

WALLS OF UNSPRINKLERED BUILDINGS BETWEEN 5 AND 3 FEET TO PROPERTY LINES SHALL BE ONE-HOUR RATED CONSTRUCTION AND HAVE A MAXIMUM OF 25% OF UNPROTECTED/PROTECTED OPENINGS. [CRC TABLE R302.1(1)]

WALLS OF UNSPRINKLERED BUILDINGS CLOSER THAN 3 FEET TO PROPERTY LINES SHALL BE ONE-HOUR RATED CONSTRUCTION AND HAVE NO OPENING. [CRC TABLE R302.1(1)]

PROJECTIONS, INCLUDING EAVES, SHALL BE ONE-HOUR FIRE-RESISTIVE CONSTRUCTION, HEAVY TIMBER OR OF FRT WOOD IF THEY PROJECT INTO THE 3/5 FOOT (SPRINKLERED /UNSPRINKLERED) SETBACK AREA FROM THE PROPERTY LINE. THEY MAY PROJECT A MAXIMUM OF 12 INCHES BEYOND THE 3 FOOT SETBACK. [CRC TABLES R302.1(1) AND R302.1(2), WITH EXCEPTIONS]



	RIOR LEMENT	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire- resistance rated	1 hour—tested in accordance with ASTM E119, UL 263 or Section 703.3 of the <i>California Building Code</i> with exposure from both sides	0 feet
	Not fire- resistance rated	0 hours	≥ 5 feet
	Not allowed	NA	< 2 feet
Projections	Fire- resistance rated	1 hour on the underside, or heavy timber, or fire- retardant-treated wood ^{a, b}	≥ 2 feet to < 5 feet
	Not fire- resistance rated	0 hours	≥ 5 feet
	Not allowed	NA	< 3 feet
Openings in walls	25% maximum of wall area	0 hours	3 feet
	Unlimited	0 hours	5 feet
Deservations	All	Comply with Section R302.4	< 3 feet
Penetrations	All	None required	3 feet

TABLE R302.1(2) EXTERIOR WALLS—DWELLINGS AND ACCESSORY BUILDINGS WITH AUTOMATIC RESIDENTIAL FIRE SPRINKLER PROTECTION

I TOTAL	RIOR LEMENT	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire- resistance rated	1 hour—tested in accordance with ASTM E119, UL 263 or Section 703.2.2 of the <i>California Building Code</i> with exposure from the outside	0 feet
	Not fire- resistance rated	0 hours	3 feet ^a
	Not allowed	NA	< 2 feet
Projections	Fire- resistance rated	1 hour on the underside, or heavy timber, or fire- retardant-treated wood ^{b, c}	2 feet ^a
	Not fire- resistance rated	0 hours	3 feet
Openings in	Not allowed	NA	< 3 feet
walls	Unlimited	0 hours	3 feetª
5	976	Comply with Section R302.4	< 3 feet
Penetrations	All	None required	3 feet ^a

FIRE NOTES

- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FORM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF .5 INCHES. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SECTION
- ALL FIRE APPARATUS ROADS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NO LESS THAN 13 FEET 6 INCHES.
- 3. SITE PLAN SHALL PROVIDE DIMENSIONS SHOWING REQUIRED FIRE APPARATUS ACCESS ROADS. FIRE ACCESS ROADWAYS SHALL HAVE AN UNOBSTRUCTED IMPROVED WIDTH OF NOT LESS THAN 20 FEET. FIRE ACCESS ROADWAYS
- SURFACE FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS NOT LESS THAN 80,000 LBS AND SHALL BE PROVIDED WITH AN APPROVED PACED SURFACE TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. • GATED ENTRANCES WITH CARD READERS, GUARD STATIONS OR CENTER MEDIANS, WHICH WILL HAVE SEPARATED LANES OF ONE-WAY TRAFFIC, SHALL BE NOT LESS THAN 12 FEET WIDE PER LANE.
- EXISTING LEGAL LOTS THAT HAVE EASEMENTS ACCESS ROADWAYS LESS THAN 20 FEET WIDE THAT PROVIDE PRIMARY ACCESS TO OTHER LOTS SHALL RECORD A COVENANT GRANTING EASEMENT RIGHTS FOR EMERGENCY VEHICLE INGRESS AND EGRESS PURPOSES AND SHALL RELINQUISH RIGHTS FUNCTIONS AND OPENING THE GATE. WHERE THIS SECTION REQUIRES AN APPROVED KEY-OPERATED TO BUILD ANY BUILDING, WALL, FENCE, OR OTHER STRUCTURE WITHIN 5 FEET OF THE EXISTING ACCESS EASEMENT.
- ALL DEAD END FIRE APPARATUS ACCESS ROADWAY IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AND APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. ACCESS ROADS SERVING MORE THAN (4) FOUR DWELLING UNITS SHALL BE PROVIDED WITH A CUL-DE-SAC. THE MINIMUM UNOBSTRUCTED PAVED RADIUS WIDTH FOR A CUL-DE-SAC SHALL BE 36 FEET CURB LINE TO CURB LINE WITH NO PARKING. ALTERNATE TYPES OF TURN-AROUND (HAMMERHEADS, ETC.) MAY BE CONSIDERED BY THE FIRE MARSHAL AS NEEDED TO ACCOMPLISH THE INTENT OF THE FIRE CODE.

GENERAL NOTES

1. SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS 7. AND NOTES NOT SHOWN. 2. SEE BUILDING PLANS AND SCHEDULES FOR ALL 8.

EXTERIOR DOOR AND WINDOW REFERENCES AND

- 3. YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS). THE PLANS MUST BE DESIGNED WITH THE WALL FINISH THICKNESS (I.E. 7/8" STUCCO, ETC.)
- ADDED TO THE PLAN FOR THE SETBACK MEASUREMENT. THE FIELD INSPECTOR WILL ADD THE PLANNED WALL FINISH THICKNESS TO THE FOUNDATION SETBACK.

4. NEW ELECTRIC SERVICE IS TO BE LOCATED - POOLS,

- SPAS, WALLS, FENCES, PATIO COVERS AND OTHER 10. PROJECTIONS, INCLUDING EAVES, MUST BE AT FREESTANDING STRUCTURES REQUIRE SEPARATE **REVIEWS AND PERMITS** 5. LANDSCAPE AND IRRIGATION WATER USE SHALL
- HAVE WEATHER OR SOIL BASED CONTROLLERS 6. ADU WILL BE CONNECTED TO THE PUBLIC SEWER SYSTEM OR WILL PROVIDE A COMPLYING SEPTIC
- DEEPER THAN 5' AND SHORING AND UNDERPINNING. A DIMENSIONED SITE PLAN DRAWN TO SCALE SHALL BE PROVIDED SHOWING THE FOLLOWING: NORTH ARROW, PROPERTY LINES, EASEMENTS, STREETS, EXISTING AND PROPOSED BUILDINGS, AND STRUCTURES, LOCATION OF YARDS USED FOR ALLOWABLE INCREASE OF BUILDING AREA, DIMENSIONED SETBACKS, MINIMUM SEPARATION FROM EXISTING STRUCTURES AND FUEL MODIFICATION ZONES PER UNIFORM ADMINISTRATIVE CODE SECTION 302. IF A GRADING PLAN IS REQUIRED. INCORPORATE THE ENTIRE APPROVED GRADING PLAN/IMPROVEMENT PLAN (ALL SHEETS) WITH THE BUILDING PLANS.

LEAST 24" FROM PROPERTY LINES.

CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS

DIVISION 2 - SITEWORK

1. SITE PREPARATION PROJECT IS TO BE STAKED OUT FOR OWNER APPROVAL BEFORE FOR EARTHWORKIS TO BEGIN.

CONTRACTOR WILL VERIFY WITH OWNER ALL PLANTING TO BE REMOVED PRIOR TO STARTING WORK.

3. LINES AND LEVELS THE CONTRACTOR WILL VISIT THE SITE AND EVALUATE GRADE CONDITION. FOR BIDDING PURPOSES, THE CONTRACTOR WILL CALCULATE HIS OWN CUT AND FILL QUANTITIES BASED ON THE SITE PLAN.

4. SHORING IS TO BE PROVIDE AS REQUIRED

5. EARTH WORK a. ALL GRADING SHOULD BE PERFORMED IN ACCORDANCE WITH THE CITY OF CITY OF RIVERSIDE GRADING ORDINANCE

b. THE CONTRACTOR IS TO VERIFY THE LOCATION OF UTILITY SERVICE IN THE AREA PRIOR TO

EXCAVATION c. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET. WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. [CRC R401.3]

SECURITY GATES: AN AUTOMATIC GATE ACROSS A FIRE ACCESS ROADWAY OR DRIVEWAY SHALL BE EQUIPPED WITH AN APPROVED EMERGENCY KEY-OPERATED SWITCH OVERRIDING ALL COMMAND SWITCH.AN INFRARED AUTOMATIC GATE SYSTEM IS REQUIRED WITH THE KNOX KEY SWITCH. CITY OF RIVERSIDE ONLY REQUIRES ONE KEY SWITCH AS FIRE AND PD HAVE THE SAME KEYS.

DESIGN PATH STUDIO drawn by

ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS, DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OF LEGAL EXPOSURE TO DESIGN PATH STUDIO, NO WARRANTIES OF ANY NATURE. WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM AN' USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS

INDEMNITY DOES NOT APPLY TO THE SOLE

ARE COPYRIGHTED AND ARE SUBJECT T

PATH STUDIO OR ITS ARCHITECTS

COPYRIGHT PROTECTION.

NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN

3. THE DESIGNS REPRESENTED BY THESE PLANS

4. IF THE RECIPIENT DOES NOT AGREE WITH THE

FOLLOWING CONDITIONS:

BY USING THESE PERMIT READY CONSTRUCTION

RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH

CITY OF RIVERSIDE ONLY. THIS IS A LIMITED

RIVERSIDE BUILDING DEPARTMENT. BUILDING CODES

DO CHANGE OVER TIME AND RECIPIENT SHALL

ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR

DOCUMENTS, THE RECIPIENT ACKNOWLEDGES,

ACCEPTS AND VOLUNTARILY AFFIRMS THE

IT WAS PREPARED FOR THE PERMIT READY

. THE USE OF THIS INFORMATION IS

SET OF STANDARDIZED ADU PLANS AND

SPECIFICATIONS APPROVED BY THE CITY (

ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

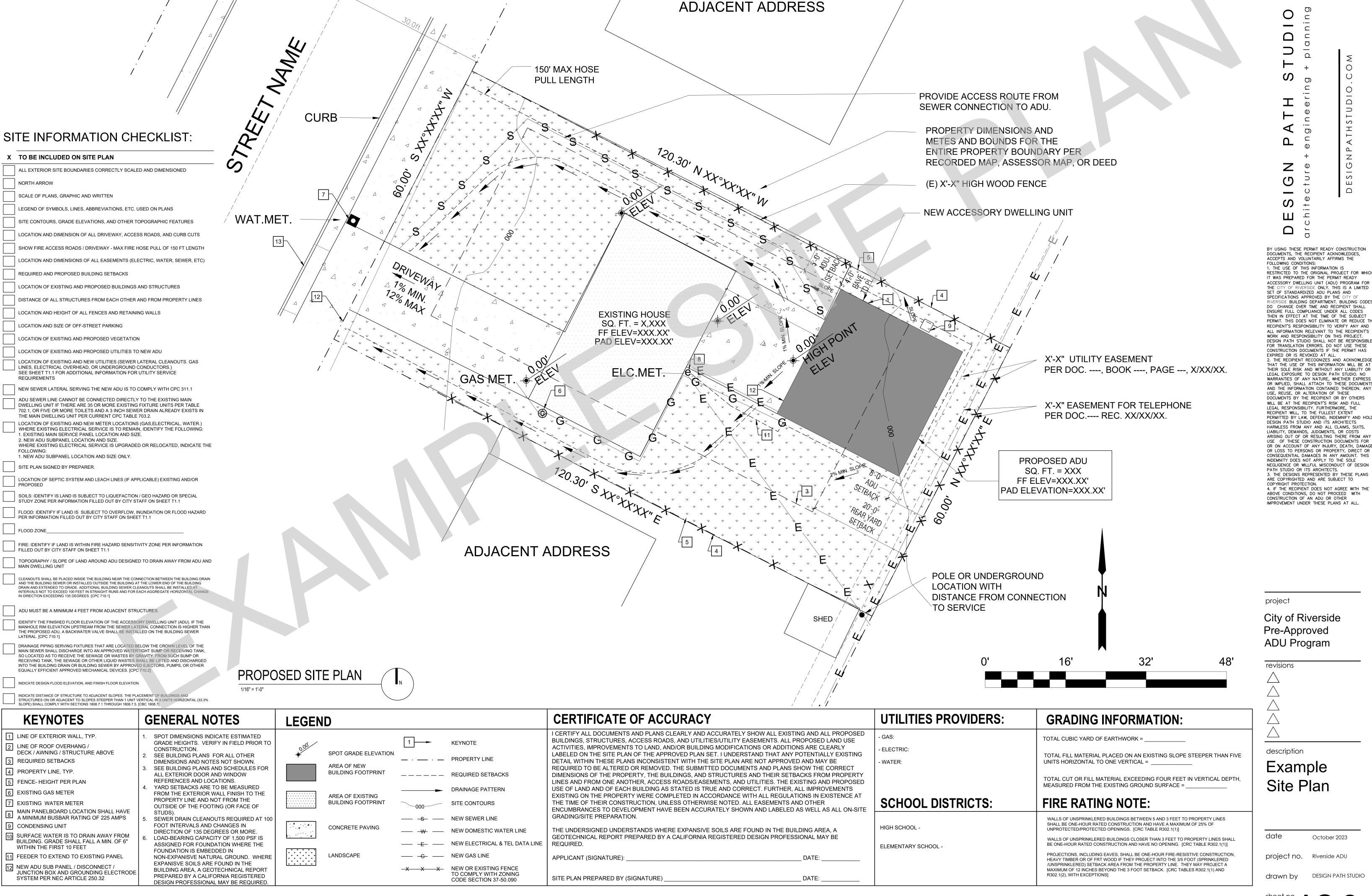
Pre-Approved **ADU Program**

revisions

description

October 2023

project no. Riverside ADU



heet no. AS.2

showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by

a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only

allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

Public transportation and/or carpool options available in the area. feet away from the foundation. painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available. space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements. ordinance, if more restrictive. **DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL SECTION 4.502 DEFINITIONS** 5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere. hundredths of a gram (g O³/g ROC). product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). ozone formation in the troposphere hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). pellet stoves and fireplaces shall also comply with applicable local ordinances. 4.504 POLLUTANT CONTROL reduce the amount of water, dust or debris which may enter the system. 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. management district rules apply: than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507. 4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. Information about water-conserving landscape and irrigation design and controllers which conserve 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 8. Information on required routine maintenance measures, including, but not limited to, caulking, 10. A copy of all special inspections verifications required by the enforcing agency or this code. 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible **4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door **COMPOSITE WOOD PRODUCTS.** Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to **VOC.** A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain **4.503.1 GENERAL**. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING **CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the

California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic

Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of

Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January

the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic

See California Department of Public Health's website for certification programs and testing labs.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area

Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using

receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard

Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

enforcing agency. Documentation may include, but is not limited to, the following:

See California Department of Public Health's website for certification programs and testing labs.

(Emission testing method for California Specification 01350)

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

See California Department of Public Health's website for certification programs and testing labs

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

1. Manufacturer's product specification.

testing method for California Specification 01350)

2. Field verification of on-site product containers.

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) **4.504.5 COMPOSITE WOOD PRODUCTS.** Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested

by the enforcing agency. Documentation shall include at least one of the following:

- 1. Product certifications and specifications.
- Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see
- CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.

RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER.

5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
- 2. Other equivalent methods approved by the enforcing agency.

3. A slab design specified by a licensed design professional. **4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.** Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements
- 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
- 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
- Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to

enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying

4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

found in Section 101.8 of this code.

- 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be
- integral (i.e., built-in)
- 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or
- tub/shower combination
- 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J 2011 (Residential
- Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

5. Other programs acceptable to the enforcing agency.

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations 4. Programs sponsored by manufacturing organizations.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the

project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE

FOLLOWING CONDITIONS: . THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR CITY OF RIVERSIDE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF RIVERSIDE BUILDING DEPARTMENT. BUILDING CODES

OO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES

THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO

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resource consumption, including recycle programs and locations. hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING VERIFICATION WITH THE FULL CODE.

b. Roof and yard drainage, including gutters and downspouts.

 Landscape irrigation systems. e. Water reuse systems.

c. Space conditioning systems, including condensers and air filters.

3. Information from local utility, water and waste recovery providers on methods to further reduce

project

October 2023

project no. Riverside ADU

DESIGN PATH STUDIO drawn by

- THESE PLANS/SPECIFICATIONS AND ALL WORK SHALL COMPLY WITH CURRENT EDITION OF STATE OF CALIFORNIA TITLE 24 CCR
- AND CURRENT CPC, CMC AND CEC CODES DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND IS TO BE REVIEWED AND APPROVED BY THE CITY OF RIVERSIDE
- VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND STAKE OUT STRUCTURE FOR OWNER'S APPROVAL PRIOR TO STARTING ANY WORK.
- ALL WEATHER-EXPOSED SURFACES ARE TO HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND THAT EXTERIOR OPENINGS ARE TO BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
- SPECIFICATIONS FOR EQUIPMENT SHALL BE KEPT ON SITE TO PROVIDE TO THE CITY OF RIVERSIDE BUILDING INSPECTOR
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY CONSTRUCTION, RECONSTRUCTION, OR CLOSURE OR THE ROADWAY, SIDEWALK OR RIGHT OF WAY. APPLICANT SHALL CONTACT ENGINEERING DEPARTMENT TO PROCESS.
- APPLICANT IS RESPONSIBLE TO PROVIDE SITE PLAN (PLOT PLAN) TO THE CITY FOR REVIEW AND APPROVAL
- APPLICANT IS RESPONSIBLE TO VERIFY WHETHER THE JOB SITE IS LOCATED WITHIN A FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE. PROJECTS LOCATED IN A SPECIAL FLOOD HAZARD AREA DESIGNATED ON THE FLOOD INSURANCE RATE MAP (FIRM) AS ZONE A OR AE, SHALL PROVIDE AN ELEVATION CERTIFICATE WITH SUPPORTED DOCUMENTS TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
- 10. SUBMIT GRADING PLANS AND/OR PROVIDE ADU GRADING PERMIT EXEMPTION CHECKLIST FOR REVIEW AND APPROVAL AT TIME OF PERMIT APPLICATION.
- 11. THE PV SYSTEM WILL BE SUBMITTED UNDER A SEPARATE PERMIT A PHOTOVOLTAIC (SOLAR) SYSTEM BUILDING AND ELECTRICAL PERMIT SHALL BE ISSUED PRIOR TO ADU BUILDING FRAME INSPECTION REQUEST.
- SOIL REPORT REQUIREMENT: IF A SOILS REPORT IS REQUIRED BY THE LOCAL JURISDICTION, THE GEOTECHNICAL INVESTIGATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH CBC SECTION 1803.2 AND REPORTED IN ACCORDANCE WITH CBC SECTION 1803.6. -THE GEOTECHNICAL ENGINEER OF RECORD SHALL REVIEW THE CITY APPROVED PLANS FOR GENERAL CONFORMANCE WITH THE SOIL REPORT; OTHERWISE, AN ALTERNATE FOUNDATION PLAN DESIGNED BY A CALIFORNIA REGISTERED CIVIL ENGINEER IS REQUIRED

ROOF NOTES

- FLASHINGS SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
- UNLESS ROOFS ARE SLOPED TO DRAIN OVER ROOF EDGES, ROOF DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF ROOF.
- ROOF ASSEMBLIES SHALL BE OF MATERIALS THAT ARE COMPATIBLE WITH EACH OTHER AND WITH THE BUILDING OR STRUCTURE TO WHICH THE MATERIALS ARE APPLIED.
- BUILDING-INTEGRATED PHOTOVOLTAIC PRODUCTS INSTALLED AS THE ROOF COVERING SHALL BE TESTED, LISTED AND LABELED FOR FIRE CLASSIFICATION IN ACCORDANCE WITH SECTION R902.1 THROUGH R902.4.
- ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (17-PERCENT SLOPE) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (17-PERCENT SLOPE) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.
- CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF TWO AND ONE-HALF UNITS VERTICAL IN 12 UNITS HORIZONTAL (25-PERCENT SLOPE) OR GREATER. FOR ROOF SLOPES FROM TWO AND ONE-HALF UNITS VERTICAL IN 12 UNITS HORIZONTAL (25-PERCENT SLOPE) TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.3.3.
- SLATE SHINGLES SHALL BE USED ONLY ON SLOPES OF FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE) OR GREATER.
- THE MINIMUM SLOPE FOR STANDING-SEAM ROOF SYSTEMS SHALL BE ONE-QUARTER UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE).
- BUILT-UP ROOFS SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE, EXCEPT FOR COAL-TAR BUILT-UP ROOFS, WHICH SHALL HAVE A DESIGN SLOPE OF A MINIMUM ONE-EIGHTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (1-PERCENT SLOPE).
- 10. MINERAL-SURFACED ROLL ROOFING SHALL NOT BE APPLIED ON ROOF SLOPES BELOW ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (8-PERCENT SLOPE).
- MODIFIED BITUMEN ROOFING SHALL HAVE A DESIGN SLOPE OF 17. NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE.
- 12. SINGLE-PLY MEMBRANE ROOFS SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE.
- 13. A CLASS A ROOF ASSEMBLY SHALL BE INSTALLED. IF THE APPLICANT DEVIATES FROM THE ROOF SPECIFICATIONS ON SHEET T1.1 THE APPLICANT SHALL PROVIDE A COPY OF THE ICC/UL LISTING

ROOF NOTES (CONT'D)

FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.

PER SECTION R806.5/EM3.9.6: a. WHERE ONLY AIR-IMPERMEABLE IS PROVIDED, IT SHALL BE APPLIED IN DIRECT CONTACT WITH UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING. b. WHERE AIR-PERMEABLE INSULATION IS INSTALLED DIRECTLY BELOW THE STRUCT. SHEATHING, RIGID BOARD OR SHEET INSULATION SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING w/ MIN. R VALUE BASED ON **CLIMATE ZONE PER TABLE R806.5** c. WHERE BOTH AIR-IMPERMEABLE AND AIR-PERMEABLE INSULATION ARE PROVIDED, THE AIR-IMPERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCT. ROOF SHEATHING W/ MIN. R VALUE BASED ON CLIMATE ZONE PER TABLE R806.5.FOR CONDENSATION CONTROL

FLOOR PLAN NOTES

- ALL DIMENSIONS TO FACE OF STUD, U.N.O. ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING
- WALL AT HINGED SIDE, U.N.O. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY OWNER OF ANY
- DISCREPANCIES. REFER TO FRAMING PLANS AND SECTIONS FOR CLARIFICATION AND DIM. NOT SHOWN
- ALL ROOF DRAIN PIPES TO BE MIN. 2" STORM DRAINAGE SYSTEM UNLESS LOCAL CODE REQUIRES LARGER DRAIN SIZES **ROOF GUTTERS:**
- STYLE A . INSTALLED AND DESIGNED IN ACCORDANCE WITH SMACNA MANUAL, PLATE #1,#2 & #3,GUTTER. PAGE 6 - 11, WIDTH AS REQUIRED TO HANDLE THE AMOUNT OF ROOF WATER FOR MAXIMUM STORMS, SMACNA CHART #2, PAGE #2 GUTTER: SIZE; PAGES 1,2, 3, 4, 5 &6, CHARTS#1,#2,#3,#4,#5#6 &
- STYLE; PLATE #2, STYLE A, PAGE 9 EXPANSION; PLATE #6, PAGE 16 &17 HANGING; PLATE #19, FIG. C, PAGE 43. **DOWN SPOUTS:**

PLAIN RECTANGULAR.AS REQUIRED BY SMACNA MANUAL CHART #3, PAGE #3. SEE ARCHITECT FOR LOCATIONS OF DOWN SPOUTS. ALL DOWN SPOUTS ARE TO BE DESIGNED TO HANDLE THE AMOUNT OF ROOF WATER FOR MAXIMUM STORMS, SMACNA CHART #2, PAGE #2. DOWN SPOUTS ARE TO DEPOSIT DIRECTLY OVER A NDS 6 INCH SQUARE, MODEL 641 OR APPROVED EQUAL.(SEE SECTION 02710 MORE INFORMATION)

- TRANSITION OF FLOOR MATERIALS OCCURRING IN OPENINGS WITH DOORS TO BE LOCATED UNDER THE CENTER OF THE DOOR IN THE CLOSED POSITION. TRANSITION OF FLOOR MATERIAL OCCURRING WITH NO DOOR TO BE LOCATED TO ALIGN WITH THE FACE OF THE PARTITION. U.O.N
- DIFFUSERS AND GRILLS TO MATCH COLOR OF SURFACE AT WHICH THEY ARE MOUNTED, U.O.N.
- FLOOR FINISH TO CONTINUE UNDER MILLWORK WHERE FLOOR IS VISIBLE (I.E. TRASH, RECYCLING, ECT.) 8. SILICON SEALANT AT GLAZING TO BE CLEAR, U.O.N.
- PLUMBING, ELECTRICAL, AND SPRINKLER EQUIPMENT, IF REQUIRED TO BE PAINTED
- TO MATCH COLOR OF ADJACENT SURFACE.
- ALL FINISH MATERIAL MUST MEET ALL APPLICATION FIRE, LIFE SAFETY, AND BUILDING CODES, 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SPECIFIED VOC CRITERIA. PARTICLE BOARD, MDF AND PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- OPERATION AND MAINTENANCE MANUAL: THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION.
- 12. WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE SHALL BE A MIN. OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS. CRC R703.7.2.1, CBC 2512.1.2
- FASTENERS AND CONNECTIONS (NAILS, ANCHORS BOLTS ECT) IN CONTACT WITH PRESERVATIVE -TREATED WOOD SHALL BE OF HOT -DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. (CRC R317.3, CBC 2304.10.5)
- ANCHOR BOLTS SHALL INCLUDE STEEL PLATE WASHERS A MIN. OF 0.229" X 3" X 3" IN SIZE, BETWEEN SILL PLATE AND NUT. (CRC R602.11.1, CBC 2308.3.2 ACCEPTANCE ALTERNATIVE SDPWS 4.3.6.4.3)
- FUTURE WATER HEATERS AND PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF SECTION 2-5314 AND TABLE 2-53G, TITLE 24, C.A.C.
- 15, 20 AND 30 AMP. RECEPTACLE OUTLETS SHALL BE INSTALLED NO MORE THAN 48" MEASURED FROM THE TOP OF OUTLET BOX AND NOT LESS THAN 15" FROM THE BOTTOM OF OUTLET BOX ABOVE THE FLOOR.

SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE

- WATER AWAY FROM BUILDINGS. PLANS SHALL BE APPROVED BY THE CITY ENGINEER THAT SHOW SITE GRADING AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE CURRENTLY ENFORCED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE BUILDING DEPT.
- 65 % OF CONSTRUCTION WASTE IS TO BE RECYCLED AND 100% OF INERT MATERIALS ARE RECYCLED SALVAGED, COMPOSTED.

FLOOR PLAN NOTES (CONT'D)

VOC'S MUST COMPLY WITH THE LIMITATION LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3, AND 4.504.4 FOR: ADHESIVES, PAINTS, STAINS, CAULKS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISHED MATERIALS HAVE BEEN USED.

- INTERIOR MOISTURE CONTROL AT SLAB ON GRADE FLOORS SHALL BE PROVIDED BY THE SOIL ENGINEER. IF A SOIL ENGINEER HAS NOT PREPARED A SOIL REPORT FOR THIS PROJECT, THE FOLLOWING IS REQUIRED: A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE, WITH A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING. SHRINKAGE AND CURLING SHALL BE USED
- MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE 11. IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIAL WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE | 13. OF THE LISTED METHODS LISTED IN CGC SECTION 4.505.3 PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE AND SIGN THE GREEN BUILDING STANDARDS CERTIFICATION FORM AND GIVEN TO THE BUILDING DEPT OFFICIAL TO BE FILED WITH THE APPROVED PLANS
- LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS.
- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASIN. B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CGC 4.106.2.
- THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, PER CGC 4.408.2.
- THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FORM MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC
- DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED. AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC 4.504.1
- BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY
- MUST BE QUALIFIED AND ABEL TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE
- CONSTRUCTION DOC. PLANS, SPECIFICATION BUILDER OR INSTALLER CERTIFICATIONS, INSPECTIONS REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH TO 4 SHOW SUBSTANTIAL CONFORMATION.
- NEW SINGLE FAMILY RESIDENTIAL CONSTRUCTION SHALL BE DESIGNED FOR AGING-IN-PLACE DESIGN AND FALL PREVENTION PER R327 SEE SHEET A5.3 FOR AGING IN PLACE DETAILS A) AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED. WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM 6. ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH THIS SECTION. B) REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER
- CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY. C) REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH
- NOMINAL LUMBER. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES AND 39-1/4 INCHES ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.
- D) WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL. E) SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE
- WALL FRAMING IS PROVIDED. F) BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL
- REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHTUB RIM.

MECHANICAL NOTES

- CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. [CRC R315.5] CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. [CRC R315.6] WHERE WATER CLOSET COMPARTMENT IS INDEPENDENT OF THE BATHROOM OR SHOWER AREA, A FAN WILL BE REQ. IN EACH AREA. BATHROOMS SHALL HAVE AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR, MIN. 50 CFM CAPACITY, (CRC R303.3.1)
- ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR 15 FIXTURES SHALL BE PROVIDED WITH AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR HAVING A MIN. CAPACITY OF 50 CFM DUCTED TO TERMINATE OUTSIDE THE BLDG. (CRC R303.3, CAL GREEN 4.505.1, CBC 1203 .5.2.1, CMC 402.5 SUPPLY AND RETURN AIR DUCTS TO BE INSULATED AT A MIN. OF
- R-6. (CAL ENERGY CODE TABLE 150.1-A)

MECHANICAL NOTES (CONT'D)

- WHERE WHOLE HOUSE FANS ARE USED IN BATHROOM AREAS, THE FAN MUST RUN CONTINUOUSLY AND SHALL NOT BE TIED TO HUMIDITY CONTROL SENSOR. (CAL GREEN 4.506.1)
- ENVIRONMENTAL AIR DUCTS SHALL TERMINATE MIN. 3 FEET FROM PROPERTY LINE OR OPENINGS INTO BLDG., AND 10' FROM A FORCED AIR INLET. (CMC 502.2.1)
- ALL HOSE BIBS ARE TO HAVE VACUUM BREAKERS. (CPC603.5.7)
- THE MAX. AMOUNT OF WATER CLOSETS ON A 3" HORIZONTAL DRAINAGE SYSTEM LINE IS 5 (CPC TABLE 703.2)
- THE MAX. AMOUNT OF WATER CLOSETS ON A 3" VERTICAL DRAINAGE LINE IS 5. (CPC TABLE 703.2)
- PROVIDE GAS LINES WITH A MN. CAPACITY OF 200,000BTU FOR WATER HEATER. (CAL ENERGY CODE 150.0(N)). PROVIDE A CONDENSATE DRAIN NO MORE THAN 2" ABOVE THE
- INSULATE ALL HOT WATER PIPES. CAL ENERGY CODE 150.0(j) (2), and CPC 609.11)

BASE OF THE WATER HEATER SPACE. (CAL ENERGY CODE 150.0

- ISOLATION VALVES ARE REQ. FOR TANKLESS WATER HEATERS ON THE HOT AND COLD SUPPLY LINES WITH HOSE BIBS ON EACH VALVE, TO FLUSH THE HEAT EXCHANGER. (CAL ENERGY CODE 110.3(7).
- EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS
- ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. (CENC 150(K) 2B)
- PLUMBING FIXTURES AND FITTINGS INSTALLED IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQ. OF SECTIONS 4.303.1.1 THROUGH 4.303.1.4.4.
- PLUMBING FIXTURES AND FITTINGS REQ. IN SECTION 4.303. SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND SHALL MEET THE THE APPLICABLE REFERENCE STANDARDS.
- ALL HOSE CONNECTIONS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS. [CPC 603.3.3]

ELECTRICAL NOTES

- RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH CEC ARTICLE 210.52. & CRC SECTION R327.1.2. TAMPER RESISTANT RECEPTACLE OUTLET LOCATIONS SHALL COMPLY W/ NEC ART. 210-52 AND 550.13 (I.E. ALL RECEPTACLES IN A DWELLING).
- ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.12(A): KITCHENS, LAUNDRY AREAS, FAMILY, LIVING BEDROOMS, DINING, HALLS, ETC. ALL BRANCH CIRCUITS WILL BE ARC FAULT CIRCUIT PROTECTED PER NEC ART. 210-12(B) THERE ARE TO BE A MINIMUM OF 2 SMALL APPLIANCE BRANCH
- CIRCUITS WITHIN THESE AREAS CEC 210.11(C)1 BATHROOM CIRCUITING SHALL BE EITHER: a) A 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM.
- b) AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS PER NEC ART. 210-11(c)3. ALL 125-VOLT, SINGLE-PHASE, 15- AND 20- AMP RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, BASEMENTS, OUTDOORS, LAUNDRY AREA, KITCHEN DISHWASHERS, KITCHEN COUNTERS AND AT WET BAR SINKS, WITHIN 6' OF A SINK, SHALL
- BE GFCI PROTECTED PER NEC ART. 210-8(A). WEATHER RESISTANT TYPE FOR RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS (OUTSIDE) NEC 406.4(D)(6)
- PER LIGHTING MEASURES 150(K)4 N T-24, THE BEDROOMS, HALLWAY, LIVING ROOM AND OFFICE ARE REQUIRED TO HAVE ANY INSTALLED FIXTURE TO BE ON A DIMMER SWITCH OR THE FIXTURE NEEDS TO BE HIGH EFFICACY.
- OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL / MOTION SENSOR.
- A RECEPTACLE OUTLET MUST BE INSTALLED IN EVERY ROOM SO THAT NO POINT ALONG THE WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY ALONG THE FLOOR LINE FROM A RECEPTACLE OUTLET CEC 210.52(A)
- SMOKE DETECTORS MUST BE PERMANENTLY WIRED. IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. (CENC 150(K) 2B)
- A MINIMUM OF 1 LUMINAIRE SHALL BE INSTALLED IN BATHROOM CONTROLLED BY AN OCCUPANT OR VACANCY SENSOR PROVIDING AUTOMATIC -OFF FUNCTIONALLY (CENC 150 .0(K)21) LAUNDRY AREA SHALL AT LEAST 1-20 AMP DEDICATED BRANCH CIRCUIT (CEC 210 .11 (C)(2)
- PROVIDE A DEDICATED CIRCUIT FOR THE A.C./FAU (CEC 422.12)
- TWO OR MORE SMALL-APPLIANCE 20-AMPERE BRANCH CIRCUITS SHALL BE PROVIDED FOR RECEPTACLES INSTALLED IN A KITCHEN TO SERVE COUNTERTOP SURFACES. [CEC 210.52(B)(3) & CEC 210.11(C)(1)] IN DWELLING UNITS IN ALL AREAS SPECIFIED IN 210.52, ALL 15- AND 20-AMPERE, 125- AND 250-VOLT NONLOCKING-TYPE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. [CEC 406.12]

ELECTRICAL NOTES (CONT'D)

- PER CEC 2022 150.0(N).1.A. IF THE DESIGNATED SPACE IS WITHIN 3 FEET FROM THE WATER HEATER, THEN THIS SPACE SHALL INCLUDE THE FOLLOWING:A DEDICATED 125 VOLT, 20 AMP ELECTRICAL RECEPTACLE THAT IS CONNECTED TO THE ELECTRIC PANEL WITH A 120/240 VOLT 3 CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT, WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS; AND
- BOTH ENDS OF THE UNUSED CONDUCTOR SHALL BE LABELED WITH THE WORD "SPARE" AND BE ELECTRICALLY ISOLATED; AND
- A RESERVED SINGLE POLE CIRCUIT BREAKER SPACE IN THE ELECTRICAL PANEL ADJACENT TO THE CIRCUIT BREAKER FOR THE BRANCH CIRCUIT IN A ABOVE AND LABELED WITH THE WORDS "FUTURE 240V USE"; AND
- A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINING WITHOUT PUMP **ASSISTANCE**
- ELECTRICAL RECEPTACLE OUTLETS IN BATHROOM MUST BE NO MORE THAN 48 INCHES OR LESS THAN 15-INCHES MEASURE FROM THE FINISHED FLOOR.
- DOORBELL BUTTON MUST BE INSTALLED NO MORE THAN 48 INCHES FROM EXTERIOR FLOOR
- LUMINAIRE EFFICACY ALL INSTALLED LUMINAIRES SHALL MEET THE REQUIREMENTS OF 2022 BUILDING ENERGY EFFICIENCY STANDARDS TABLE 150.0-A PER SECTION 150.0(K).

ELECTRIC READY NOTES: 2022 ENERGY EFFICIENCY STANDARDS 150.0

(S) ENERGY STORAGE SYSTEMS (ESS) READY. ALL SINGLE-FAMILY RESIDENCES THAT INCLUDE ONE OR TWO DWELLING UNITS SHALL MEET THE FOLLOWING. ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE:

- 1. AT LEAST ONE OF THE FOLLOWING SHALL BE PROVIDED: A. ESS READY INTERCONNECTION EQUIPMENT WITH A MINIMUM BACKED-UP CAPACITY OF 60 AMPS AND A MINIMUM OF FOUR ESS-SUPPLIED BRANCH CIRCUITS, OR B. A DEDICATED RACEWAY FROM THE MAIN SERVICE TO A PANELBOARD (SUBPANEL) THAT SUPPLIES THE BRANCH CIRCUITS IN SECTION 150.0(S)(2). ALL BRANCH CIRCUITS ARE PERMITTED TO BE SUPPLIED BY THE MAIN SERVICE PANEL PRIOR TO THE INSTALLATION OF AN ESS. THE TRADE SIZE OF THE RACEWAY SHALL BE NOT LESS THAN ONE INCH. THE PANELBOARD THAT SUPPLIES THE BRANCH CIRCUITS (SUBPANEL) MUST BE LABELED "SUBPANEL SHALL INCLUDE ALL BACKED-UP LOAD CIRCUITS."
- 2. A MINIMUM OF FOUR BRANCH CIRCUITS SHALL BE IDENTIFIED AND HAVE THEIR SOURCE OF SUPPLY COLLOCATED AT A SINGLE PANELBOARD SUITABLE TO BE SUPPLIED BY THE ESS. AT LEAST ONE CIRCUIT SHALL SUPPLY THE REFRIGERATOR, ONE LIGHTING CIRCUIT SHALL BE LOCATED NEAR THE PRIMARY EGRESS, AND AT LEAST ONE CIRCUIT SHALL SUPPLY A SLEEPING ROOM RECEPTACLE OUTLET. 3. THE MAIN PANELBOARD SHALL HAVE A MINIMUM BUSBAR
- RATING OF 225 AMPS. 4. SUFFICIENT SPACE SHALL BE RESERVED TO ALLOW FUTURE INSTALLATION OF A SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH WITHIN 3 FEET OF THE MAIN PANELBOARD. RACEWAYS SHALL BE INSTALLED BETWEEN THE PANELBOARD AND THE SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH LOCATION TO ALLOW THE

CONNECTION OF BACKUP POWER SOURCE. (T) HEAT PUMP SPACE HEATER READY. SYSTEMS USING GAS OR PROPANE FURNACE TO SERVE INDIVIDUAL DWELLING UNITS SHALL

- INCLUDE THE FOLLOWING: 1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE FURNACE AND ACCESSIBLE TO THE FURNACE WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 30 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN
- ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. 2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE HEAT PUMP SPACE HEATER INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."

(U) ELECTRIC COOKTOP READY. SYSTEMS USING GAS OR PROPANE COOKTOP TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE **FOLLOWING:**

- 1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE COOKTOP AND ACCESSIBLE TO THE COOKTOP WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 50 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED
- IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. 2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE ELECTRIC COOKTOP INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."

(V) ELECTRIC CLOTHES DRYER READY. CLOTHES DRYER LOCATIONS WITH GAS OR PROPANE PLUMBING TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING:

- 1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE CLOTHES DRYER LOCATION AND ACCESSIBLE TO THE CLOTHES DRYER LOCATION WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 30 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.
- 2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE ELECTRIC CLOTHES DRYER INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."

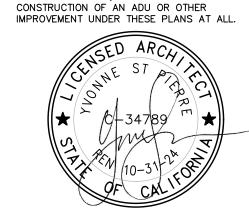
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City of Riverside Pre-Approved ADIJ Program

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Genera Notes

October 2023

DESIGN PATH STUDIO

project no. Riverside ADU

drawn by

CBC CHAPTER 7A - MATERIALS & CONSTRUCTION METHODS FOR EXTERIOR WILDLIFE EXPOSURE IF THE PROPERTY THAT WILL CONTAIN THE ADU IS IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE THESE NOTES SHALL APPLY. THE JURISDICTION HAS DETERMINED THAT THIS PROJECT IS IN A WILDLIFE -URBAN INTERFACE AREA. PLEASE SHOW COMPLIANCE WITH THE FOLLOWING ITEMS FOR NEW BUILDINGS, PER THE 2022 CBC **EXCEPTIONS:**

- BUILDINGS OF AN ACCESSORY CHARACTER CLASSIFIED AS A GROUP U OCCUPANCY AND NOT EXCEEDING 120 SQUARE FEET IN FLOOR AREA. WHEN LOCATED AT LEAST 30 FEET FROM AN APPLICABLE BUILDING.
- BUILDINGS OF AN ACCESSORY CHARACTER CLASSIFIES AS A GROUP U OCCUPANCY OF ANY SIZE LOCATED LEAST 50' FROM AN APPLICABLE BUILDING.
- BUILDINGS CLASSIFIED AS A GROUP U AGRICULTURE BUILDING AS DEFINED IN SECTION 202 OF THE CODE (SEE ALSO APPENDIX C - GROUP U AGRICULTURE BUILDINGS), WHEN LOCATED AT LEAST 50' FROM AN APPLICABLE BUILDING.

REQUIREMENTS:

- 705A.2 ROOF COVERINGS. WHERE THE ROOF PROFILE HAS AN AIRSPACE UNDER THE ROOF COVERING, INSTALLED OVER A COMBUSTIBLE DECK, A 72 LB. (32.7 KG) CAP SHEET COMPLYING WITH ASTM D3909 STANDARD SPECIFICATION FOR "ASPHALT ROLLED ROOFING (GLASS FELT) SURFACED WITH MINERAL GRANULES," SHALL BE INSTALLED OVER THE ROOF DECK. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS. TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS EXCEPTION: CAP SHEET IS NOT REQUIRED WHEN NO LESS THAN 1" OF MINERAL WOOL BOARD OR OTHER NONCOMBUSTIBLE MATERIAL IS LOCATED BETWEEN THE ROOFING MATERIAL AND WOOD FRAMING OR DECK. ALTERNATELY, A CLASS A FIRE RATED ROOF UNDERLAYMENT, TESTED IN ACCORDANCE WITH ASTM E108, SHALL BE PERMITTED TO BE USED. IF THE SHEATHING CONSISTS OF EXTERIOR FIRE-RETARDANT TREATED WOOD, THE UNDERLAYMENT SHALL NOT BE REQUIRED TO COMPLY WITH A CLASS A CLASSIFICATION. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS
- 705A.3 ROOF VALLEYS. WHERE VALLEY FLASHING IS INSTALLED. THE FLASHING SHALL BE NOT LESS THAN 0.019-INCH NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MIN. 72 POUND MINERAL - SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909. AT LEAST 36-INCH -WIDE RUNNING THE FULL LENGTH OF THE VALLEY.
- 705A.4 ROOF GUTTER. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- 706A.2 VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDFIRE FLAME And EMBER RESISTANT VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL. OR WUI VENTS TESTED TO ASTM E2886 AND LISTED, BY COMPLYING WITH ALL OF THE FOLLOWING REQUIREMENTS:
 - A) THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST B) THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST C) THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662 F
- 706A.2.1 VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING A) VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF $\frac{1}{16}$ - INCH AND SHALL NOT EXCEED $\frac{1}{8}$ - INCH IN DIAMETER B) THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE
- C) THE MESH MATERIAL SHALL BE CORROSION RESISTANT. 707A.3 EXTERIOR WALLS COVERINGS. THE EXTERIOR WALL COVERING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING REQUIREMENTS, EXCEPT AS PERMITTED FOR EXTERIOR WALL ASSEMBLIES COMPLYING WITH SECTION 707A.4:
 - 1. NONCOMBUSTIBLE MATERIAL 2. IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2. 3. FIRE-RETARDANT-TREATED WOOD. THE FIRE-RETARDANT-TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF **SECTION 2303.2.**
- 707A.3.1 EXTENT OF EXTERIOR WALL COVERING. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF AND TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

- 8. 707A.4 EXTERIOR WALL ASSEMBLIES. EXTERIOR WALL ASSEMBLIES OF BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED USING ONE OR MORE OF THE FOLLOWING METHODS, UNLESS THEY ARE COVERED BY AN EXTERIOR WALL COVERING COMPLYING WITH SECTION 707A.3:
 - 1. ASSEMBLY OF SAWN LUMBER OR GLUE LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4 INCHES. SAWN OR GLUE-LAMINATED PLANKS SPLINED, TONGUE-AND-GROVE, OR SET CLOSE TOGETHER AND WELL SPIKED.
 - 2. LOG WALL CONSTRUCTION ASSEMBLY
 - 3. ASSEMBLY THAT HAS BEEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10 MINUTE DIRECT FLAME CONTACT EXPOSURE SET FORTH IN ASTM E2707 WITH THE CONDITIONS OF ACCEPTANCE SHOWN IN SECTION 707A.4.1
 - 4. ASSEMBLY THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES FOR A TEN MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN SFM STANDARD 12-7A-1
 - 5. ASSEMBLY SUITABLE FOR EXTERIOR FIRE EXPOSURE WITH A 1-HOUR FIRE RESISTANCE RATING, RATED FROM THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL263
 - 6. ASSEMBLY SUITABLE FOR EXTERIOR FIRE EXPOSURE CONTAINING ONE LAYER OF \(\frac{5}{8} \) -INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR WALL COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE FRAMING.
 - 7. ASSEMBLY SUITABLE FOR EXTERIOR EXPOSURE CONTAINING ANY OF THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUEL AS COMPLYING WITH A 1-HOUR FIRE-RESISTANCE RATING, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263
- 707A.5 OPEN ROOF EAVES. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF ENCLOSED ROOF EAVES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING:
 - 1. NON COMBUSTIBLE MATERIAL
 - 2. IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AN SHALL MEET THE REQUIREMENTS OF SECTION 704A.2
 - 3. FIRE-RETARDANT-TREATED WOOD. THE FIRE-RETARDANT-TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF **SECTION 2303.2**
 - 4. MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263
 - 5. ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIES BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK.
 - 6. THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, APPLIES AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, APPLIED TO THE UNDERSIDE OF THE ROOF DECK DESIGNED FOR THE EXTERIOR FIRE EXPOSURE, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DEIGN MANUAL.
 - EXCEPTION TO SECTION 707A.5: THE FOLLOWING MATERIALS DO NOT REQUIRE PROTECTION: FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS
- 10. 707A.6 ENCLOSED ROOF EAVES AND ROOF EAVE SOFFITS. THE EXPOSED UNDERSIDE OF ENCLOSED ROOF EAVES HAVING EITHER A BOXED-IN ROOF EAVE SOFFIT WITH A HORIZONTAL UNDERSIDE,OR SLOPING RAFTER TAILS WITH AN EXTERIOR COVERING APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS, SHALL BE PROTECTED BY ONE OR MORE OF THE FOLLOWING: 1. NONCOMBUSTIBLE MATERIAL
 - 2. IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND
 - SHALL MEET THE REQUIREMENTS OF SECTION 704A.2 3. FIRE-RETARDANT-TREATED-WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE
 - AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2 4. MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM
 - E119 OR UL 263 5. ONE LAYER OF \(\frac{5}{8} \)" TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF FLOOR PROJECTION.
 - 6. THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, APPLIED TO THE UNDERSIDE OF THE RAFTER TAIS OR SOFFIT, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
 - 7. BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN **ASTM E2957**
 - 8. BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3

EXCEPTION TO SECTION 707A.6: THE FOLLOWING MATERIALS DO NOT REQUIRE PROTECTION: FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS

 707A.7 EXTERIOR PORCH CEILINGS. THE EXPOSED UNDERSIDE OF THE EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY ONE OF THE FOLLOWING:

MEET THE REQUIREMENTS OF SECTION 704A.2

- NON COMBUSTIBLE MATERIAL 2. IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL
- 3. FIRE-RETARDANT-TREATED-WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2 4. MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263 5. ONE LAYER OF \(\frac{5}{8} \) TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE
- UNDERSIDE OF THE RAFTER TAILS OR SOFFIT. 6. THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, AS TESTED IN ACCORDANCE WITH ASTM E119, APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION
- FIRE RESISTANCE DESIGN MANUAL 7. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957 8. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3

EXCEPTION TO SECTION 707A.7: ARCHITECTURAL TRIM **BOARDS DO NOT REQUIRE PROTECTION**

- 12. 707A.8 FLOOR PROJECTIONS. THE EXPOSED UNDERSIDE OF A CANTILEVER FLOOR PROJECTION WHERE A FLOOR ASSEMBLY EXTENDS OVER AN EXTERIOR WALL SHALL BE PROTECTED BY ON OF THE FOLLOWING:
 - 1. NONCOMBUSTIBLE MATERIAL
 - 2. IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2 3. FIRE-RETARDANT-TREATED-WOOD. THE FIRE-RETARDANT
 - TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2 4. MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR
 - FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263 5. ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AND EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING
 - 6. THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, AS TESTED IN ACCORDANCE WITH ASTM E119, APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
 - 7. THE UNDERSIDE OF A FLOOR PROJECTIONS ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN SECTION 707A.10 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957.
 - 8. THE UNDERSIDE OF A FLOOR PROJECTIONS ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN THE SFM STD 12-7A-3.

EXCEPTION TO SECTION 707A.8: ARCHITECTURAL TRIM BOARDS DO NOT REQUIRE PROTECTION

- 13. 707A.9 UNDERFLOOR PROTECTION. THE UNDERFLOOR AREA OF ELEVATED OR OVERHANGING BUILDINGS SHALL BE ENCLOSED TO GRADE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDERFLOOR SHALL BE PROTECTED BY ONE OR MORE OF THE FOLLOWING:
 - 1. NONCOMBUSTIBLE MATERIAL

FLOOR PROJECTION

- 2. IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2 3. FIRE-RETARDANT-TREATED-WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2
- 4. MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263 5. ONE LAYER OF 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AND EXTERIOR COVERING ON THE UNDERSIDE OF THE
- 6. THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, APPLIED TO THE UNDERSIDE OF THE FLOOR, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
- 7. THE UNDERSIDE OF A FLOOR ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957.
- 8. THE UNDERSIDE OF A FLOOR ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3.

EXCEPTION TO SECTION 707A.9: STRUCTURAL COLUMNS AND BEAMS DO NOT REQUIRE PROTECTION WHEN CONSTRUCTED WITH SAWN LUMBER OR GLUE-LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4 INCHES. SAWN OR GLUE-LAMINATED PLANKS SHALL BE SPLINED. TONGUE-AND-GROOVE, OR SET CLOSE TOGETHER AND WELL SPIKED.

- 707A.10 UNDERSIDE OF APPENDAGES. WHEN REQUIRED BY THE ENFORCING AGENCY THE UNDERSIDE OF OVERHANGING APPENDAGES SHALL BE ENCLOSED TO GRADE IN ACCORDANCE
- WITH THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDER FLOOR SHALL CONSIST OF ONE OF THE **FOLLOWING:**
- 1. NONCOMBUSTIBLE MATERIAL

THE APPENDAGE PROJECTION

- 2. IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2
- 3. FIRE-RETARDANT-TREATED-WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2
- 4. MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263 5. ONE LAYER OF \(\frac{5}{8} \)" TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING ON THE UNDERSIDE OF
- 6. THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, APPLIED TO THE UNDERSIDE OF THE APPENDAGE, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
- 7. THE UNDERSIDE OF AN APPENDAGE ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST
- PROCEDURES SET FORTH IN ASTM E2957. 8. THE UNDERSIDE OF AN APPENDAGE ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WI THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3.
- **EXCEPTION TO SECTION 707A.10: STRUCTURAL COLUMNS** AND BEAMS DO NOT REQUIRE PROTECTION WHEN CONSTRUCTED WITH SAWN LUMBER OR GLUE-LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4 INCHES. SAWN OR GLUE-LAMINATED PLANKS SHALL BE SPLINED, TONGUE-AND-GROOVE, OR SET CLOSE TOGETHER AND WELL SPIKED
- 15. 708A.2 EXTERIOR GLAZING. THE FOLLOWING EXTERIOR GLAZING MATERIALS AND/OR ASSEMBLIES SHALL COMPLY WITH THIS SECTION:
 - 1. EXTERIOR WINDOWS
 - 2. EXTERIOR GLAZED DOORS
 - 3. GLAZED OPENINGS WITHIN EXTERIOR DOORS
 - 4. GLAZED OPENINGS WITHIN EXTERIOR GARAGE DOORS
 - 5. EXTERIOR STRUCTURAL GLASS VENEERS
 - 6. SKYLIGHTS 7. VENTS
- 708A.2.1 EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR
- 1. BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, OR
- 2. BE CONSTRUCTED OF GLASS BLOCK UNITS, OR 3. HAVE A FIRE-RESISTANT RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE TO NFPA 257, OR 4. BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.
- 17. 708A.3 EXTERIOR DOORS. EXTERIOR DOORS SHALL COMPLY WITH | RATING: Tested in accordance with ASTM E2886 ONE OF THE FOLLOWING:
 - 1. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL 2. THE EXTERIOR SURFACE OR CLADDING SHALL BE IGNITION **RESISTANT MATERIAL**
 - 3. TEH EXTERIOR DOOR SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - 3.1 STILES AND RAILS SHALL NOT BE LESS THAN 1-3/8" THICK.
 - 3.2 RAISED PANELS SHALL NOT BE LESS THAN 1-1/4" THICK. EXCEPT FOR THE EXTERIOR PERIMETER OF THE PANEL THAT SHALL BE PERMITTED TO TAPER TO A TONGUE NOT LESS THAN 3/4" THICK.
 - 4. THE EXTERIOR DOOR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO THE NFPA 252.
 - 5. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE IN SECTION 707A.3.1 WHEN TESTED IN ACCORDANCE WITH ASTM E2707.
 - 6. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.
- 18. 708A.3.1 EXTERIOR DOOR GLAZING. GLAZING IN EXTERIOR DOORS SHALL COMPLY WITH SECTION 708A2.1

FIRE SPRINKLER NOTES

- IF FIRE SPRINKLERS ARE REQUIRED AT PROPOSED DWELLING OR ADU THEN THE FOLLOWING NOTES APPLY.
- AUTOMATIC FIRE SPRINKLER SYSTEM AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AS PER NFPA 13D THE MOST CURRENT EDITION. DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION. PLANS AND INSTALLATION MUST BE BY A C16 LICENSED SPRINKLER CONTRACTOR
- 3. SECTION R313.2.1 AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION R313.3 OR MFPA13D.

WILDLAND URBAN INTERFACE (WUI) PRODUCTS

Non-Wood Roof Covering/Assemblies for WUI (ASTM E 108, SFM Listing Category 8180)

LISTING No. 8180-2299:0501

per 4'x8' sheet

RATING: Class A

CATEGORY: 8180 -- NON-WOOD ROOF COVERING/ASSEMBLIES FOR WILDLAND URBAN INTERFACE (W.U.I)

LISTEE: Metal Sales Manufacturing Corporation 545 South 3rd Street, Suite 200, Louisville, KY 40202 Contact: David Stermer (502) 855-4342 Fax (502) 855-4242

Email: dstermer@metalsales.us.com Metal Sales Image II™ 16" wide 26 GA Standing Seam Metal Roof System

Deck: 5:12 Slope Nominal 7/16" OSB sheathing. Max. 1/8" gap in all joints fastened with 2" nails, 8" OC spacing. Nominal 1/2" Densdeck installed per manufacturer's instructions for joints (staggered from sheathing) fastened with 8 -2" nails

Underlayment: Titanium UDL 30® stapled to face with 3" overlap.

Roof Covering: Metal Sales Image II™ 16" wide 26 GA Standing Seam Metal Roof System with rib/joint placed 6" from OSB joint fastened with #10-12 (1") pancake nead wood screws in the nail strip. Refer to listee's data sheet for additional detailed product description.

VENTS

(ASTM E 2886/2886M, E 2912, SFM Listing Category 8165)

LISTING No. 8165-2192:0500

CATEGORY: 8165 -- VENTS FOR WILDLAND URBAN INTERFACE

Vulcan Technologies8 Commercial Blvd, Suite E, Novato, CA

94949 Contact: Larry Dumm (916) 626-2400 Fax (916) 647-0477 Email: Larry@newcalmetals.com

DESIGN: Models VER2, VER2M, VER3, VER3M, VER4, VER4M, and VER6M Vulcan Eave Round Vents. Products are in sizes 2", 3", 4", or 6" diameter opening with a 1/4" flange, and a depth of 3/4". The vents are manufactured out of 0.020" aluminum incorporating a 5mm hexagonal aluminum matrix core made of 0.05mm aluminum foil with an intumescent coating underneath the louver cap. Models with "M" contain a stainless steel, type 304 woven, 1/16" opening mesh screen, installed between the louvers and the honeycomb core. Refer to manufacturer's installation

instructions and product data sheets.

instructions and product data sheets.

RATING: Noncombustible

UNDER EAVE (SFM Standard 12-7A-3, SFM Listing Category 8160)

LISTING No. 8160-2026:0006 CATEGORY: 8160 -- UNDER EAVE FOR WILDLAND URBAN

INTERFACE (W.U.I) **LISTEE:** JAMES HARDIE BUILDING PRODUCTS, INC. 10901 Elm Avenue, Fontana, CA 92337

Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634 Email: rathisha.sabaratnam@jhresearchusa.com **DESIGN:** "CemSoffit®" un-vented, fiber-cement soffit, 3/16" thick and ½" thick, under eave material. Refer to the manufacturer's installation

EXTERIOR WALL SIDING (SFM Standard 12-7A-1, SFM Listing Category 8140)

CATEGORY: 8140 -- EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I) JAMES HARDIE BUILDING PRODUCTS, INC. 10901 Elm Avenue, Fontana, CA 92337 Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634 Email: rathisha.sabaratnam@jhresearchusa.com

LISTING No. 8140-2026:0001 **DESIGN:** "Artisan®" lap siding, fiber-cement, 5/8" thick. Refer to the

manufacturer's installation instructions and product data sheets

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

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project

City of Riverside Pre-Approved **ADU Program**

revisions

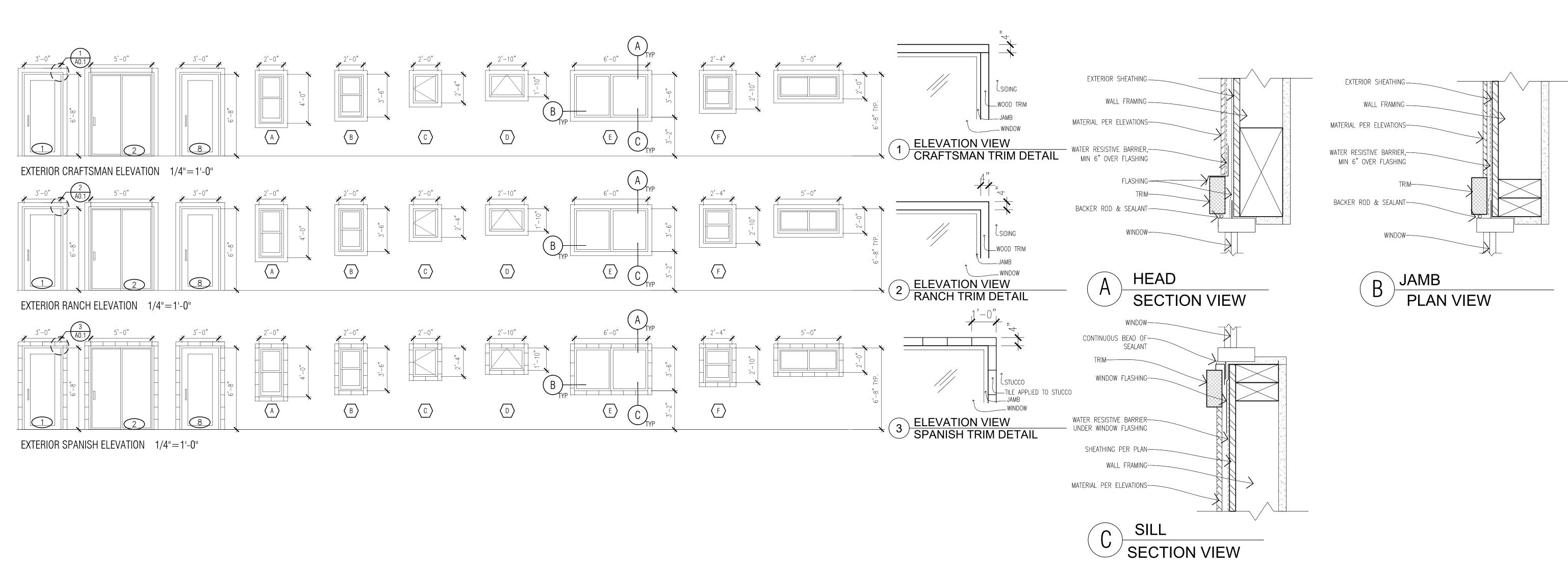
description

Genera Notes

October 2023

Riverside ADU project no.

DESIGN PATH STUDIO drawn by



-GLAZING IN GUARDS AND RAILINGS

11. EXTERIOR HINGED DOORS FACING THE SOURCE OF NOISE MUST BE MIN. STC 40 DB

12. SLIDING GLASS DOORS NOT FACING SOURCE OF NOISE MUST BE MIN STC 35 DB. DIRECT EXPOSURE NOT PERMITTED

9. NOT USED

10. NOT USED

-GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36IN. ABOVE THE WALKING SURFACE

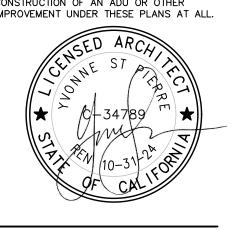
DESIGN PATH STUDIO
architecture + engineering + planning

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project

City of Riverside Pre-Approved ADU Program

revisions

\(\rightarrow{\}{\} \)

description

Window & Door Schedules

date October 2023

project no. Riverside ADU

DESIGN PATH STUDIO

eet no. $\bigwedge \bigcap$

drawn by

WINDOW DETAILS
SCALE: 3"=1'-0"

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FP6

CRAFTSMAN

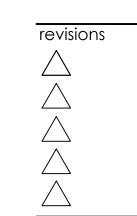


PATH STUDIO OR ITS ARCHITECTS.

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City of Riverside Pre-Approved **ADU Program**



DOOR SYMBOL

WINDOW SYMBOL

CEILING HEIGHTS

VAULTED CEILING

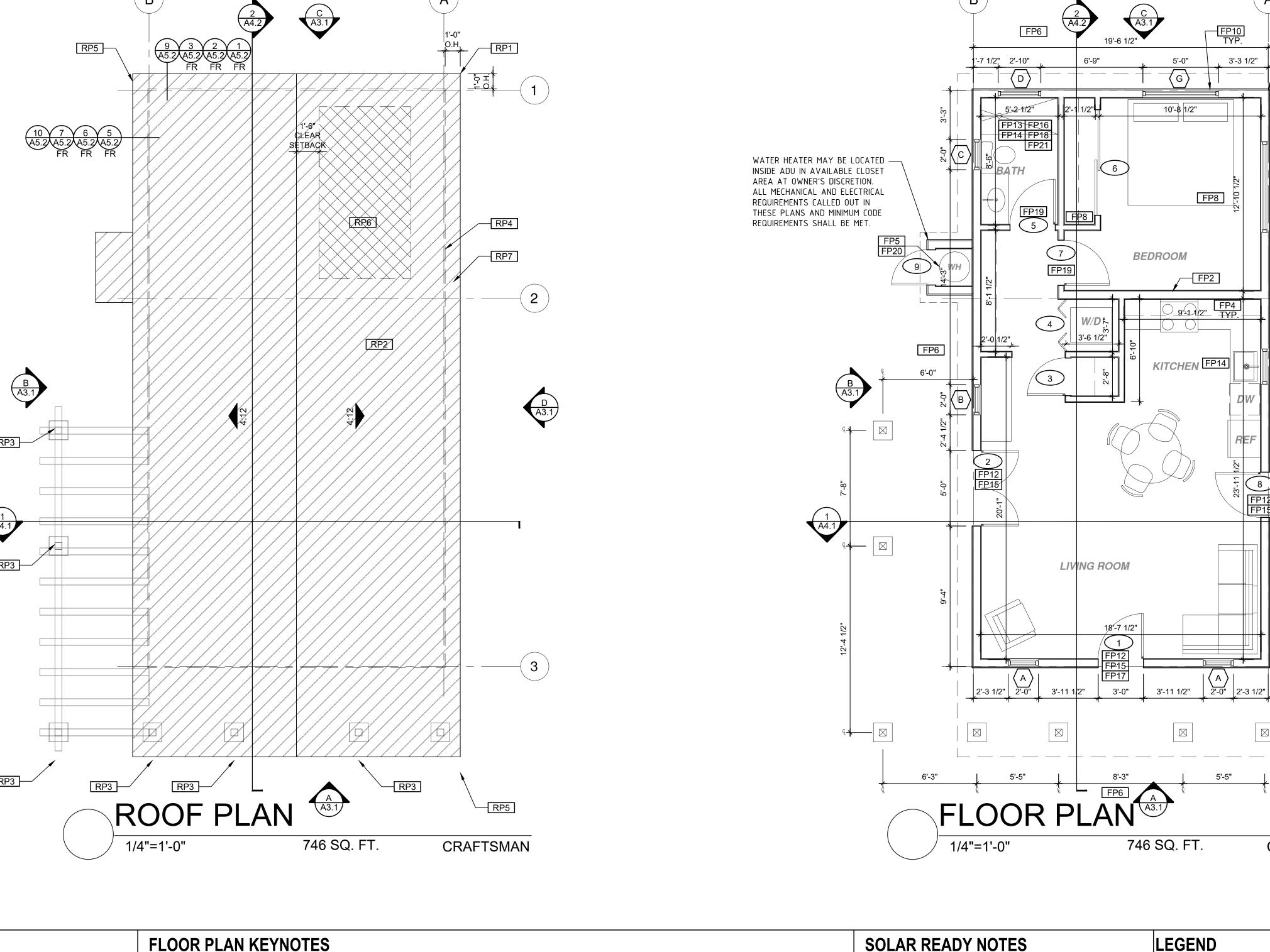
description

Roof & Floor Plan Craftsman

October 2023

project no. Riverside ADU

DESIGN PATH STUDIO drawn by



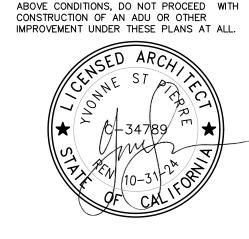
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THRESHOLD (CRC 3111.3.2)

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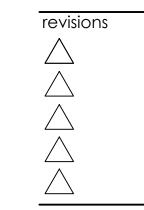
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RANCH

City of Riverside Pre-Approved **ADU Program**



description

DOOR SYMBOL

WINDOW SYMBOL

CEILING HEIGHTS

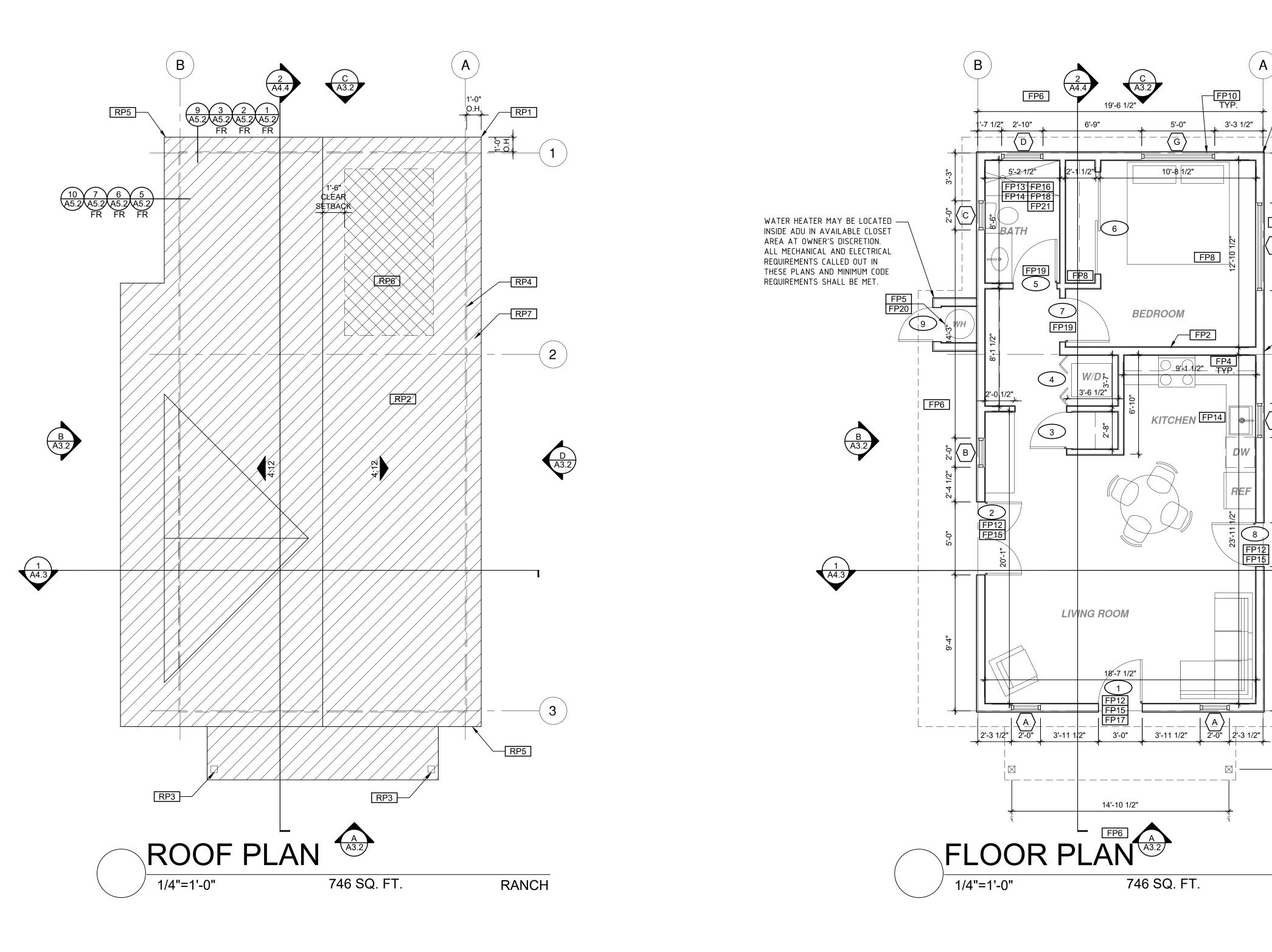
VAULTED CEILING

Roof & Floor Plan Ranch

October 2023

project no. Riverside ADU

DESIGN PATH STUDIO drawn by



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MINIMUM VENTILATION AREA REQUIRED: 716 SQ. IN.

WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE

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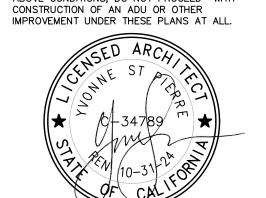
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FP6

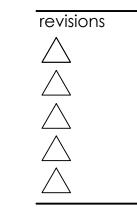
SPANISH

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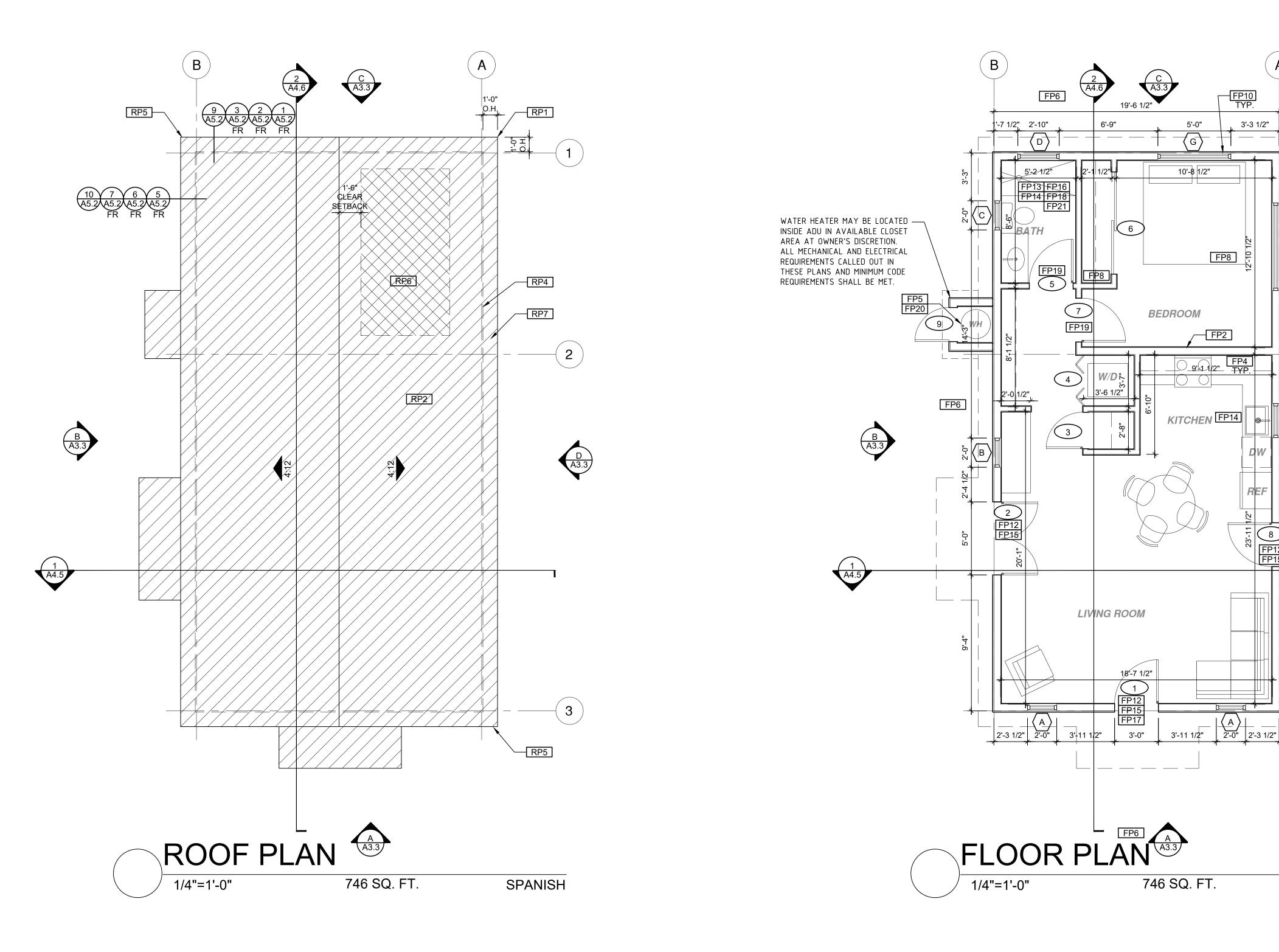
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October 2023

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MATERIALS USED AS BACKERS FOR PER CALIFORNIA ENERGY CODE SECTION 110.10(b) SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND WALL TILE IN TUBE AND REINFORCED GYPSUM PANELS, INDOOR/OUTDOOR SWIMMING POOLS WHERE THE THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, FP3 LINE OF OVERHANG ABOVE NON-ASBESTOS FIBER CEMENT BACKER BOARD, OR RP3 SUPPORT POST BELOW BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS NON-ASBESTOS FIBER CEMENT REINFORCED AND S[PACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER **ELEVATION** THAN 60" ABOVE THE STANDING SURFACE. PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED NY LOCAL JURISDICTION CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE CALLOUT FP4 36" HIGH COUNTER RP4 LINE OF WALLS BELOW EXCEPTION: GLAZING THAT IS MORE THAN 60", WITH MANUFACTURERS' RECOMMENDATIONS. SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF MEASURED HORIZONTALLY, FROM THE WATER'S FP5 WATER HEATER RP5 ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS. ROOF GUTTERS EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN FP17 DOOR BELL BUTTON TO BE NO MORE THEN FP6 SLOPE SURFACE AWAY FROM BUILDING OR SWIMMING POOL. SHOWER DOORS SHALL OPEN SHALL BE PROVIDED WITH THE MEANS TO PREVENT 48" ABOVE EXTERIOR FLOOR OR LANDING DETAIL AS TO MAINTAIN NOT LESS THAN A 22-INCH THE ACCUMULATION OF LEAVES AND DEBRIS IN THE DRAWING REF. FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE UNOBSTRUCTED OPENING FOR EGRESS. FP7 DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING FP18 WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO GUTTER IN HIGH FIRE SEVERITY ZONES. PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR FP14 PER SECTION 301.1.1 CALGREEN AND CIVIL CODE RP6 DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL FP8 CLOSET SHELF AND POLE 1101.3(c), ALL PLUMBING FIXTURES SHALL BE PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW NOTE #28 ON SHEET G0.2 FOR FURTHER INFORMATION. WALL BELOW OR X'-X" COMPLIANT WATER -CONSERVING PLUMBING TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS WHERE THE WATER CLOSET IS NOT PLACED ADJACENT ROOF ABOVE RP7 RAFTER VENTS TO MEET REQUIRED VENTILATION FP9 EMERGENCY EGRESS WINDOW FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. TO A SIDE WALL CAPABLE OF ACCOMMODATING A AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN FURTHER INFORMATION GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FP10 WINDOW MUST HAVE A FRAME AND SASH 1/16" OPENING SIZE ON VENT SCREEN WITH FOR INSTALLATION OF FLOOR-MOUNTED, FOLDAWAY FP15 LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 COMPRISED OF WELDED CORNERS, METAL CAPACITY OF THE PV SYSTEMS PER THE INITIAL CF1R-PRF: 1.75 kWdc OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS VARIES) SOLAR ZONE. REFER REINFORCEMENT IN THE INTERLOCK AREA, AND SF OF VENTING PER 150 SF OF ENCLOSED RAFTER TO BE UPDATED WITH SITE SPECIFIC NUMBERS. APPROVED BY THE ENFORCING AGENCY. TO SOLAR NOTES ON AREA IN NON-FIRE RATED CONSTRUCTION PLEASE CONSTRUCTED OF MULTIPANE TEMPERED GLAZING DOOR SERVED AND HAVE A MIN 36 INCH DEPTH SHEET G0.2 WHERE INDICATED TYPICAL ALL WINDOWS SEE VENTING CALCULATIONS OF THIS SHEET MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR FP19 DOOR TO HAVE A NET CLEAR **VENTING CALCULATIONS** LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE FP11 VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION OPENING OF 32" NOT TO EXCEED ¹/₄" PER FOOT, (CRC 3111.3) LANDINGS FP20 DESIGNATED 2'- 6" x 2'- 6" x 7' TALL MINIMUM AREA FOR OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT FP12 MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL INSTALLATION OF AN ELECTRIC HYBRID HEAT PUMP BE MORE THAN 1.5" LOWER THAN THE TOP OF THE ROOFING WATER HEATER PER CEC 2022 SECTION 150.0(N) ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR THRESHOLD FOR OUTWARD SWINGING DOORS OR BE SIDE-HNGED AND SHALL PROVIDE A CLEAR WIDTH ENCLOSED RAFTER AREA. 7.75" FOR DOORS THAT DO NOT SWING OUTWARD. FP21 FURRING AS NEEDED FOR STANDARD TUB AND SHOWER OF NOT LESS THAN 32 INCHES WHERE MEASURED ENCLOSED RAFTER AREA: 746 SF. (CRC 3111.3.1) BETWEEN THE FACE OF THE DOOR AND THE STOP, VENTILATION AREA REQUIRED: 746 SF./150SF.= 4.97 SF. DOORS OTHER THAN THE REQUIRED EGRESS DOOR

SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT

MORE THAN 7.75" BELOW THE TOP OF THE

THRESHOLD (CRC 3111.3.2)

CONVERT TO SQ. IN: 4.97 SF. x 144 = 716 SQ. IN.

MINIMUM VENTILATION AREA REQUIRED: 716 SQ. IN.

WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE

DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES

IN HEIGHT MEASURED FROM THE TOP OF THE

THRESHOLD TO THE BOTTOM OF THE STOP



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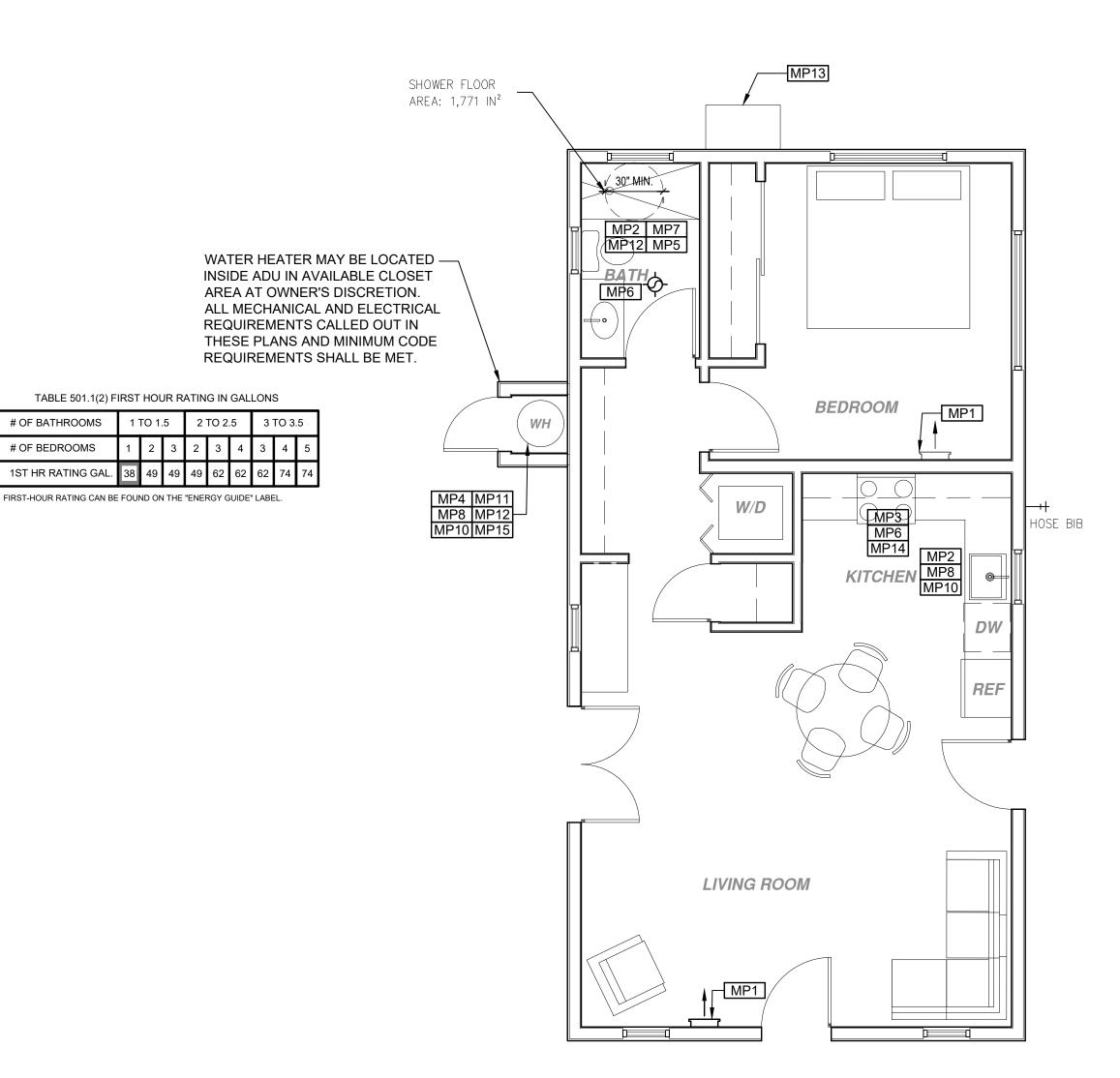
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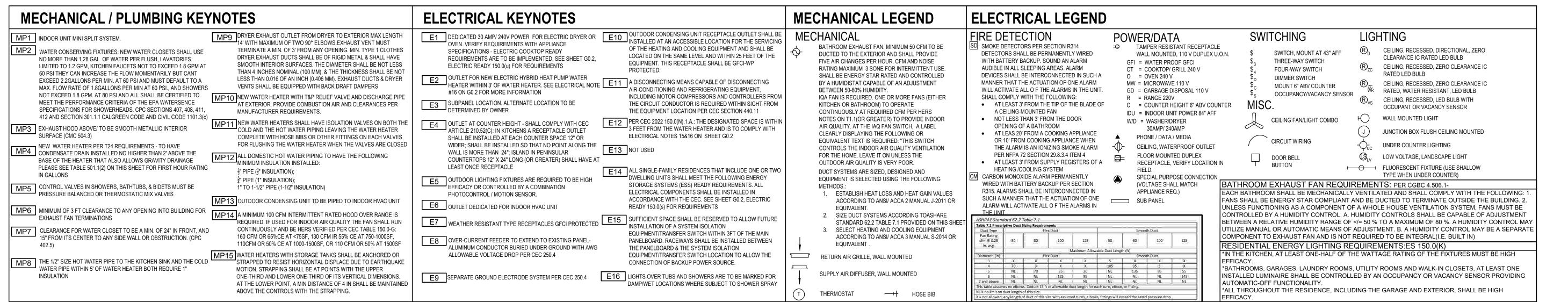




LIVING ROOM

— OUTDOOR CONDENSING UNIT

MECHANICAL / PLUMBING PLAN 1/4"=1'-0"



City of Riverside Pre-Approved **ADU Program**

revisions description

Mechanical/ Electrical/ **Plumbing** Plan

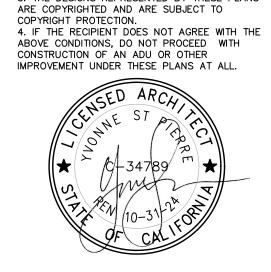
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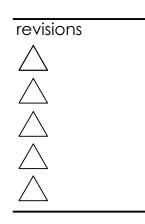
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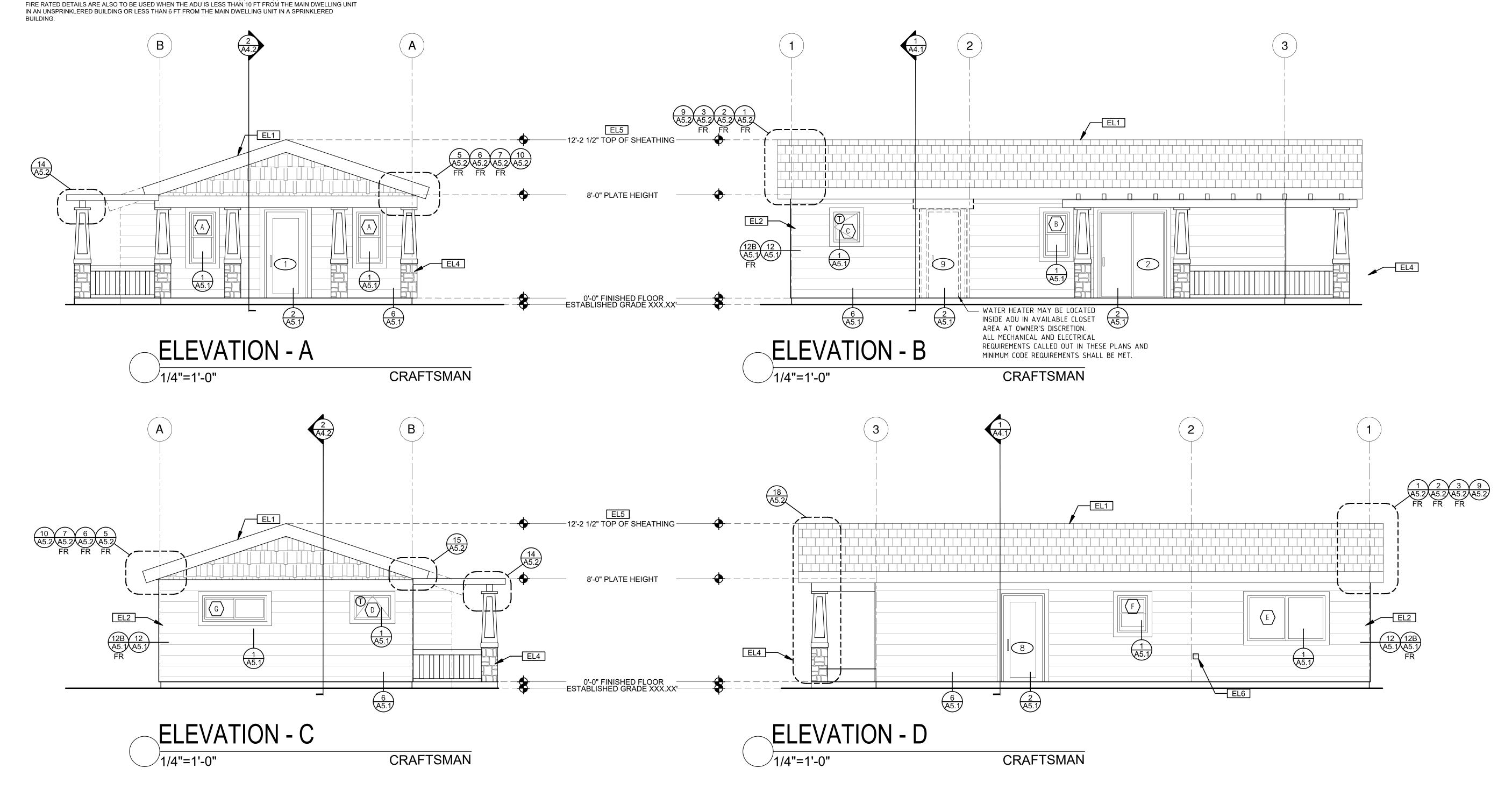
Exterior Elevations Craftsman

date October 2023

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project no. Riverside ADU

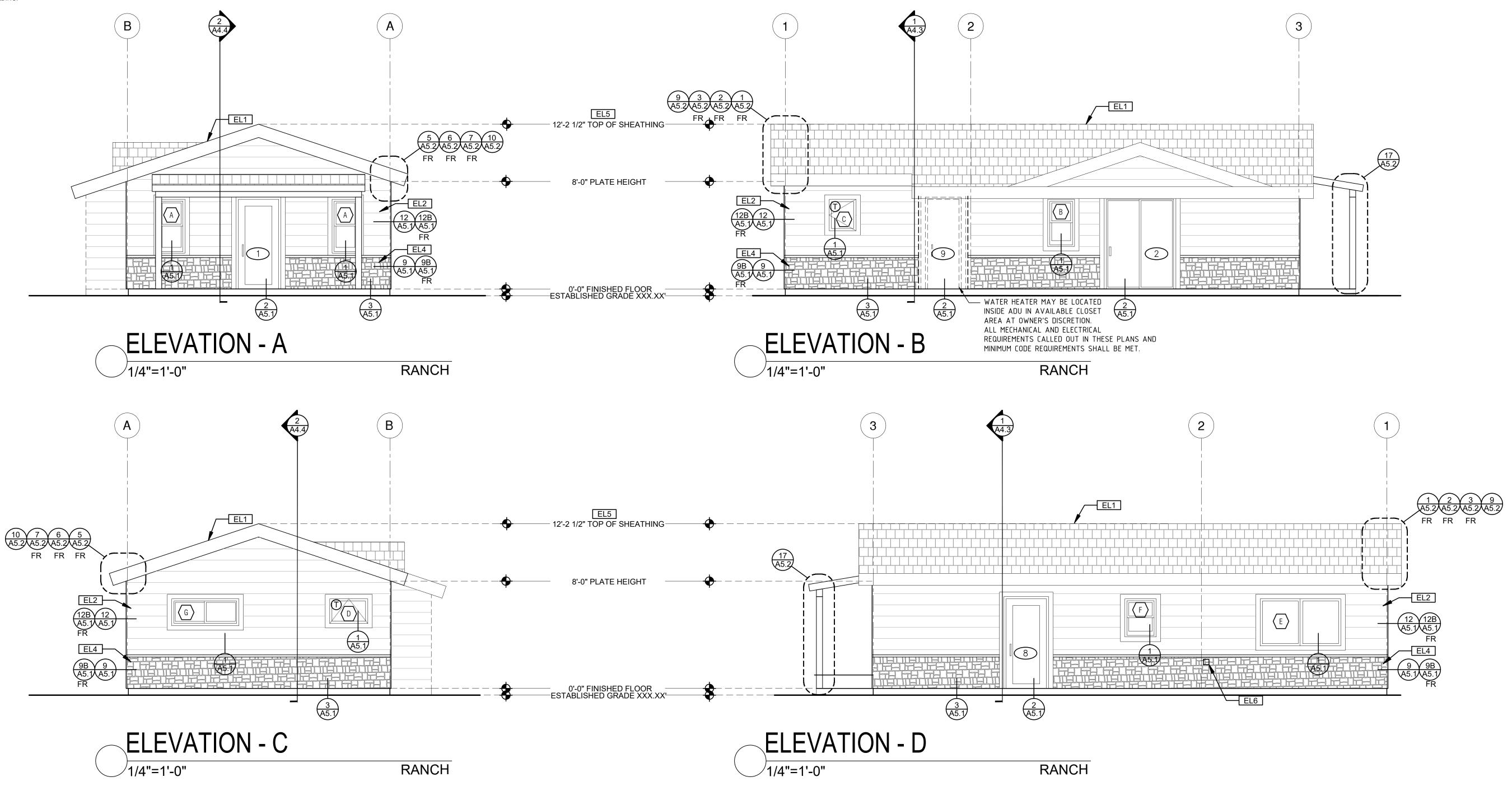
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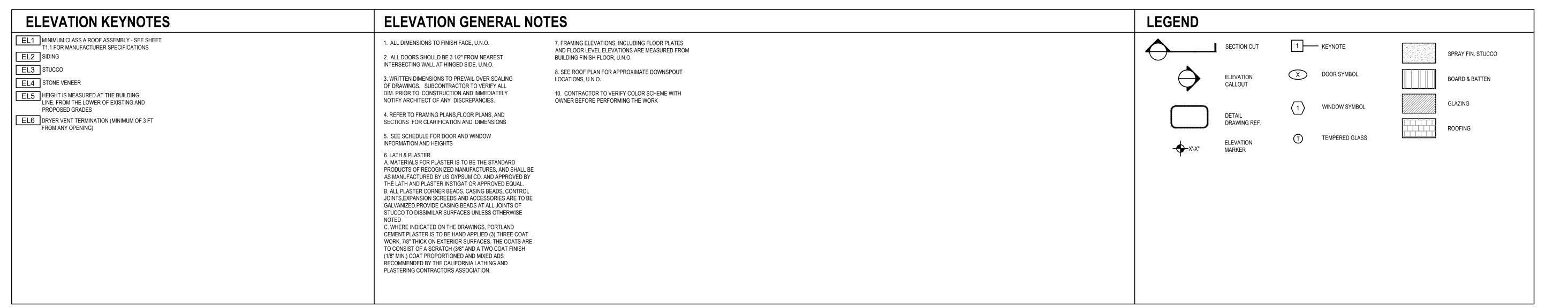


FIRE RATED DETAILS NOTED WITH THE ABBREVIATION "FR" ARE TO BE USED WHEN THE PROPERTY IS LOCATED IN THE VERY HIGH FIRE SEVERITY ZONE (VHFSZ) OR WILDLAND URBAN INTERFACE(WUI) ZONE OR WHEN WALLS AND ROOF EAVES ARE LESS THAN 5FT FROM PROPERTY LINE IN AN UNSPRINKLERED BUILDING OR LESS THAN 3FT

FROM PROPERTY LINE IN UNSPRINKLERED BUILDINGS PER TABLE R302.1(1) & R302.1(2).

ELEVATION KEYNOTES	ELEVATION GENERAL NOTES	LEGEND
EL1 MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS EL2 SIDING EL3 STUCCO EL4 STONE VENEER EL5 HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES EL6 DRYER VENT TERMINATION (MINIMUM OF 3 FT FROM ANY OPENING)	1. ALL DIMENSIONS TO FINISH FACE, U.N.O. 2. ALL DOORS SHOULD BE 3 12° FROM NEAREST INTERSECTING WALL, AT HINGED SIDE, U.N.O. 3. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF FORAMINGS. SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ARCHITECTOR AND IMMEDIATE AND IMM	SPRAY FIN. STUCCO LEEVATION



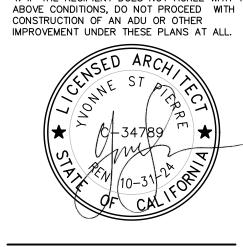


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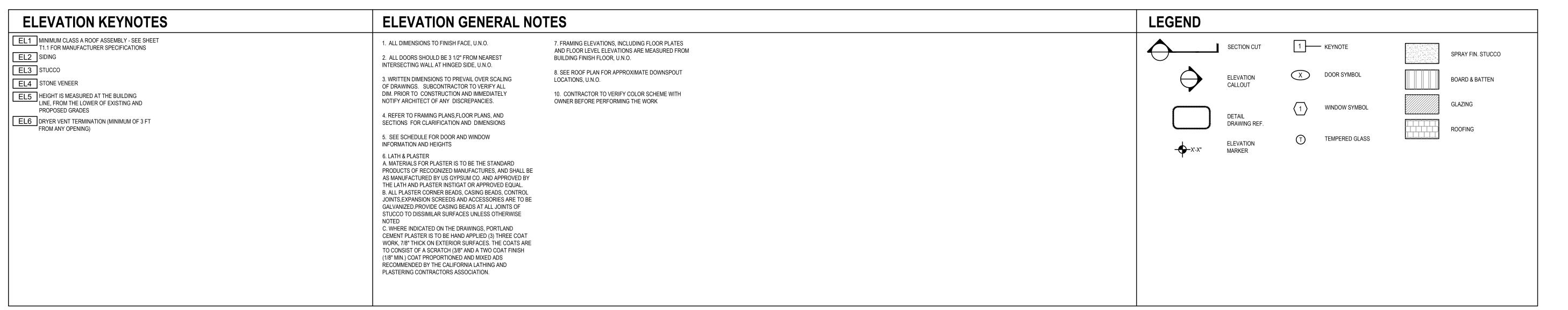
Exterior Elevations Ranch

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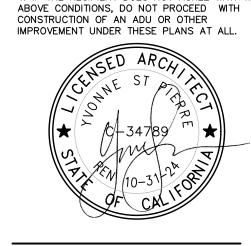
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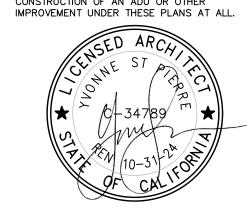
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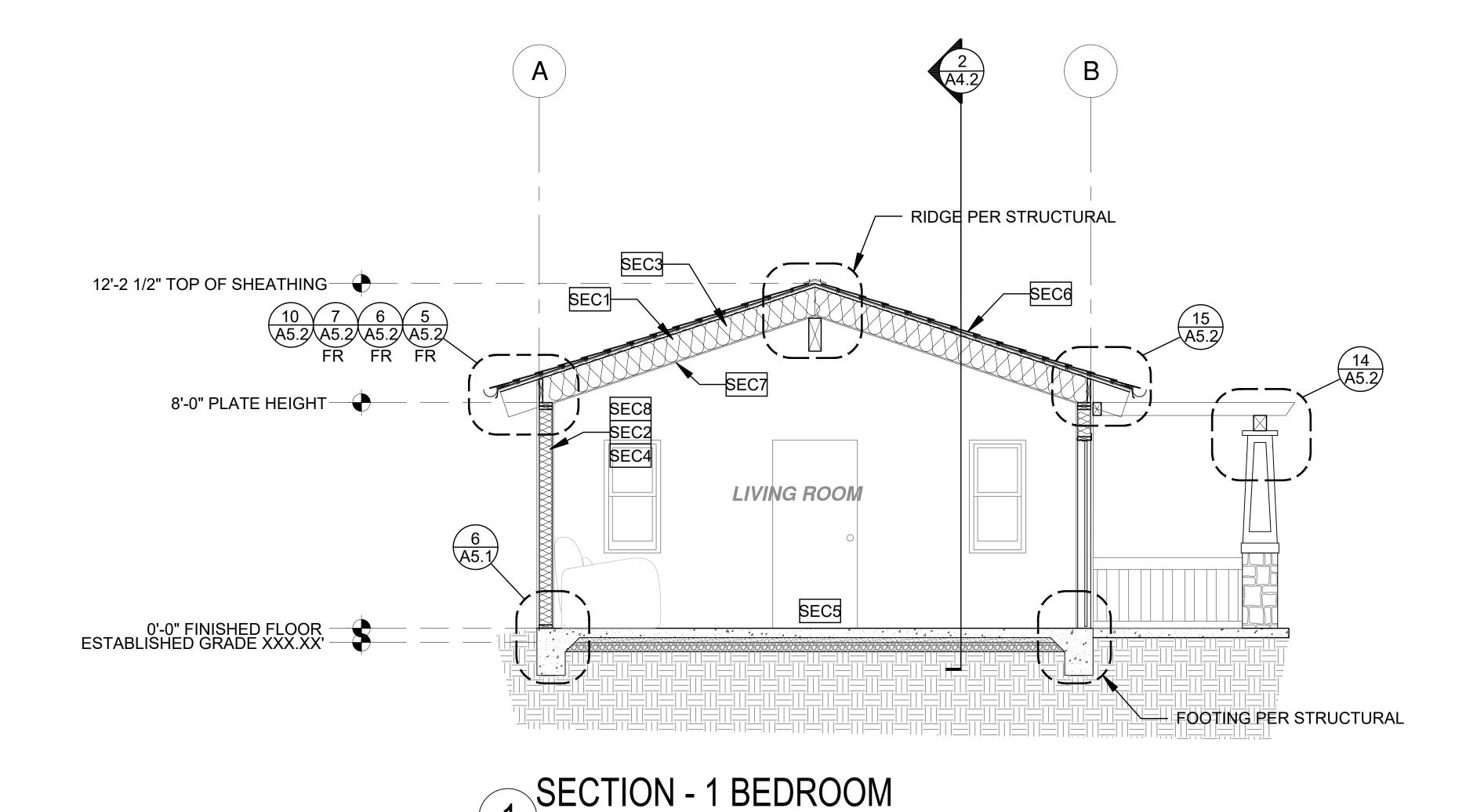
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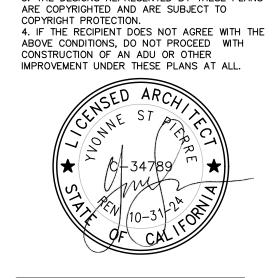


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	SEC2 2X STUDS @ 16" O.C SEE STRUCTURAL SEC3 CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS SEC4 WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS SEC5 CONC. SLAB ON GRADE SEE STRUCTURAL SEC6 MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS SEC7 5/8" GYPSUM WALLBOARD MOUTED ON RESILIENT CHANNELS WHEN THE BUILDING IS IN AREA IMPACTED BY A CNEL NOISE LEVEL OF 60dBA OR ABOVE	SEP LANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRROR AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANACHORS AND LIKE ITEMS. ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANACHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NEED OF STAINLESS AND LIKE ITEMS. TO MAKE A COMPLETE IN THE MARKET OF THE STAINLESS AND LIKE STRENG AND STRENG AND STREET OF THE STAINLESS AND LIKE ITEMS. ASTORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANACHORS AND LIKE ITEMS. TO MAKE A COMPLETE IN THE MACE A COMPLETE IN THE ITILE 2 REPORT A CALL AND HARDWARE MUST BE STAINLESS STEEL IN TO BE ASTAINLES STEEL IN TO BE ASTAINLES ASTEEL IS TO BE ASTAINLES ASTEEL IN THE MACE AND HARDWARE MUST BE THE MACE AND HARDWARE MUST BE THE MACE AND HARDWARE MUST BE TANALASIS ASSEMBLIES FOR SPECIFIC DATE TO A REPORT TO THE ASTRICTIVAL PLANS. **EXPLOITS AND ELLO ASTRENGES AND HARDWARE MUST BE ASTRICTIVAL PLANS. **EXPLOITS AND ELLO ASTRENGES AND HARDWARE MUST BE TANALASSES ASTRELES FOR SPECIFIC DATE. **EXPLOITS AND ELLO ASTRENGES AND HARDWARE MUST BE TANALASSES ASSURATES FOR SPECIFIC DATE. **EXPLOITS AND ELLO ASTRENGES AND THE MACE AND HARDWARE MUST BE TANALASSES ASSURATES FOR SPECIFIC TO THE ASTRED TO A REPORT TO THE ASTRED TO AND ENTIRE ASTRED TO THE ASTRED TO A REPORT TO THE ASTRED AND TO	SECTION CUT SER WITH SERVATION CALLOUT WITH DETAIL DRAWING REF. CE IN SECTION CUT ELEVATION CALLOUT SECTION CUT ELEVATION CALLOUT DETAIL DRAWING REF.

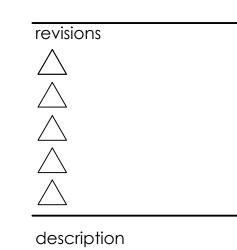
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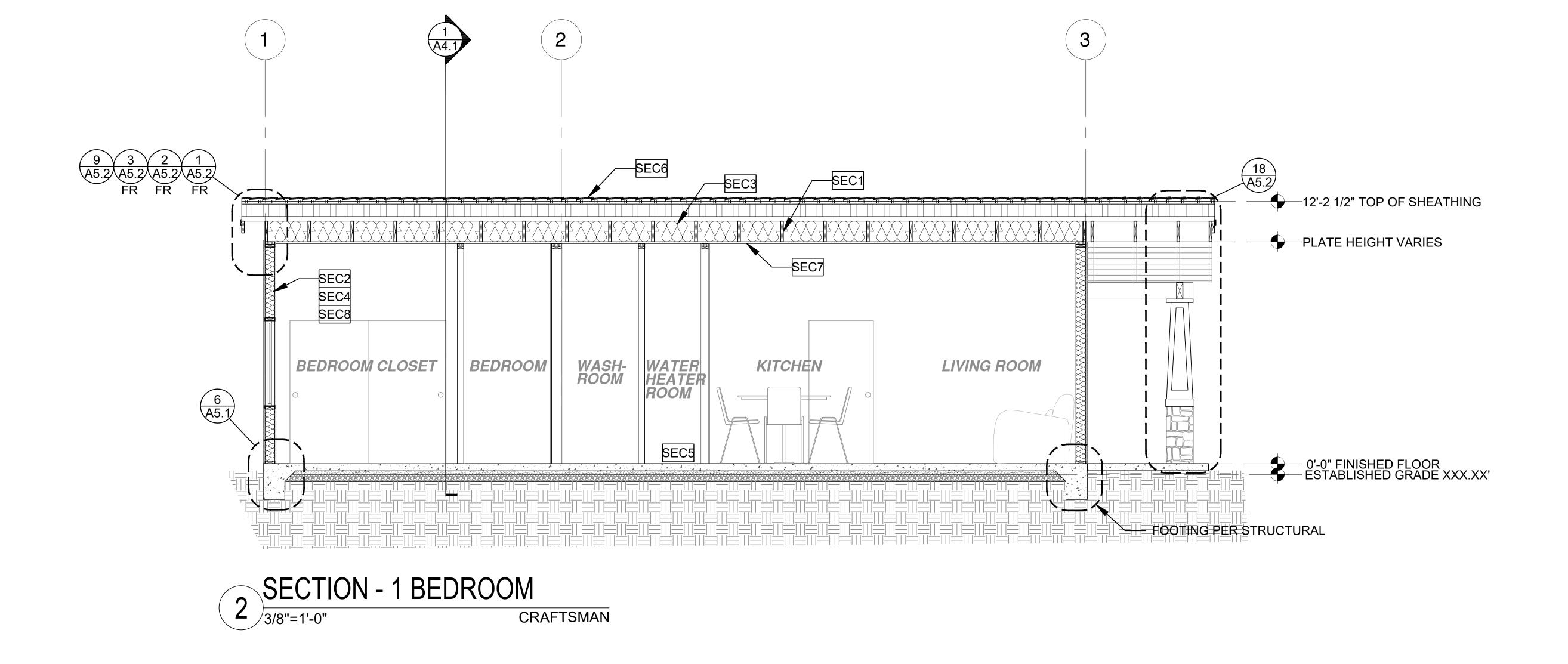
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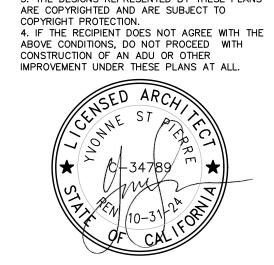
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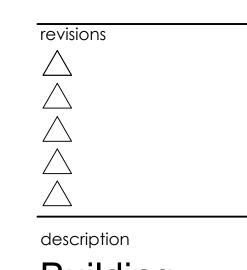
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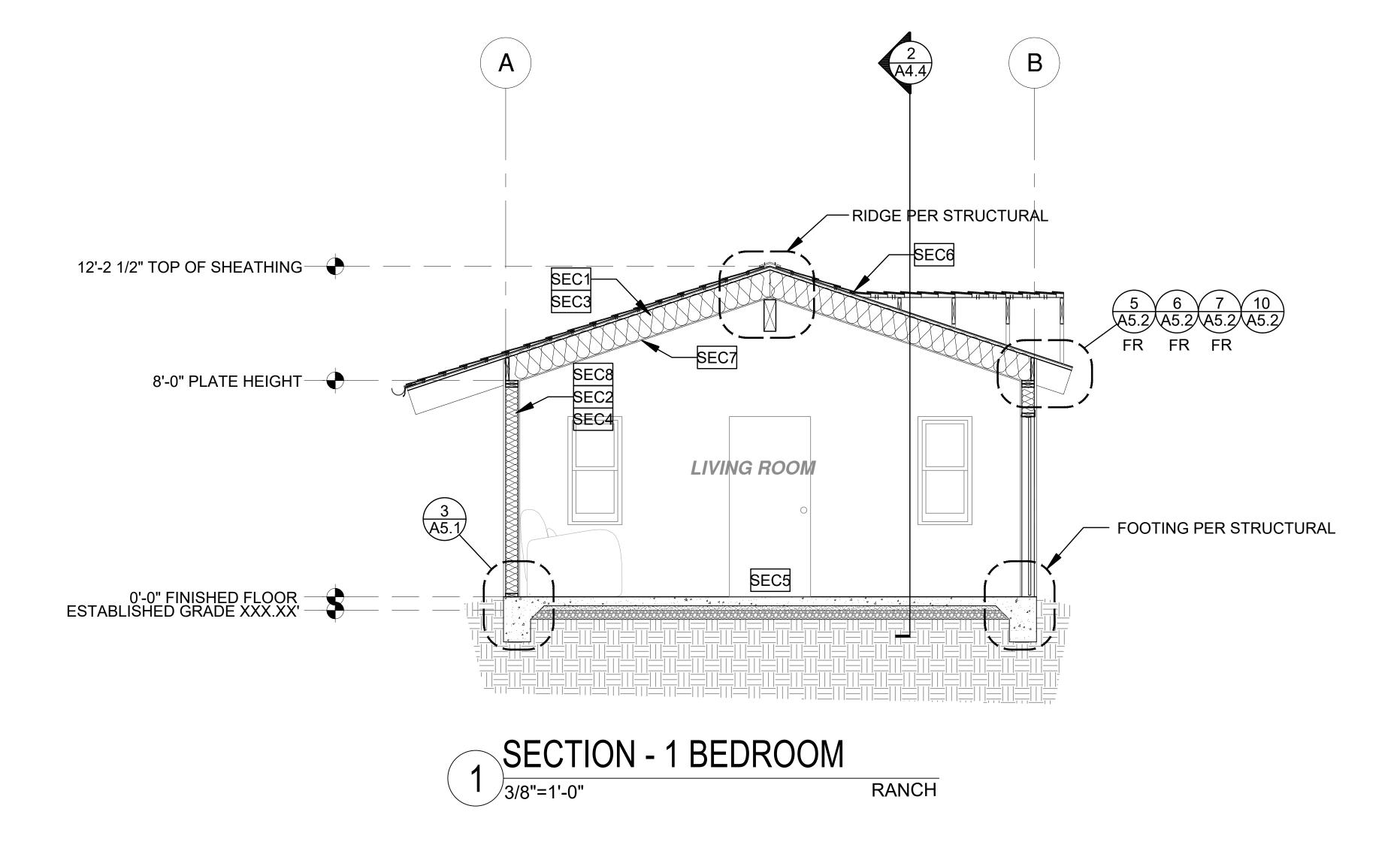


Building Sections Ranch

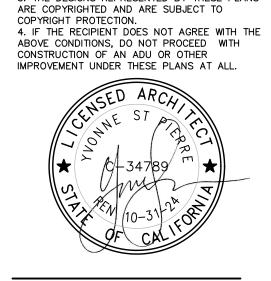
date October 2023

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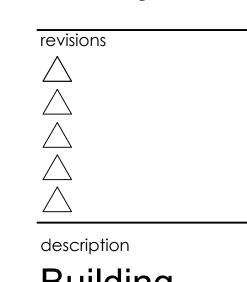


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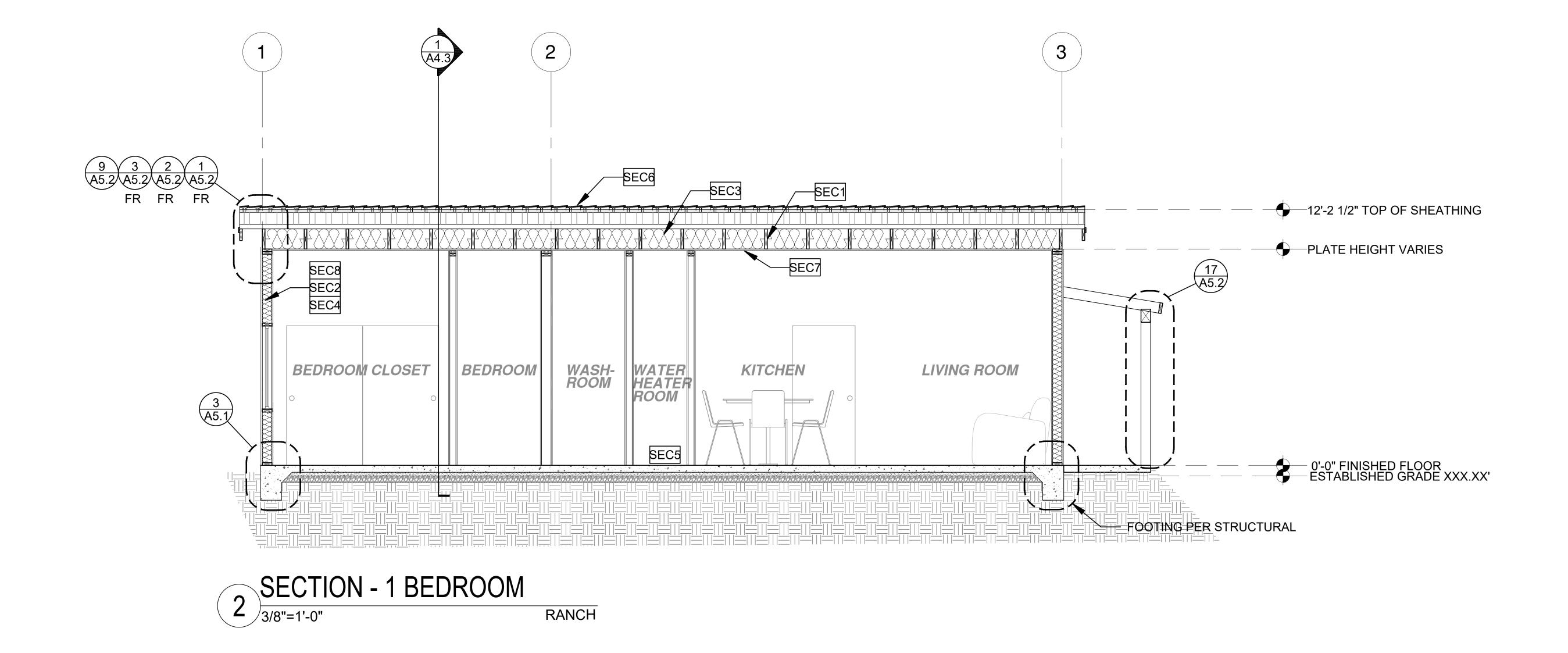


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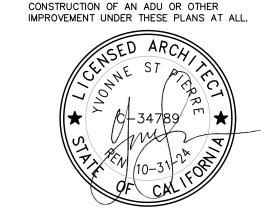


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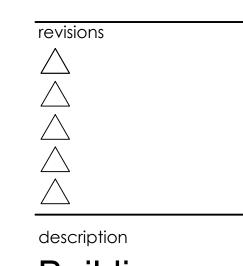
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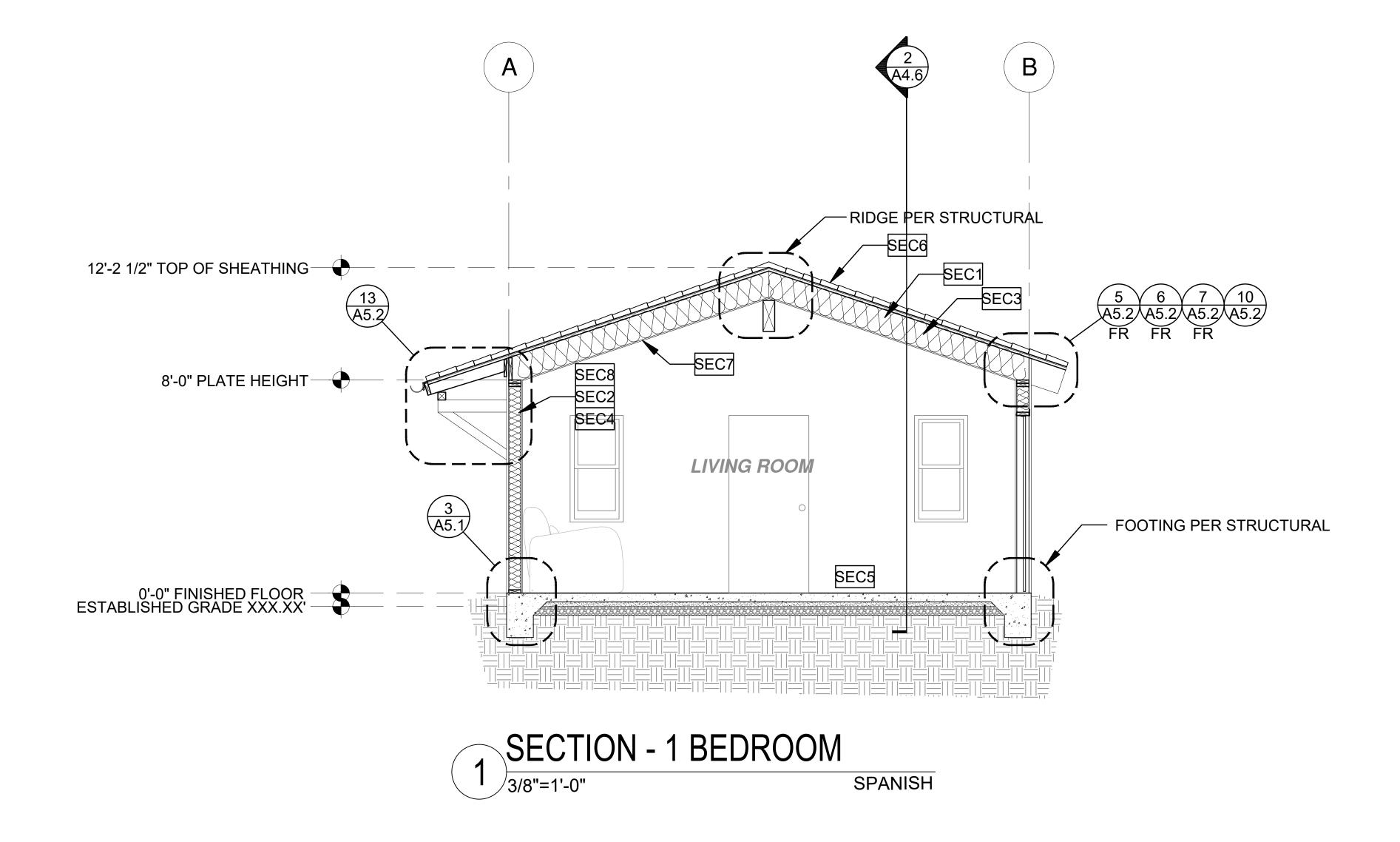
Building Sections Spanish

date October 2023

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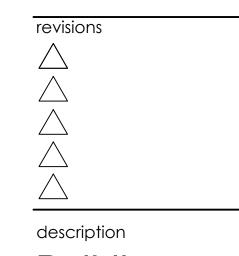
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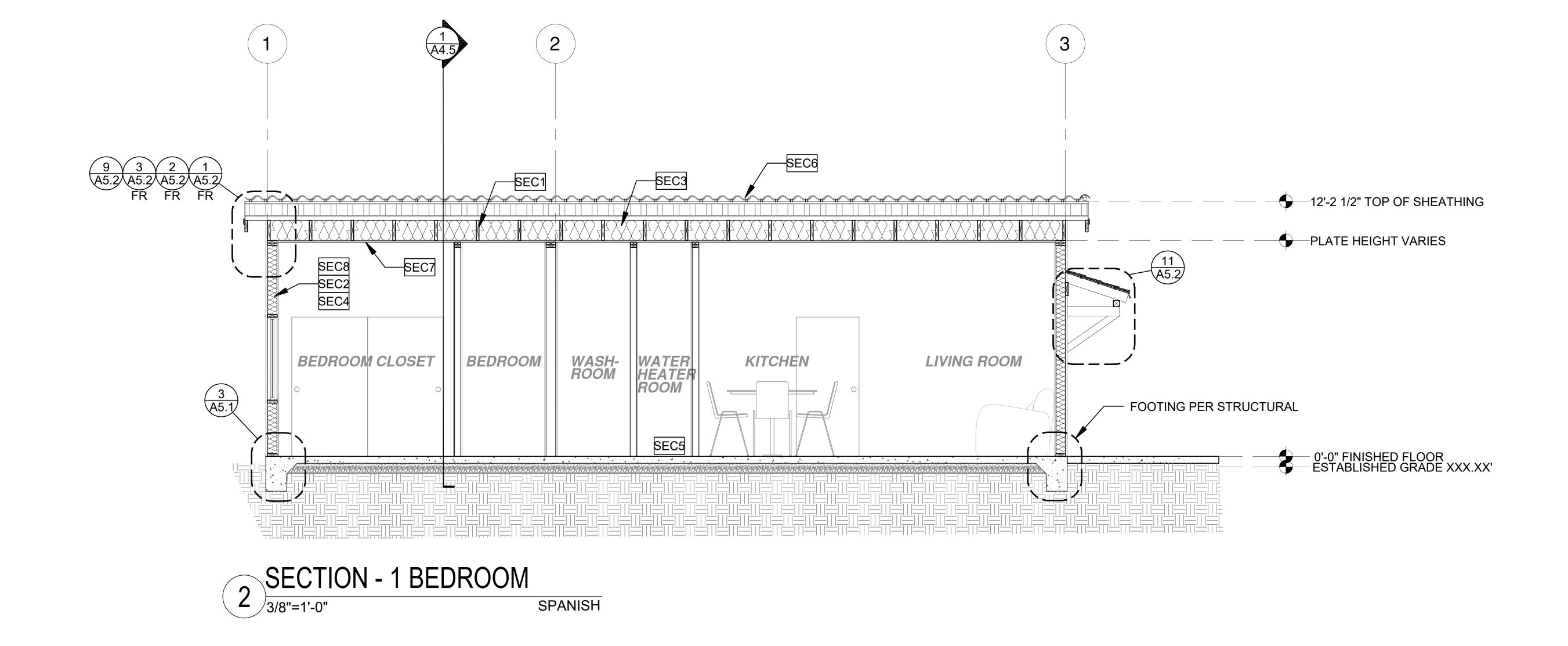


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STONE WALL

SCALE: $1\frac{1}{2}$ "=1'-0

SIDING - WALL SECTION

SCALE: $1\frac{1}{2}$ "=1'-0'

STUCCO WALL

SIDING WALL

SCALE: $1\frac{1}{2}$ "=1'-0"

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architecture + engineering + planning

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project

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revisions

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description

Architectural Wall Finish Details

date October 2023

project no. Riverside ADU

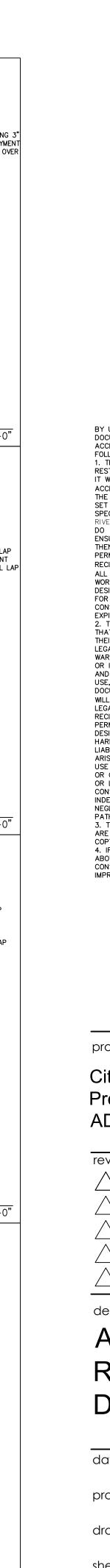
SCALE: $1\frac{1}{2}$ "=1'-0'

STUCCO/STONE - WALL SECTION

SCALE: $1\frac{1}{2}$ "=1'-0

drawn by DESIGN PATH STUDIO

A5.1

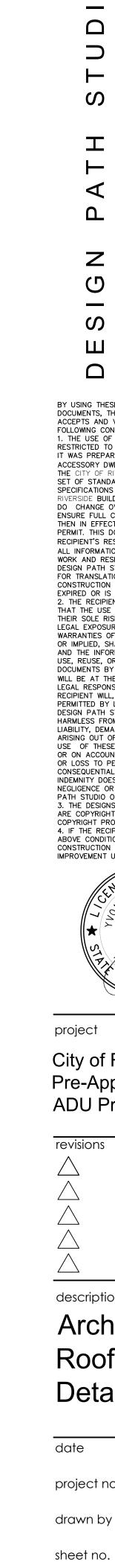


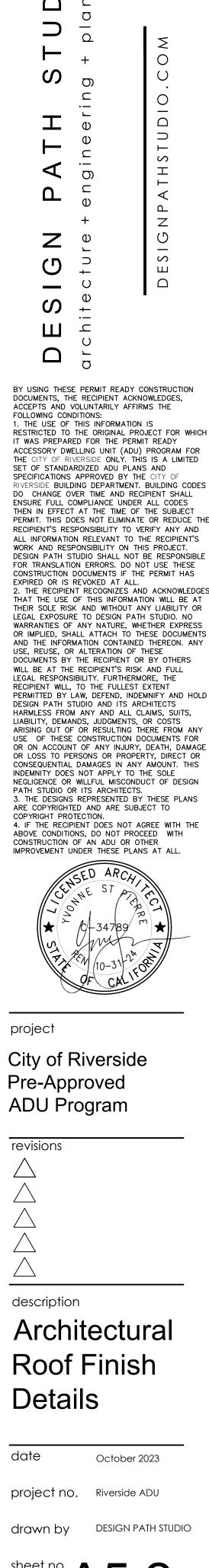
INSULATION AT UNVENTED ROOF

SCALE: 1"=1'-0'

ASSEMBLY-OVER/UNDER

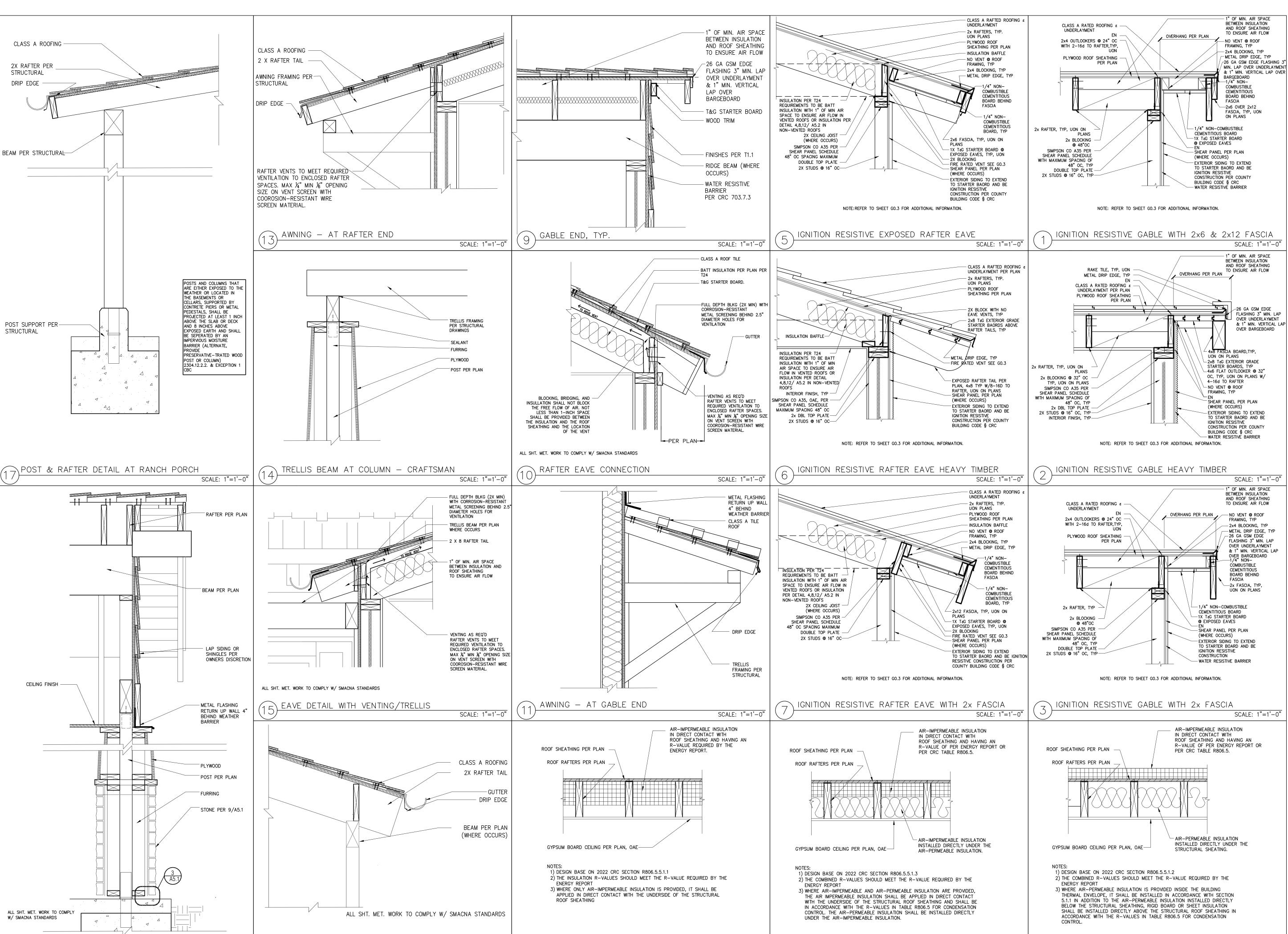
INSULATION @ UNVENTED ROOF ASSEMBLY





October 2023

DESIGN PATH STUDIO



(1) INSULATION @ UNVENTED ROOF ASSEMBLY

一人IMPERMEABLE ONLY

EAVE AT RANCH PORCH

RIDGE BEAM/OVERHANG/COLUMN — CRAFTSMAN

CLASS A ROOF

T & G OR FINISH PER

OWNERS DISCRETION

BEAM PER PLAN

POST PER PLAN

SEALANT

ALL SHT. MET. WORK TO COMPLY W/ SMACNA STANDARDS

WOOD COLUMN COLLAR

POST SUPPORT PER STRUCTURAL

TRELLIS FRAMING PER STRUCTURAL

RAFTER PER STRUCTURAL

RIDGE BEAM PER PLAN

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OR LOSS TO PERSONS OR PROPERTY, DIRECT OR

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3. THE DESIGNS REPRESENTED BY THESE PLANS

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revisions

description

Architectural Details

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R806.5 UNVENTED ATTIC AND UNVENTED ENCLOSED RAFTER ASSEMBLIES

5.2 In Climate Zones 1, 2 and 3, air-permeable insulation installed in unvented attics shall meet the following requirements:

5.2.1 An approved vapor diffusion port shall be installed not more than 12 inches (305 mm) from the highest point of the roof, measured vertically from the highest point of the roof to the lower edge of the

5.2.2 The port area shall be greater than or equal to 1:600 of the ceiling area. Where there are multiple ports in the attic, the sum of the port areas shall be greater than or equal to the area requirement.

5.2.3 The vapor-permeable membrane in the vapor diffusion port shall have a vapor permeance rating of greater than or equal to 20 perms when tested in accordance with Procedure A of ASTM E96.

5.2.4 The vapor diffusion port shall serve as an air barrier between the attic and the exterior of the

5.2.5 The vapor diffusion port shall protect the attic against the entrance of rain and snow.

5.2.6 Framing members and blocking shall not block the free flow of water vapor to the port. Not less than a 2-inch (51 mm) space shall be provided between any blocking and the roof sheathing. Air-permeable insulation shall be permitted within that space.

5.2.7 The roof slope shall be greater than or equal to 3:12 (vertical/horizontal).

5.2.8 Where only air-permeable insulation is used, it shall be installed directly below the structural roof sheathing, on top of the attic floor, or on top of the ceiling.

5.2.9 Air-impermeable insulation, where used in conjunction with air-permeable insulation, shall be directly above or below the structural roof sheathing and is not required to meet the R-value in Table R806.5. Where directly below the structural roof sheathing, there shall be no space between the air-impermeable insulation and air-permeable insulation.

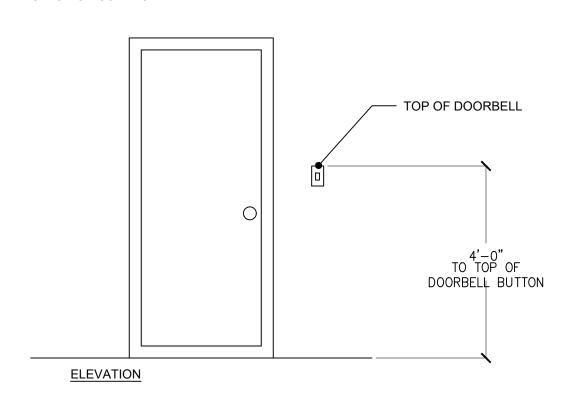
5.2.10 Were air-permeable insulation is used and is installed directly below the roof structural sheathing, air shall be supplied at a flow rate greater than or equal to 50 CFM (23.6 L/s) per 1,000 square feet (93 m2) of ceiling. The air shall be supplied from ductwork providing supply air to the occupiable space when the conditioning system is operating. Alternatively, the air shall be supplied by a supply fan when the conditioning system is operating.

UNVENTED ROOF ASSEMBLY (CRC R806.5.2)

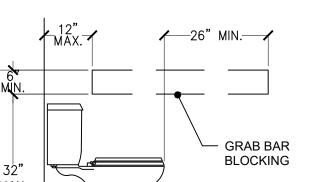
DOORBELL BUTTONS REQUIREMENTS

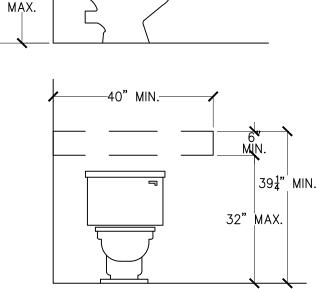
CRC R327.1.4

DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL.



DOORBELL BUTTONS (R327.1.4)





ELEVATIONS

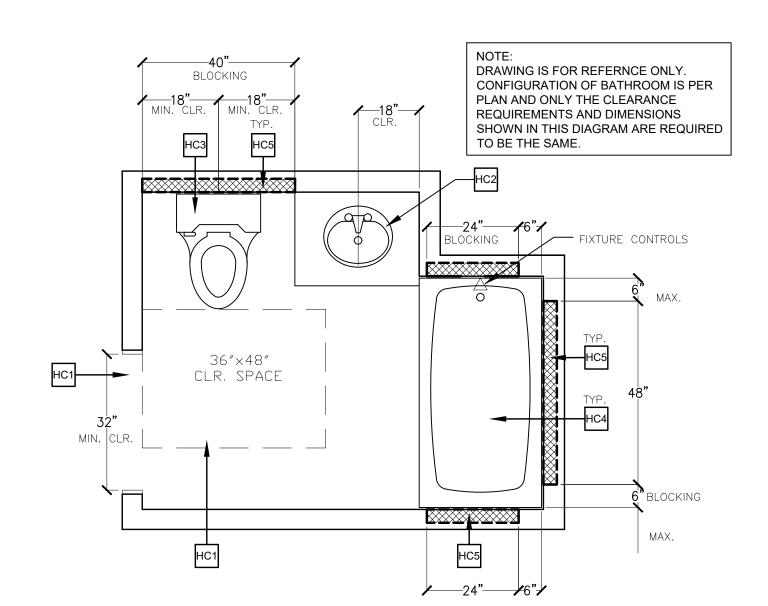
WHERE WATER CLOSETS ARE NOT PLACED ADJACENT TO A SIDE WALL, PROVIDE FOR INSTALLATION OF FLOOR-MOUNTED, FOLDAWAY OR SIMILAR ALTERNATIVE GRAB BARS. (<u>SEC. 1134A.7.2</u>)

IN LOCATIONS WHERE WATER CLOSETS ARE ADJACENT TO NON-GRAB BAR WALLS, VANITIES, LAVATORIES OR BATHTUBS, THE CENTERLINE OF THE FIXTURE SHALL BE A MINIMUM OF 18 INCHES FROM THE OBSTACLE. (SEC. 1134A.7.1)

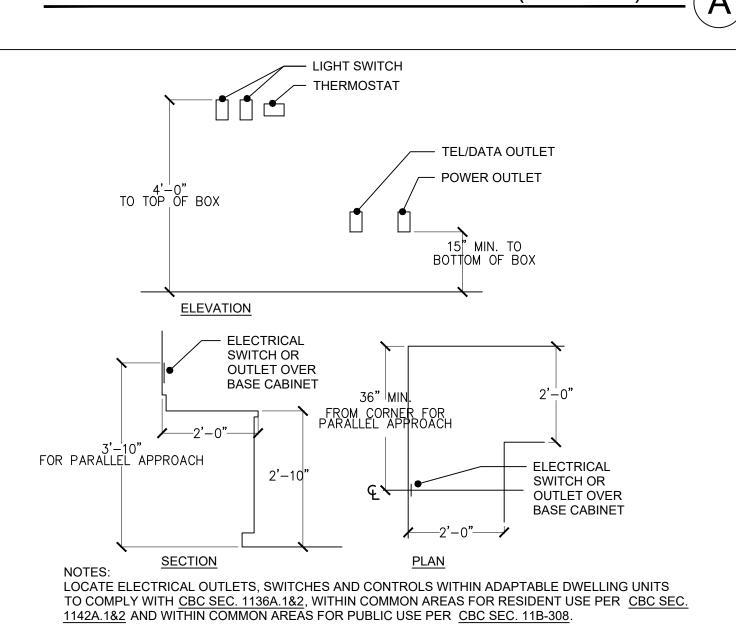
WATER CLOSET CONTROLS SHALL BE MOUNTED NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. (SEC. 1134A.7.4)

RESTROOM RES. WATER CLOSET (CBC 11A)

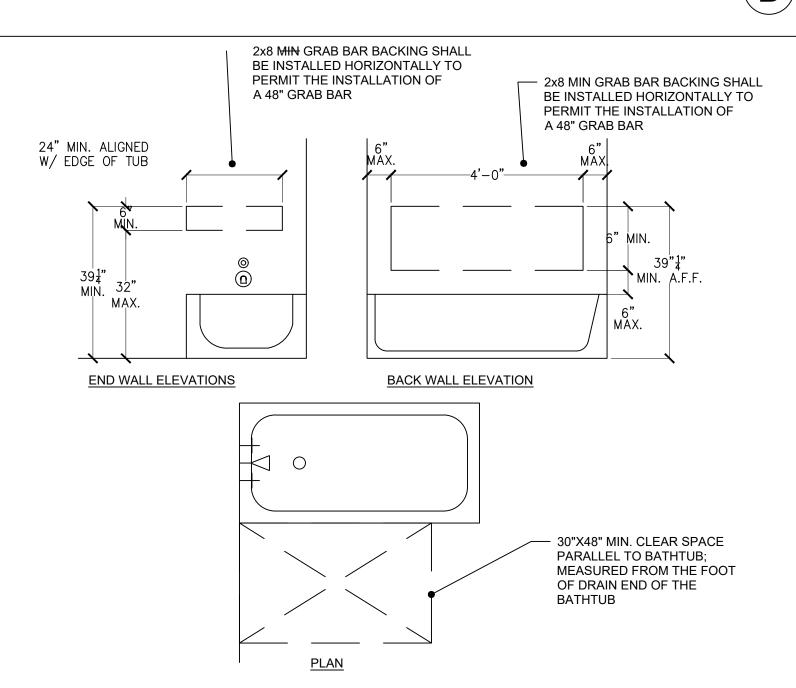




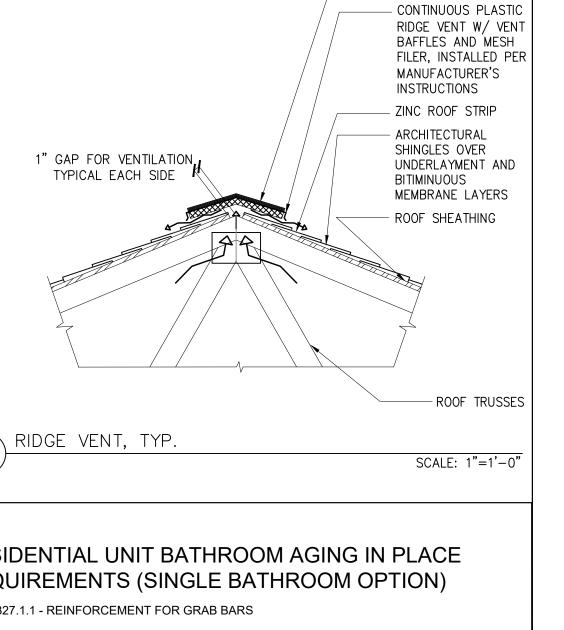
EXAMPLE ACCESSIBLE BATHROOM (CBC 11A)



DWELLING UNIT SWITCH LOCATIONS (R327.1.2)



RESTROOM RES. BATHTUB/SHOWER (R327.1.1)



CAP SHINGLES TO

MATCH ROOF

SHINGLES

RESIDENTIAL UNIT BATHROOM AGING IN PLACE REQUIREMENTS (SINGLE BATHROOM OPTION)

RC R327.1.1 - REINFORCEMENT FOR GRAB BARS

ATLEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION. WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH THIS SECTION.

1.REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.

2. REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH NOMINAL LUMBER OR OTHER MATERIAL PROVIDING EQUAL HEIGHT AND LOAD CAPACITY. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES AND 39 $\frac{1}{4}$ INCHES ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.

3. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL.

4. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS

5. BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHTUB RIM.

EXCEPTIONS:

1. WHERE THE WATER CLOSET IS NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR-MOUNTED, FOLDAWAY OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS APPROVED BY THE ENFORCING AGENCY.

2. REINFORCEMENT SHALL NOT BE REQUIRED IN WALL FRAMING FOR PRE-FABRICATED SHOWER ENCLOSURES AND BATHTUB WALL PANELS WITH INTEGRAL FACTORY - INSTALLED GRAB BARS OR WHEN FACTORY-INSTALLED REINFORCEMENT FOR GRAB BARS IS PROVIDED.

AND/OR GRAB BARS SHALL BE PERMITTED, PROVIDED REINFORCEMENT FOR INSTALLATION OF FLOOR-MOUNTED GRAB BARS OR AN ALTERNATE METHOD IS APPROVED BY THE 4. BATHTUBS WITH NO SURROUNDING WALLS, OR WHERE WALL PANELS DO NOT PERMIT

3. SHOWER ENCLOSURES THAT DO NOT PERMIT INSTALLATION OF REINFORCEMENT

HE INSTALLATION OF REINFORCEMENT SHALL BE PERMITTED, PROVIDED REINFORCEMENT FOR INSTALLATION OF FLOOR-MOUNTED GRAB BARS ADJACENT TO THE BATHTUB OR AN ALTERNATE METHOD IS APPROVED BY THE ENFORCING AGENCY.

5. REINFORCEMENT OF FLOORS SHALL NOT BE REQUIRED FOR BATHTUBS AND WATER OSETS INSTALLED ON CONCRETE SLAB FLOORS.

CRC R327.1.1 - DOCUMENTATION FOR GRAB BAR REINFORCEMENT

NFORMATION AND/OR DRAWINGS IDENTIFYING THE LOCATION OF GRAB BAR REINFORCEMENT SHALL BE PLACED IN THE OPERATION AND MAINTENANCE MANUAL IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4,

ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS

CRC R327.1.2

ELECTRICAL RECEPTACLE OUTLETS, SWITCH, AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION, AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR

1. DEDICATED RECEPTACLE OUTLETS; FLOOR RECEPTACLE OUTLETS; CONTROLS

2. RECEPTACLE OUTLETS REQUIRED BY THE CALIFORNIA ELECTRICAL CODE ON A WALL SPACE WHERE THE DISTANCE BETWEEN THE FINISHED FLOOR AND A BUILT-IN FEATURE ABOVE THE FINISH FLOOR, SUCH AS A WINDOW, IS LESS THAN 15 INCHES.

MOUNTED ON CEILING FANS AND CEILING LIGHTS; AND CONTROLS LOCATED ON APPLIANCES

AGING IN PLACE KEYNOTES (CRC 327)

AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32", MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION.

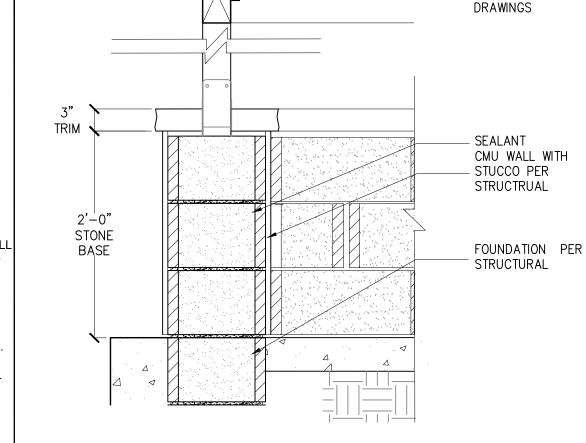
ACCESSIBLE LAVATORY PER PLAN W/ A REMOVABLE BASE CABINET. FOR LAVATORY ACCESSIBILITY REQUIREMENTS SEE NOTES UNDER THE "RESIDENTIAL UNIT BATHROOM DISABLED ACCESS REQUIREMENT NOTES."

ACCESSIBLE WATER CLOSET PER PLAN. FOR WATER CLOSET ACCESSIBILITY REQUIREMENTS SEE NOTES UNDER THE "RESIDENTIAL UNIT BATHROOM DISABLED ACCESS REQUIREMENT NOTES."

ACCESSIBLE 60"L (MIN.) TUB/SHOWER COMBINATION PER PLAN. FOR TUB/SHOWER HC4 ACCESSIBILITY REQUIREMENTS SEE NOTES UNDER THE "RESIDENTIAL UNIT ── BATHROOM DISABLED ACCESS REQUIREMENT NOTES."

HC5 REINFORCED 2x8 BLOCKING IN WALL FOR FUTURE GRAB BARS.

TRELLIS POST AT CMU WALL - SPANISH SCALE: 1"=1'-0'



A GABLE DETAIL AT RANCH/SPANISH PORCH POST

16d Box, 3" x 0.131" nails, 3" 14 gage staples 2-16d Com, 3-16d Box,4-3"x.131" nails,4-3" 14 gage staples

4-8d Box, 4x10d Box, 4-8d Com, 3-16d Box, 4-3"x0.131" nails, 4-3" 14 gage staples 3-16d Box, 2-16d Com, 3-10d Box, 3-3"x0.131" nails, 3-3" 14 gage staples 2-16d Com, 3-10d box, 3-3" x 0.131" nails, 3-3" 14 gage staples 3-8d Box, 2-8d Com, 2-10d Box, 2-3" x 0.131" nails, 2-3" 14 gage staples 3-8d Box, 2-1.75" 16 Gage staples, 2-8d Com, 2-10d Box 4-8d box, 4-1.75" 16 Gage staples, 3-8d Com, 3-10d Box 4-8d box, 3-8d Com, 3-10d Box, 3-3" x 0.131" nails, 3-3" 14 gage staples

8d Box @ 4" o.c. TN OR 8d Com, 10d Box, 3" x 0.131" nails, 3" 14 gage staples @ 6" o.c. TN 2-1.75" Gage Staples, 2-8d Com, 3-10d Box 3-16d Box, 2-16d Com

2" SUBFLOOR TO JOIST OR GIRDER, F.N. or BLIND 2" PLANKS (PLANK & BEAM - FLOOR & ROOF), FACENAIL & EACH BEARING 3-16d Box, 2-16d Com BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS 32" o.c. FN Top & BTTM STAGGERED ON OPPOSITE SIDES

10d Box, 3"x0.131" nails, 3" 14 gage staples 24" o.c. FN Top & BTTM 2-20d Com, 3-10d Box, 3-3"x0.131" nails, 3-3" 14 gage staples ENDS & SPLICES, FN LEDGER SUPPORTING JOISTS/RAFTERS 4-16d Box, 3-16d Com, 4-10d Box, 4-3"X0.131, 4-3" 14ga. STAPLES JOIST TO BAND OR RIM JOIST, END NAIL 3-16d Com, 4-10d Box, 4-3"X0.131, 4-3" 14ga. STAPLES 2-8d Com, 2-10d box, 2-3" x 0.131" nails, 2-3" 14 gage staples

BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS EACH END, T.N. WOOD STRUCT. PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHTNG TO FRMG AND EDGES INTERMEDIATE DARTICI EROADO MALL QUENTUMO TO EDAMINO FOOTNOTES:

RTICLEB	OARD WALL SHEATHING TO FRAMING	(IN)	SUPPORTS (IN)	
<u>3</u> " <u>1</u> " 8 -2	16d Com or deformed; or $2\frac{3}{8}$ "x.113" nail (subfloor and wall) 8d Com or deformed (roof) or $2\frac{3}{8}$ " x.113" nail (roof) $1\frac{3}{4}$ " 16 Ga Staple, $\frac{7}{16}$ " crown (subfloor and wall) $2\frac{3}{8}$ " x.113"x.266" head nail (roof) $1\frac{3}{4}$ " 16 Ga Staple, $\frac{7}{16}$ " crown (roof)	6 6 4 3 f 3	12 6 ^e 8 3 ^f	FOOTNOTES: a. Nails spaced at 6 inches at intermediate supports where spans are 48 inches or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Section 2305. Nails
<u>19</u> " <u>3</u> " 32" - 4	8d Com or deformed (subfloor and wall) 8d Com or deformed (roof) or $2\frac{3}{8}$ " x.113" nail (roof) d $2\frac{3}{8}$ " x.113"x.266" head nail, 2"16 Gage staple, $\frac{7}{16}$ " crown	6 6 4	12 6 ^e 8	for wall sheathing are permitted to be common, box or casing. b. Spacing shall be 6 inches on center on the edges and 12 inches on center at intermediate supports for nonstructural applications. Panel supports at 16 inches (20 inches if strength axis in the long direction of
7 ₈ "-1 1 ₄ "	10d Com or (3"x0.148"); or deformed ($2\frac{1}{2}$ x.131"x.281 head)	6	12	the panel, unless otherwise marked). c. Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule and the ceiling joist is fastened to the top
HER EXT	ERIOR WALL SHEATHING (FIBERBOARD)			plate in accordance with this schedule, the number of toenails in the rafter shall be permitted to be reduced by one nail.
1," b 2	$1\frac{1}{2}$ " x0.120", galvanized roofing nail ($\frac{7}{16}$ " head dia) or $1\frac{1}{4}$ " 16 Ga Staple w/ $\frac{7}{16}$ " or 1" crown	3	6	d. RSRS-01 is a Roof Sheathing Ring Shank nail meeting the specifications in ASTM F1667.
b 25" 32	$1\frac{3}{4}$ " x0.120", galvanized roofing nail ($\frac{7}{16}$ " head dia) or $1\frac{1}{2}$ " 16 Ga Staple w/ $\frac{7}{16}$ " or 1" crown	3	6	Example 2. Tabulated fastener requirements apply where the ultimate design wind speed is less than 140 mph. For wood structural panel roof sheathing attached to gable-end roof framing and to intermediate
OD STR	JCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			supports within 48 inches of roof edges and ridges, nails shall be
& LESS	8d COMMON (2 ½"x0.131"); or deformed (2"x0.113"); or deformed (2"x0.120")	6	12	spaced at 4 inches on center where the ultimate design wind speed is greater than 130 mph in Exposure B or greater than 110 mph in
7 ₈ "-1"	8d COMMON (2 ½"x0.131"); or deformed (2"x0.113"); or deformed (2"x0.120")	6	12	Exposure C. Spacing exceeding 6 inches on center at intermediate
$\frac{1}{8}$ "-1 $\frac{1}{4}$ "	10d COMMON (3"x0.148"); or deformed ($2\frac{1}{2}$ "x0.131"); or deformed ($2\frac{1}{2}$ "x0.120")	6	12	supports shall be permitted where the fastening is designed per the AWC NDS.
NEL SIDII	NG TO FRAMING			e. Fastening is only permitted where the ultimate design wind speed is less than or equal to 110 mph
& LESS	6d corrosion-resistant siding (1 ⁷ / ₈ "x.106"); or 6d corrosion-resistant (2"x.099")	6	12	g. Nails and staples are carbon steel meeting the specifications of
<u>5</u> " 8	8d corrosion-resistant siding $(2\frac{3}{8}$ "x0.128"); or 8d corrosion-resistant casing $(2\frac{1}{2}$ "x0.113")	6	12	ASTM F1667. Connections using nails and staples of other materials, such as stainless steel, shall be designed by acceptable engineering practice or approved under Section 104.11.
ERIOR P	ANELING			practice of approved under Section 104.11.

s steel, shall be designed by acceptable engineering ved under Section 104.11.

Structural Notes &

date October 2023

DESIGN PATH STUDIO drawn by

WOOD FRAMING CONSTRUCTION (CONT.)

OR A35 OR RBC @ 24" O/C OR PER SHEAR TRANSFER DETAILS.

SILL PLATE ANCHORS:

306. GROUND FLOOR / SLAB ON GRADE WALLS: PROVIDE 2X (MIN.) PTDF SILL PLATES SEE CONCRETE FOUNDATION CONSTRUCTION NOTES 206, 207 & 208 FOR ANCHOR BOLTS. AT INTERIOR NON-SHEAR CONDITIONS, 0.145 SHOT PIN ANCHORS @ 32" O/C MAY BE USED TO CONNECT PARTITIONS AND BEARING WALLS TO SLAB.

307. ALL WOOD SILL PLATES AND ALL WOOD MEMBERS DIRECTLY AGAINST CONCRETE OR MASONRY SHALL BE FOUNDATION GRADE REDWOOD SILLS OR PTDF SILLS, TREATED WITH SODIUM BORATE (SBX/DOT) WHEN INSTALLED IN A DRY OR ENCLOSED ENVIRONMENT. (SODIUM BORATE TREATMENT DOES NOT REQUIRE CORROSION RESISTANT CONNECTORS. IF OTHER TREATMENTS ARE USED, SEE NOTE 309.

308. FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD: ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER TREATED WITH ACQ-C. ACQ-D. CA-B. AND CBA-A WITHOUT AMMONIA SHALL BE GALVANIZED PER ASTM A153.

ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER TREATED WITH ACQ-C, ACQ-D, CA-B, AND CBA-A WITH AMMONIA SHALL, BE TYPE 303, 304, 305 OR 316 STAINLESS STEEL.

WHERE PRESSURE TREATED LUMBER IS INSTALLED IN AN EXTERIOR WET ENVIRONMENT. ALL NAILS AND FASTENERS IN CONTACT WITH THE PRESSURE TREATED LUMBER SHALL BE TYPE 303, 304, 305, OR 316 STAINLESS STEEL

309. RE-TIGHTEN ALL HOLDOWN ANCHORS JUST PRIOR TO COVERING THE WALL FRAMING.

310. ENGINEERED BEAMS ARE AS FOLLOWS: "PSL" REFERS TO PARALLEL STRAND LUMBER (E=2.0, FB=2900). "LSL" REFERS TO LAMINATED STRAND LUMBER (E=1.55, FB=2325) (E=1.3 & FB=1700 AT LSL CONDITIONS WITH D (DEPTH) < 9") "LVL" REFERS TO LAMINATED VENEER LUMBER (E=2.0, FB=2800) "GLB" REFERS TO 24F-1.8E GLU-LAM WITH STANDARD CAMBER, U.N.O. "IJC" ENGINEERED GLU-LAM BEAM MAY BE USED UPON ENGINEER APPROVALS. AN A.I.T.C CERTIFICATE OF COMPLIANCE ISSUED BY A CURRENT ICC APPROVED QUALITY CONTROL AGENCY FOR GLUED LAMINATED WOOD MEMBERS SHALL BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION

311. LUMBER SPECIFICATIONS: ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH. STUDS, PLATES & BLOCKING: 2X4 FRAMING LUMBER NOT LISTED BELOW STANDARD GRADE OR BETTER 92-1/4". 104-1/4". & 116-1/4" 2X4 STUDS STUD GRADE OR BETTER 2X4 STUDS OVER 10' #2 OR BETTER 2X4 SILLS & PLATES STANDARD OR BETTER 2X6 STUDS, SILLS, & PLATES #2 OR BETTER 4X4 STUDS & POSTS STANDARD OR BETTER OR #1 4X6. 6X6. & LARGER STUDS & POSTS #1 OR BETTER 4X4, 4X6 BEAMS & HEADERS #2 OR BETTER 4X8. 4X10. 4X12. 4X14 BEAMS & HEADERS #1 OR BETTER 6X4 BEAMS & HEADERS #2 OR BETTER 6X6 & LARGER BEAM & HEADERS **#1 OR BETTER** 2X10 AND LARGER RAFTERS AND JOISTS

312. HOLES, CUTOUTS, AND NOTCHES IN FRAMING MEMBERS: BY VIRTUE OF CODE COMPLIANCE WITH ELECTRICAL AND PLUMBING CODES, HOLES AND NOTCHES WILL INEVITABLY BE MADE IN FRAMING MEMBERS. THE CODE RECOGNIZES AND APPROVES VARIOUS HOLES AND NOTCHES WITHOUT ENGINEERING JUSTIFICATION IN CBC SECTION 2308.8.2. ENGINEERED (PSL, LSL) RECTANGULAR LUMBER BEAMS BEHAVE LIKE ANY OTHER RECTANGULAR SHAPE WHEN NOTCHED OR BORED, SO THE ENGINEER OR ARCHITECT MAY SPECIFY LIMITS WITHOUT MANUFACTURER APPROVAL OTHER HOLES AND NOTCHES ARE ALLOWED AS NOTED BELOW:

#1 OR BETTER

PSL AND LVL BEAMS: A HOLE 1 INCH IN DIAMETER CAN BE DRILLED ANYWHERE, AND A 2 INCH DIA. HOLE CAN BE DRILLED IN THE MIDDLE THIRD OF THE SPAN IN THE MIDDLE THIRD OF THE DEPTH OF THE BEAM FOR ANY PSL OR LVL BEAM, EXCEPT CANTILEVERED BEAMS AND BEAMS SUPPORTING CONCENTRATED LOADS. HOLES IN THOSE CONDITIONS REQUIRE APPROVAL IN WRITING FROM THE ENGINEER.

PSL AND LVL BEAMS: A RAKE CUT (TAPER) AT THE TOP OF THE BEAM AT THE END OF THE SUPPORT IS ALLOWED IF NOTED ON PLANS, TO A MINIMUM OF 4-3/8" AT INSIDE FACE OF SUPPORT. RAKE CUT (TAPER) THAT RESULTS IN A DEPTH AT THE INSIDE FACE OF THE SUPPORT OF 2/3RDS THE BEAM DEPTH IS ALLOWED AT CONDITIONS NOT SPECIFIED. OTHER TAPERED ENDS AND SQUARE NOTCHES IN TOP OR BOTTOM FACE REQUIRE APPROVAL IN WRITING FROM THE ENGINEER OR ARCHITECT.

STUDS AND PLATES: SEE STRUCTURAL DETAILS 14 & 15 ON SHEET S4 FOR NOTCHING AND BORING.

313. PROVIDE 2X4 TRIMMER & 2X4 KING STUD EACH END OF EACH 4X DROPPED BEAM OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 4X10 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 3-1/2 X 7-1/2 PSL OR LSL OR LARGER

314. PROVIDE 2X6 TRIMMER & 2X6 KING STUD EACH END OF EACH 6X DROPPED BEAM OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 6X8 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 5-1/4 X 7-1/2 PSL OR LSL OR LARGER.

315. PROVIDE DOUBLE KING STUDS AT ALL OPENINGS 8'-1" WIDE AND WIDER OR PER PLAN.

316. PROVIDE MINIMUM 2-1/4" BEARING @ EACH END OF EACH FLUSH BEAM OR HEADER WHERE BEARING IS ON TOP PLATE. PROVIDE 2X4 STUD WITHIN 3" OF BEARING POINT. PROVIDE (2) 2X STUDS @ 6X OR LSL OR PSL BEAMS.

317. ROOF RAFTERS SHALL BE 2X RAFTERS AS NOTED ON STRUCTURAL DRAWINGS

318. EAVES SHALL BE PER ARCHITECTURAL PLANS W/ APPLIED TAILS PER ARCHITECTURAL PLANS. OVERHANG DETAILS ARE NOT SHOWN ON STRUCTURAL PLANS.

319. SEE THE ARCHITECTURAL ROOF PLANS FOR ROOF PITCH AND ADDITIONAL INFORMATION. 320. COMBINE AND GROUP PLUMBING VENTS WHENEVER POSSIBLE TO MINIMIZE ROOF PENETRATIONS.

1.020 0.900 Sd1: R: 6.5 /IND DESIGN CRITERIA: WIND SPEED (V-ult) 124 mph RISK CATEGORY EXPOSURE INTERNAL PRESSURE COEF 0.18 -) ZONE 4 | -1.28 psf | -34.7 psf | -32.9 psf | 703. DESIGN LOADING: ZONE 5 -1.58 psf -41.6 psf -38.0 psf

DESIGN CRITERIA

701. SEISMIC DESIGN CRITERIA: SOIL BEARING VALUE 1,500 psf SITE CLASS D (Default) SEISMIC DESIGN CATEGORY RISK CATEGORY SEISMIC IMPORTANCE FACTOR 1.875 Sds: 1.500 0.231 Cs:

BASIC SEISMIC FORCE RESISTING SYSTEM:BEARING WALL ANALYSIS METHOD: EQUIVALENT LATERAL FORCE PROCEDURE SEE STRUCTURAL CALCULATIONS FOR SD1, SDS, DESIGN BASE SHEAR, Cs, & R FACTORS.

ROOF DL 27 psf I ROOF LL 20 psf

PORCH DL 35 psf | PORCH LL 20 psf TRELLIS DL 6 psf 1 TRELLIS LL 10 psf

IF IT IS UNDERSTOOD THAT EXPANSIVE SOILS MAY BE FOUND IN BUILDING AREA, A GEOTECHNICAL REPORT PREPARED BY A CALIFORNIA REGISTERED DESIGN PROFESSIONAL MAY BE REQUIRED.

200. THE FIELD INSPECTOR SHALL VERIFY FOUNDATION REQUIREMENTS DURING FOUNDATION INSPECTION

2. CONCRETE FOUNDATION CONSTRUCTION

201. CONCRETE STRENGTH SHALL BE NO LESS THAN 2,500 PSI @ 28 DAYS, OR HIGHER STRENGTH IF NOTED ON THE PLANS.

202. SLAB REINFORCEMENT & FOOTINGS SHALL BE PER STRUCTURAL DETAILS ON SHEET S4, CENTERED IN SLAB.

203. REINFORCING BARS TO BE GRADE 40 FOR #3 BARS, GRADE 60 FOR #4 BARS & LARGER

|204. PROVIDE WEAKENED PLANE JOINTS FOR CRACK CONTROL (SAWCUT OR TOOLED JOINT) AT 14'-0" O/C MAX.

205. SILL ANCHORAGE AT ALL SHEARWALL LOCATIONS SHALL BE PER THE SHEARWALL SCHEDULE ALL SHEARWALL ANCHOR BOLTS SHALL RECEIVE A 3" SQUARE X 0.229" THICK WASHER. THE WASHER MAY BE DIAGONALLY SLOTTED (WIDTH >= BOLT DIAMETER + $\frac{3}{16}$ ", LENGTH<=1 $\frac{3}{17}$ ") PROVIDED THAT A STANDARD CUT WASHER IS USED ON TOP OF THE SQUARE WASHER. SHEARWALL ANCHORS SHALL BE PLACED A MIN. OF $1\frac{3}{4}$ " FROM THE EDGE OF CONCRETE.

206. EMBEDDED SILL ANCHOR BOLTS AT TYPICAL NON-SHEARWALL CONDITIONS SHALL BE ⁵/₈ " DIA. MIN. ANCHOR BOLTS WITH A STANDARD CUT WASHER. SPACING SHALL NOT EXCEED 48 INCHES O/C. LOCATE AN ANCHOR BOLT NOT MORE THAN 9 INCHES, OR LESS THAN 4" FROM ENDS AND SPLICES. EACH SILL SHALL HAVE (2) SILL BOLTS MIN

207. ANCHOR BOLTS SHALL BE EMBEDDED A MIN. OF 7 INCHES INTO CONCRETE. IN A TWO-POUR SYSTEM, ANCHOR BOLTS TO BE EMBEDDED 5 INCHES MIN. INTO FIRST POUR.

208. SEE WOOD FRAMING CONSTRUCTION NOTES FOR ALTERNATE SILL ANCHORAGE.

209. ALL HOLDOWNS SHALL BE PLACED A MINIMUM DIM AS SHOWN IN DETAIL 3&4/S4 FROM EXTERIOR CORNER OF SLAB.

210. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY HOMEOWNER AND CITY OF RIVERSIDE OF ANY DISCREPANCY, TYPICAL.

211. PROVIDE A UFER GROUND FOR ELECTRICAL SYSTEM PER ARTICLE 250.52 N.E.C.

212. ALL SURROUNDING FLAT WORK SHALL BE VERIFIED WITH HOMEOWNER FOR LOCATION AND AMOUNT TO BE POURED

213. RETROFIT MISPLACED HOLDOWNS AS NOTED BELOW. AT EPOXY ANCHORS USE SIMPSON SET-XP EPOXY PER MANUFACTURERS INSTALLATION REQUIREMENTS AS FOLLOWS: MISPLACED HOLDOWN RETROFIT BOLT REPLACEMENT HARDWARE HTT4 " ALL-THREAD. EMBED 9" LSTHD8, HTT4 STHD10, STHD14, HTT5 5 " ALL-THREAD, EMBED 9" LTT20B LTT20B B" ALL-THREAD. EMBED 7 LTT20B

ATTACH TO EXISTING A.B.

 $rac{1}{8}$ " ALL-THREAD, EMBED 15'

214 RETROFIT $\frac{3}{4}$ " & $\frac{5}{6}$ " EMBEDDED ANCHOR BOLTS AS NOTED BELOW. AT EPOXY ANCHORS USE SIMPSON SET-XP EPOXY PER SIMPSON'S INSTALLATION REQUIREMENTS. LOCATION TYPE REPLACEMENT

 $\frac{5}{8}$ " ALL-THREAD, EPOXY, EMBED 3"

OR $\frac{5}{8}$ " TITEN HD, EMBED 3" MIN.

"TITEN HD, EMBED 3" MIN.

INTERIOR > 6," EDGE DIST. SHEARWALL OR

SLAB EDGE, 1 3/4" DIST. SHEARWALL

LTT20B

HDU8

NON-SHEAR

0.145 DIA. SHOT PINS SPACED 4 INCHES ANY OTHER **NON-SHEAR** APART ON SILL. (2) FOR EACH MISSING ANCHOR BOLT. MAX. OF (6) SHOT PINS EVERY 6 FT.

 $^{215.}$ WHEN REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION, HAVE CONTRACTOR DOCUMENTATION IN WRITING FOR THE FOLLOWING:

A) THE PAD WAS PREPARED IN ACCORDANCE WITH THE SITE REQUIREMENTS AND CITY OF RIVERSIDE APPROVAL B) THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED & COMPACTED. C) THE FOUNDATION EXCAVATIONS, EXPANSIVE CHARACTERISTICS AND BEARING

216. ALL HOLDOWN ANCHORS & HARDWARE MUST BE TIED IN PLACE PRIOR TO CALLING FOR

CAPACITY COMPLIES WITH THE CITY OF RIVERSIDE RECOMMENDATIONS

A FOUNDATION INSPECTION

3. WOOD FRAMING CONSTRUCTION 300. ROOFING MATERIALS SHALL BE PER ARCHITECTURAL DRAWINGS.

301. ROOF SHEATHING SHALL BE $\frac{19}{39}$ " OR $\frac{5}{8}$ " C-D GRADE, INTERIOR TYPE PLYWOOD WITH EXTERIOR GLUE, OR OSB PANELS. IDENTIFICATION INDEX (24/0) W/ 10D COMMON NAILS @ 6" O/C @ ALL PERIMETER EDGES AND ALL INTERIOR SUPPORTED EDGES AND @ 12" O/C @ ALL INTERMEDIATE SUPPORTS. SEE DETAILS FOR SHEAR AND

302. TYPICAL WALL SHEATHING:

DRAG NAILING.

INTERIOR SURFACES: WHERE DRYWALL IS SPECIFIED, PROVIDE MIN. 5" GYPSUM WALLBOARD W/ 5D COOLER NAILS OR EQUAL @ 6" O/C TO ALL STUDS AND TO TOP & BOTTOM PLATES (UNBLOCKED) AT INTERIOR SIDE OF EXTERIOR WALLS AND AT BOTH SIDES OF ALL INTERIOR WALLS.

EXTERIOR SURFACES: SEE PLANS. WHERE "STUCCO" IS SPECIFIED PROVIDE & EXTERIOR CEMENT PLASTER OVER WIRE LATH OVER TYPE 15 BUILDING PAPER. LATH ATTACHED TO ALL STUDS AND TOP AND BOTTOM PLATES (OR BLOCKING AS OCCURS) W/ 16 GAGE X $\frac{7}{16}$ " STAPLES @ 6" O/C OR NO. 11 GAGE X 1-1/2" FURRING NAILS WHERE INDICATED ON ELEVATIONS.

303. STRUCTURAL SHEATHING MAY BE EITHER OSB OR PLYWOOD. ANY NOTES REFERRING TO PLYWOOD ALSO APPLIES TO OSB. SHEATHING (WOOD STRUCTURAL PANELS) MUST MEET THE REQUIREMENTS OF DOC PS1 OR PS2 IN ACCORDANCE WITH NDS SDPWS.

304. TOP PLATES SHALL BE DOUBLE 2X W/ WIDTH EQUAL TO STUDS BELOW, W/ (21)16D NAILS MIN. @ MINIMUM 4'-0" LAP SPLICES. USE SIMPSON RPS OR CS16 STRAP EACH SIDE OR ONE SIDE AND TOP WHERE LAP SPLICE IS NOT POSSIBLE. SEE DETAILS FOR NOTCHES, CUT-OUTS AND COMPLETE PLATE BREAKS AT HEATING, VENTING, AND PLUMBING.

3. WOOD FRAMING CONSTRUCTION (CONT.) ROOF TO WALL: CONNECT ROOF FRAMING TO TOP PLATE W/ SIMPSON H1 @ 24" O/C

321. WOOD TO WOOD CONNECTORS SHALL BE SIMPSON STRONG TIE OR USP STRUCTURAL CONNECTORS. ALL SPECIFIED CONNECTOR CALL-OUTS ARE SIMPSON CATALOG CALL-OUTS. USP SUBSTITUTIONS SHALL HAVE A CAPACITY EQUAL TO OR GREATER THAN THE SIMPSON CATALOG VALUES. ANY OTHER ICC APPROVED METAL CONNECTOR MAY BE USED UPON APPROVAL BY THE ENGINEER OR ARCHITECT

322. ICC APPROVED CONNECTORS SHALL BE USED WHERE CONNECTORS ARE SPECIFIED. UNLESS OTHERWISE NOTED. THE FOLLOWING BEAM AND JOIST HANGERS SHALL BE USED:

BEAM OR JOIST SIMPSON/USP HANGER I-JOIST FLOOR JOISTS IUS, IUT, OR ITT HANGERS 1.75 X LSL AND LVL HU. HUS. OR WPU 2.69 X PSL AND LVL HU OR HWU 3.5 X PSL AND LVL HHUS OR HWU 5.25 X PSL AND LVL HHUS OR HWU 7 X PSL AND LVL HHUS OR HWU

AT BEAM HANGER CALLOUTS, IE HGUS OR HU BEAMS, THE CALLOUT IS ABBREVIATED THE HANGER WIDTH MAY BE OMITTED TO ALLOW FLEXIBILITY IN ORDERING. EXAMPLE: 2.69 PSL THE CALLOUT MAY READ HGUS12. AN HGUS2.75/12 OR HGUS412 (WITH FILLERS) ARE APPLICABLE. WHERE HANGERS OFFER (MIN) OR (MAX), NAIL TO APPLY (MAX) LOADS

323. WHERE SHEARWALL LENGTHS ARE SPECIFIED ON THE PLANS, THE LENGTH SHOWN IS A MINIMUM DIMENSION. THE SHEARWALL MAY BE LENGTHENED FOR CONSTRUCTION PURPOSES, BUT SHALL NOT BE REDUCED UNLESS OTHERWISE NOTED, ALL ENGINEERED WOOD PANEL SHEAR (PLYWOOD OR OSB) SHALL BE BLOCKED.

324. THE FOLLOWING HOLES IN SHEARWALLS ARE ALLOWED: A) APPROXIMATELY SQUARE HOLES NOTCHED. PUNCHED. OR CUT THAT ARE LESS THAN 25 SQ. INCHES

B) APPROXIMATELY SQUARE HOLES CLEAN CUT OR BORED IN SHEARWALLS THAT ARE LESS THAN 64 SQ. INCHES (ONE HOLE PER 4' OF SHEARWALL. C) APPROXIMATELY SQUARE HOLES, LESS THAN 64 SQ. INCHES (ONE HOLE PER 8' OF SHEARWALL) WITH ALL EDGES BLOCKED & EDGE NAILED.

D) HOLES INDIVIDUALLY APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD. 325. STUDS SHALL BE SPACED @ 16" O/C MAX. UNLESS OTHERWISE SPECIFIED. USE STUD GRADE EXCEPT AT PLATE HEIGHTS HIGHER THAN 10'-0", THEN USE DF#2 OR BETTER

326. ALL FINISHES, WATERPROOFING, DRAINAGE, AND FIRE-RELATED ELEMENTS ARE BY THE ARCHITECT OF RECORD AND ARE REQUIRED EVEN THOUGH THEY MAY NOT BE SHOWN ON THE STRUCTURAL PLANS AND DETAILS.

1327. REDWOOD OR PRESSURE-TREATED LUMBER IS TO BE USED AT STRUCTURAL MEMBERS FOR BUILDING, BALCONIES, PORCHES OR SIMILAR APPURTENANCES WHEN EXPOSED TO THE WEATHER WITHOUT ADEQUATE PROTECTION OF A ROOF, EAVE, OVERHANG, OR OTHER COVERING TO PREVENT MOISTURE OR WATER ACCUMULATION.

4. ICC-ES AND NER APPROVALS

HTTP://WWW.ICC-ES.ORG 401. JOISTS AND RAFTERS AND BEAMS: TRUS-JOIST TJI JOISTS AND PSL. LSL. & LVL--ICC-ES ESR-1387, 1153 BOISE CASCADE BCI JOISTS, VERSA-LAM, & VERSA-STRAND--ICC-ESR-1040, 1336 LOUISIANA PACIFIC JOISTS & BEAMS--ESR-1305, 2403

ROSEBURG JOISTS & BEAMS--ESR-1210, 1251 GLU-LAM BEAMS-- ESR-1940 PACIFIC WOOD TECH - FSR 2909

400. PLYWOOD AND OSB PANELS:

APA PLYWOOD & OSB--ESR-2586

402. WOOD CONNECTORS: SIMPSON CONNECTORS--ICC-ES ESR #S 1161, 1622, 1866, 2105, 2203, 2236, 2320, 2549, 2551, 2552, 2553, 2330, 2554, 2555, 2604, 2605, 2606, 2607, 2608, 2611, 2613, 2614, 2615, 2616, 2877, 2920, 3046 IAPMO ER-112, 130, 143, 192, 262 USP LUMBER CONNECTORS--ICC-ES ESR #S 1178, 1280, 1575, 1702, 1781, 1881,

1970, 2104, 2685, 1831, 1465, 2761, 2787, IAPMO ER-200 QUICK DRIVE WOOD SCREWS--ICC-ES ESR-1472

403. ADHESIVES & ANCHORS: SIMPSON EPOXY-TIE HIGH STRENGTH EPOXY (SET-XP)--ICC-ES ESR-1772, 2508. SIMPSON WEDGE-ALL (WA) WEDGE ANCHORS--ICC-ES ES-1771 SIMPSON TITEN HD--ICC-ESR-1056, 2713

HILTI X-DN, X-ZF, X-CF SHOT PINS--ICC-ES ER-1663, 1752, 2269

SIMPSON SHOT PINS ICC-ES ESR-2138

5. NAILING & FASTENING

500. 16D NAILS AS SHOWN ON THE DETAILS MAY BE COMMON, BOX, OR SINKER NAILS (0.135" MIN. DIA) INTE 501. AS AN ALTERNATE TO THE COMMON AND BOX NAILS SPECIFIED IN THE STRUCTURAL PLANS, THE

FOLLOWING "CUTLER" GUN NAILS (OR EQUAL) ARE ACCEPTABLE ALTERNATIVES.

502. ALTERNATE NAILING FOR ROOF SHEATHING: 8D 2 $\frac{1}{2}$ " X 0.135 WIRE BARBED NAILS BY CUTLER OR EQUAL.

503. ALTERNATE NAILING FOR FLOOR SHEATHING: #8 X 2" SELF SETTING WOOD SCREWS, OR

8D $2\frac{1}{2}$ " X 0.135 OR 0.148 SCREW SHANK FLOOR NAILS BY CUTLER OR EQUAL

0.113 1 "

0.131 1 "

1 ½ "

0.148

0.148

0.162

10D

12D

16D

504. SHEAR PANELS WHERE 8D COMMON NAILS ARE SPECIFIED: 10D 2 ½ " X 0.148" WIRE BARBED NAILS BY CUTLER OR EQUAL NAIL SIZES C&C PRESSURES

IZE OF AIL	STANDARD	WIRE	SIZE		NETRATION	ROOF: GABLE				s
BOX N	LENGTH	GAUGE	(INCHES)	KE	QUINED	=:::=0:::=		28 sf	30 sf -39.3 psf	В
						\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \			-45.1 psf	M C
D D	2" 2 "	12 11	0.099 0.113	1" 1"		\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \			-75.2 psf	
DD D	3"	10	0.113	1	"	(+) ALL ZONES	16.5 psf	16.0 psf	16.0 psf	702. WII
2D	3"	10	0.128	1	"					W N
SD SINIKED	3 "	10	0.135	1	"		WALLS			R E
SD SINKER	-	9	0.148	<u> </u>					I	IN
	<u> 10N NA</u>	41LS				A _{EFFECTIVE} =	10 sf	21 sf	48 sf	

(+) ZONE 4&5 | 1.00 psf | 31.9 psf | 30.1 psf

6d casing (2"x0.099"); or 6d finish (2"x.092") - (Panel supports at 24 inches)

FLAT BLKNG TO TRUSS AND WEB, F.N.

CEILING JOISTS TO TOP PLATE, T.N.

COLLAR TIE TO RAFTER, F.N.

ENDNAIL

CONT. HEADER TO STUD, T.N.

24" MIN LAP SPLICE EA. SIDE

STUD TO TOP OR BOTTOM PLATE

TOENAIL

ENDNAIL

FULL REPORTS FOUND AT:

TOP PLATE TO TOP PLATE

BUILT-UP HEADER (2" TO 2"), FN EA. EDGE

UNBRACED WALL: 16" o.c. FN

UNBRACED WALL: 12" o.c. FN

TOP PLATES, LAPS AT CORNERS AND INTERSECTION, F.N.

RIM JOIST, BAND JOIST, OR BLOCKING TO TOP PLATE, SILL OR OTHER

1"x8" SHEATHING AND WIDER TO EACH BEARING, F.N.

BRACED WALL: 16"o.c. FN

1" BRACE TO EACH STUD AND PLATE, F.N.

JOIST TO SILL, TOP PLATE, OR GIRDER, T.N.

1"x6" SUBFLOOR OR LESS TO EACH JOIST, F.N.

1"x6" SHEATHING TO EACH BEARING, F.N

700. BUILDING CODE: 2022 CALIFORNIA BUILDING CODE AND 2022 CALIFORNIA RESIDENTIAL CODE.

 $|4d \text{ casing } (1\frac{1}{2}\text{"x}0.080"); \text{ or } 4d \text{ finish } (1\frac{1}{2}\text{"x}0.072")$

9. SOILS REPORT

GRADE.

A GEOTECHNICAL REPORT WILL NOT BE REQUIRED FOR THIS ADU PROGRAM. A CONSERVATIVE VALUE FOR THE SOIL BEARING ALLOWABLE OF 1500 PSF HAS BEEN USED IN DESIGN OF THE BUILDING.

801. PER CBC 1705.3 SPECIAL INSPECTION IS NOT REQUIRED FOR

NON-STRUCTURAL SLABS ON GRADE NOR FOR CONCRETE

802. PER CBC 1705.13 SPECIAL INSPECTION IS NOT REQUIRED FOR

SEISMIC COMPONENTS FOR DETTACHED ONE- AND

FOOTINGS THAT SUPPORT 3 STORIES ABOVE GRADE OR LESS.

TWO-FAMILY DWELLINGS NOT EXCEEDING 2 STORIES ABOVE

HOLDOWN ATTACHED.)

FOLLOWING CONDITIONS: ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR ET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY (/ERSIDE BUILDING DEPARTMENT. BUILDING CODE: PERMIT. THIS DOES NOT ELIMINATE OR REDUCE TH RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBL FOR TRANSLATION ERRORS, DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OF LEGAL EXPOSURE TO DESIGN PATH STUDIO, NO WARRANTIES OF ANY NATURE. WHETHER EXPRESS

BY USING THESE PERMIT READY CONSTRUCTION

DOCUMENTS, THE RECIPIENT ACKNOWLEDGES,

ACCEPTS AND VOLUNTARILY AFFIRMS THE

OR IMPLIED, SHALL ATTACH TO THESE DOCUMENT AND THE INFORMATION CONTAINED THEREON. AN' USE. REUSE. OR ALTERATION OF THESE OCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL. TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOL DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM AN' USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT COPYRIGHT PROTECTION.

ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL. CENSED ARCI

4. IF THE RECIPIENT DOES NOT AGREE WITH THE

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project

City of Riverside Pre-Approved **ADU Program**

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g c	TAT	EMENT	OF SPECIAL INSPECTIONS	
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F	OR RETE	ROFIT ANCHOR E	BOLTS OR TITEN HD's WITHOUT A	
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description

Specifications

project no. Riverside ADU

SHEAR WALL SCHEDULE (ASD VALUES)

FOUNDATION NOTES

- ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
- ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.

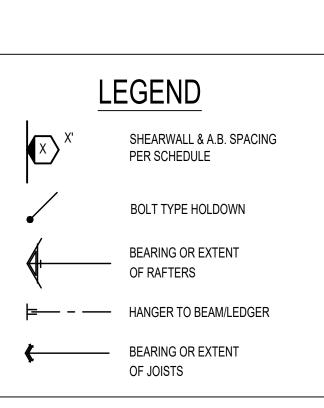
16d T.N. EA SIDE, TYP.

- THE MINIMUM NOMINAL ANCHORBOLT DIAMETER SHALL BE 1/2 INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES
- TO BE 4" (AND A MAXIMUM OF 12") PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH
- 5. PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY 3. SEE SHEET S5 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- . POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2)
- . FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.

	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1& 4)	3" ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnotes 3 & 6)	3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnotes 3 & 6)	3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3,4, & 6)	3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3,4, & 6)	15/32" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, 5, & 6)	15/ ₃₂ " rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, 5, & 6)
SHEAR VALUE (PLF)	260*	375*	490*	550*	665*	870*
ANCHOR BOLT SPACING	½" @ 48" or ½" @ 32"	½" @ 32" or ½" @ 24"	½" @ 24" or ½" @ 16"	½" @ 24" or ½" @ 16"	⅓" @ 16" or ½" @ 12"	½" @ 12" or ½" @ 8"
16d (0.148") SILL NAILING	6"	4"	3½"	3"	½"x4½" SDS screws @ 8"	1/4"x41/2" SDS screws @ 8"
SPACING OF A35/LTP4 FRAMING TO TOP PLATE	32" O.C.	16" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

SHEAR WALL FOOTNOTES

- (1) AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARSHALL BE APPLIED OVER STUDS @ 16" O/C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- (2) SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209. 307, 308, 309, ETC.)
- (3) IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE 1/2" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE 3/4" MIN. FROM THE EDGE OF SHEATHING.
- (4) WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- (5) IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- (6) WHERE NOISE INSULATION IS REQUIRED, STRUCTURAL SHEAR PANELS TO BE UPGRADED TO $\frac{1}{2}$ " WSP, ALL OTHER EXTERIOR SURFACES TO BE SHEATH WITH GRADE D MIN. $\frac{1}{2}$ " SOLID SHEATHING WITH 6" O.C. EDGE NAILING, 12" O.C. FIELD NAILING.
- (*) ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.



* PLEASE REFER TO NOTES 311 & 401 ON S1 FOR LUMBER GRADE SPECIFICATIONS.

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project

City of Riverside Pre-Approved **ADU Program**

revisions
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description

Craftsman Foundation & Framing <u>Plan</u>

October 2023

project no. Riverside ADU

DESIGN PATH STUDIO drawn by

SHEAR WALL SCHEDULE (ASD VALUES)

FOUNDATION NOTES

- 1. ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED
- IN PLACE PRIOR TO FDTN. INSP.

 2. ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.
- 3. THE MINIMUM NOMINAL ANCHORBOLT DIAMETER SHALL BE 1/2 INCH NOTE:

THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES

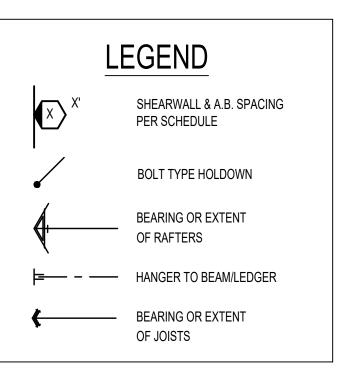
- TO BE 4" (AND A MAXIMUM OF 12")

 4 PLATE WASHERS (MINIMUM SIZE OF 3" v 3" v 1//") SHALL BE LISED ON EACH
- PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH
- 5. PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- 6. SEE SHEET S5 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- 7. POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d T.N. EA SIDE, TYP.
- 8. FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.

	1					
	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1& 4)	$\frac{3}{8}$ " ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnotes 3 & 6)	3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnotes 3 & 6)	3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3,4, & 6)	3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3,4, & 6)	15/ ₃₂ " rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, 5, & 6)	15/ ₃₂ " rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, 5, & 6)
SHEAR VALUE (PLF)	260*	375*	490*	550*	665*	870*
ANCHOR BOLT SPACING	½" @ 48" or ½" @ 32"	½" @ 32" or ½" @ 24"	½" @ 24" or ½" @ 16"	½" @ 24" or ½" @ 16"	½" @ 16" or ½" @ 12"	½" @ 12" or ½" @ 8"
16d (0.148") SILL NAILING	6"	4"	3½"	3"	1/4"x41/2" SDS screws @ 8"	½"x4½" SDS screws @ 8"
SPACING OF A35/LTP4 FRAMING TO TOP PLATE	32" O.C.	16" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

SHEAR WALL FOOTNOTES

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- (2) SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209. 307, 308, 309, ETC.)
- (3) IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE ½" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE ¾" MIN. FROM THE EDGE OF SHEATHING.
- (4) WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- (5) IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- (6) WHERE NOISE INSULATION IS REQUIRED, STRUCTURAL SHEAR PANELS TO BE UPGRADED TO ½" WSP, ALL OTHER EXTERIOR SURFACES TO BE SHEATH WITH GRADE D MIN. ½" SOLID SHEATHING WITH 6" O.C. EDGE NAILING, 12" O.C. FIELD NAILING.
- (*) ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

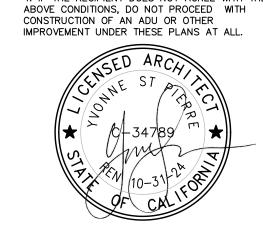


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ESIGN PATH STUDIO
hitecture + engineering + planning

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ADU Program

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revisions
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description
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Ranch

Foundation & Framing Plan

date October 2023

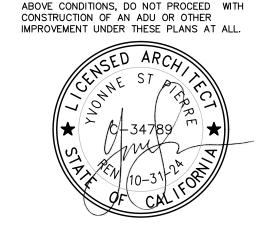
project no. Riverside ADU

drawn by DESIGN PATH STUDIO

et no.

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4. IF THE RECIPIENT DOES NOT AGREE WITH THE

project

LEGEND

PER SCHEDULE

BOLT TYPE HOLDOWN

BEARING OR EXTENT

BEARING OR EXTENT

OF RAFTERS

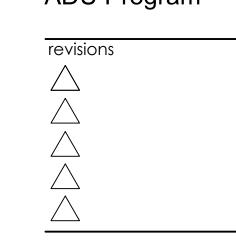
=── - HANGER TO BEAM/LEDGER

OF JOISTS

* PLEASE REFER TO NOTES 311 & 401 ON S1 FOR LUMBER GRADE SPECIFICATIONS.

SHEARWALL & A.B. SPACING

City of Riverside Pre-Approved ADU Program



description

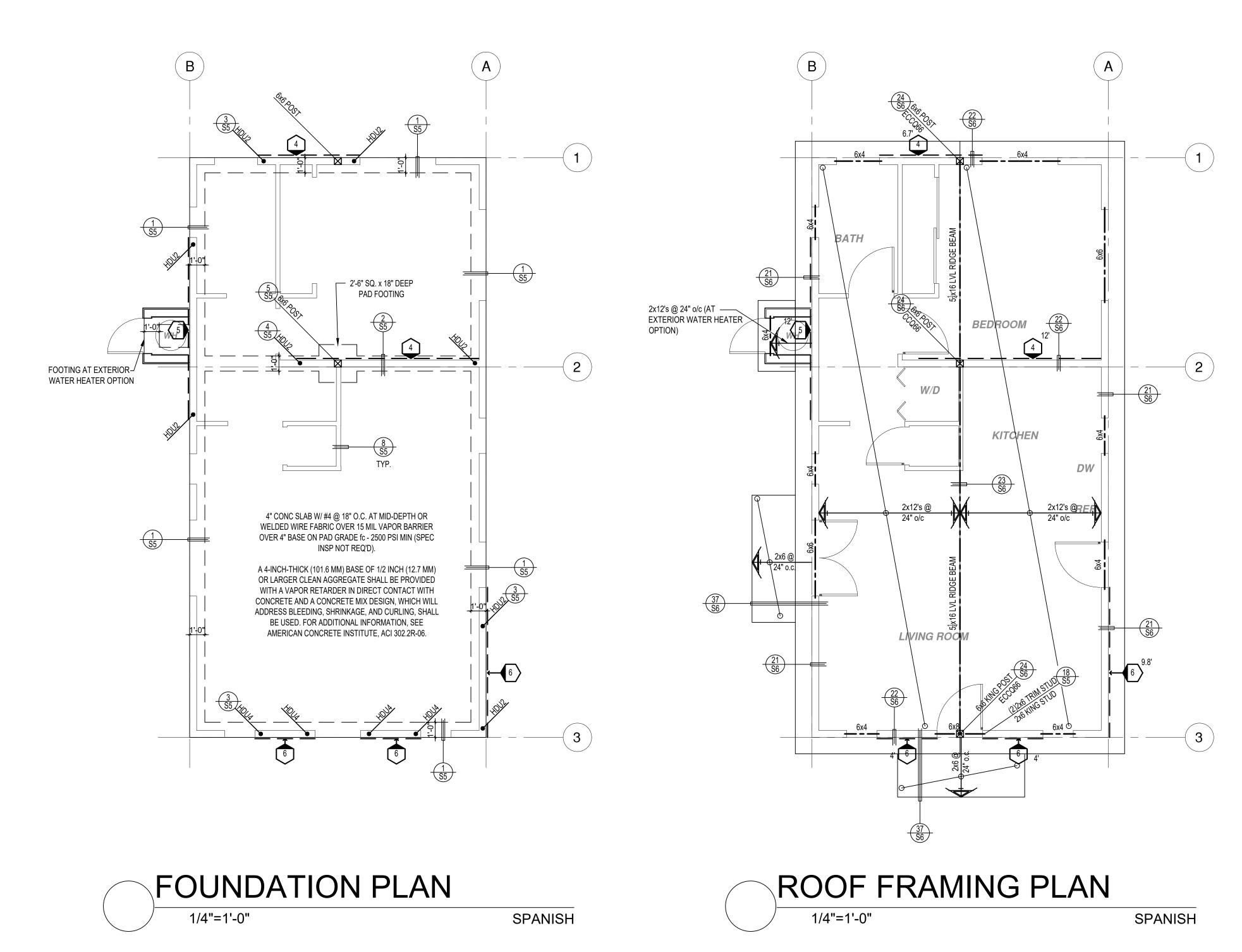
Spanish
Foundation
& Framing
Plan

date October 2023

project no. Riverside ADU

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^{t no.} **S4**



SHEAR WALL SCHEDULE (ASD VALUES)

FOUNDATION NOTES

- 1. ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED
- IN PLACE PRIOR TO FDTN. INSP.

 ALL EXTERIOR STUDS TO BE 2x6 @ 16" O U
- 2. ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.

 3. THE MINIMUM NOMINAL ANCHORBOLT DIAMETER SHALL BE 1/2 INCH NOTE:

THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES

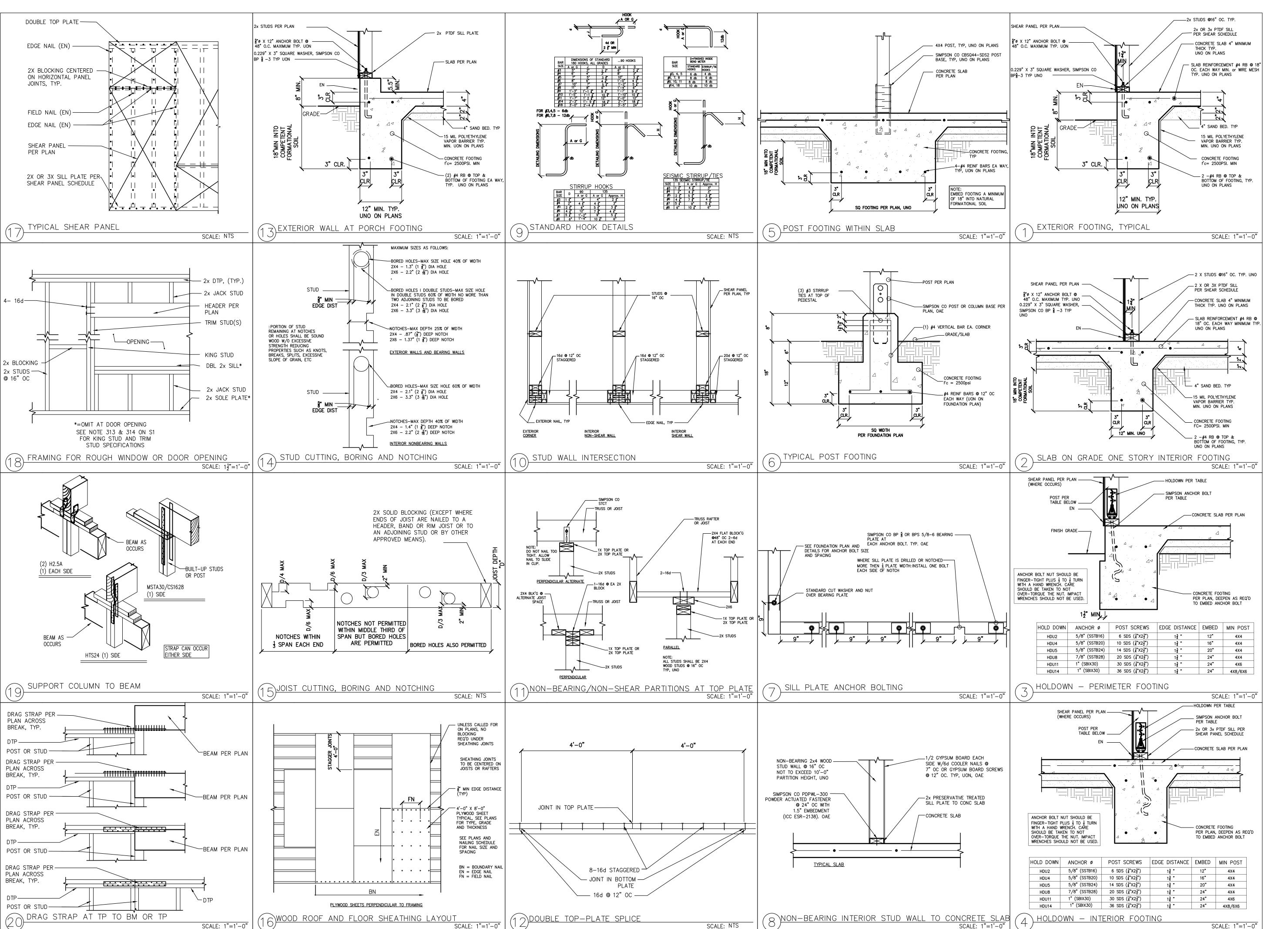
- TO BE 4" (AND A MAXIMUM OF 12")

 4. PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH
- ANCHOR BOLT.

 5. PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- 6. SEE SHEET S5 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- 7. POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d T.N. EA SIDE, TYP.
- 8. FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.
- 4 9 6 8 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked ¹⁵/₃₂" rated STRUCT 1 panel, (1) side w/ 10d @ 2" $\frac{3}{8}$ " ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" $^{15}/_{32}$ " rated STRUCT 1 panel, (1) side w/ 10d @ 3" SHEARWALL DESCRIPTION 3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs o/c edge, 12" o/c field 3x abutting panel studs o/c edge, 12" o/c field, blocked o/c edge, 12" o/c field 3x abutting panel studs (See footnotes 1& 4) blocked (See footnote 3,4, & 6) blocked (See footnote 3, 4, 5, & 6) (See footnotes 3 & 6) (See footnotes 3 & 6) blocked (See footnote 3,4, & 6) blocked (See footnote 3, 4, 5, & 6) SHEAR VALUE 260* 375* 490* 550* 665* 870* (PLF) ½" @ 48" 5⁄8" @ 32" ½" @ 24" ½" @ 24" ½" @ 12" 5%" @ 16" ANCHOR BOLT SPACING ½" @ 32" 1/2" @ 24" ½" @ 16" 1/2" @ 16" 1/2" @ 8" ½" @ 12" $\frac{1}{4}$ "x4 $\frac{1}{2}$ " $\frac{1}{4}$ "x4 $\frac{1}{2}$ " 3½" 16d (0.148") SILL NAILING SDS screws @ 8" SDS screws @ 8" SPACING OF A35/LTP4 32" O.C. 16" O.C. 12" O.C. 12" O.C. 8" O.C. 8" O.C. FRAMING TO TOP PLATE

SHEAR WALL FOOTNOTES

- (1) AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARSHALL BE APPLIED OVER STUDS @ 16" O/C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- (2) SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209, 307, 308, 309, ETC.)
- (3) IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE ½" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE ¾" MIN. FROM THE EDGE OF SHEATHING.
- (4) WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- (5) IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- (6) WHERE NOISE INSULATION IS REQUIRED, STRUCTURAL SHEAR PANELS TO BE UPGRADED TO $\frac{1}{2}$ " WSP, ALL OTHER EXTERIOR SURFACES TO BE SHEATH WITH GRADE D MIN. $\frac{1}{2}$ " SOLID SHEATHING WITH 6" O.C. EDGE NAILING, 12" O.C. FIELD NAILING.
- (*) ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.



DESIGN PATH STUDIO architecture + engineering + planning

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project

City of Riverside Pre-Approved ADU Program

revisions

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Structural Details

date October 2023

project no. Riverside ADU

DESIGN PATH STUDIO

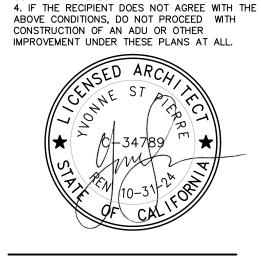
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no. **S**5

DESIGN PATH STUDIO

Architecture + engineering + planning

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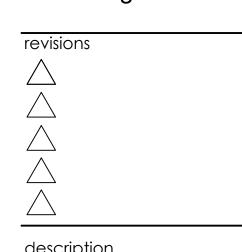


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Structural Details

ate October 2023

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project no. Riverside ADU

^{t no.} **S6**

CF1R-PRF-01E

(Page 1 of 12)

Calculation Date/Time: 2023-10-04T12:29:40-07:00

Standards Version 2022

Number of Dwelling Units

Fenestration Average U-factor 0.3

Number of Bedrooms

Number of Stories

Glazing Percentage (%) 18.27%

Software Version EnergyPro 9.2

HERS Provider:

(EDR2) (kTDV/ft²-yr) Margin (EDR1)

Report Generated: 2023-10-04 12:30:45

-0.35

0.32

0.9

0.87

-0.55

0.42

0.9

0.77

Report Generated: 2023-10-04 12:30:45

HERS Provider:

CF1R-PRF-01E

(Page 4 of 12)

Compliance

Margin (EDR2)

-6.04

3.26

7.47

4.69

-7.63

5.9

7.41

5.68

CalCERTS inc.

CF1R-PRF-01E

(Page 7 of 12)

Status

Input File Name: 1 Bedroom - Riverside.ribd22x

ADU Conditioned Floor Area n/a

Registration Date/Time: 2023-10-04 14:05:25

Energy (EDR1) (kBtu/ft² -yr)

1.12

1.67

1.9

1.67

4.97

Registration Date/Time:

Report Version: 2022.0.000

Schema Version: rev 20220901

2023-10-04 14:05:25

Calculation Date/Time: 2023-10-04T12:29:40-07:00

Avg. Ceiling Height Water Heating System 1

Input File Name: 1 Bedroom - Riverside.ribd22x

1.02

Calculation Date/Time: 2023-10-04T12:29:40-07:00

Proposed Design Source Proposed Design TDV Energy Compliance

12.21

28.02

18.56

62.79

13.8

25.38

4

18.62

61.8

Input File Name: 1 Bedroom - Riverside.ribd22x

Report Version: 2022.0.000

Schema Version: rev 20220901

Fuel Type Natural gas Occupancy U: No

102 This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.

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project

City of Riverside Pre-Approved **ADU Program**

revisions

description

Energy **Calculations**

October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

BUILDING ENERGY ANALYSIS REPORT PROJECT: 1 Bedroom - Riverside ADU Riverside, CA Project Designer: Design Path Studio P.O. Box 230165 Encinitas, CA 92023 (760) 944-1443 Report Prepared by: Design Path Studio Job Number: 10/4/2023 he EnergyPro computer program has been used to perform the calculations summarized in this compliance report. This program has approval and authorized by the California Energy Commission for use with both the Residential and Nonresidential 2022 Building Energy Efficiency Standards

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01E Calculation Date/Time: 2023-10-04T12:29:40-07:00 Project Name: 1 Bedroom - Riverside ADU (Page 2 of 12) Calculation Description: Title 24 Analysis Innut File Name: 1 Redroom - Riverside ribd??v

This program developed by EnergySoft, LLC – www.energysoft.com.

Calculation Description: Title 24 Analysis	Input File Name: 1 Bedroom - Riverside.ribd22x						
ENERGY DESIGN RATINGS							
		Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	
Standard Design	36.1	39.2	29.2				
		Propose	ed Design				
North Facing	34.8	36.8	28	1.3	2.4	1.2	
East Facing	34	35	27	2.1	4.2	2.2	
South Facing	34.1	36.4	27.8	2	2.8	1.4	
West Facing	34.3	35.9	27.6	1.8	3.3	1.6	
		RESULT	Γ ³ : PASS	Inc			
¹ Efficiency EDR includes improvements like a be ² Total EDR includes efficiency and demand resp ³ Building complies when source energy, efficier	onse measures such as p	hotovoltaic (PV) system	and batteries	DER net load hour limits are n	ot exceeded		

Standard Design PV Capacity: 1.75 kWdc

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Proposed PV Capacity Scaling: North (1.75 kWdc) East (1.75 kWdc) South (1.75 kWdc) West (1.75 kWdc)

Registration Date/Time: Registration Number: HERS Provider: 223-P016596244A-000-000-0000000-0000 CalCERTS inc. 2023-10-04 14:05:25 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Generated: 2023-10-04 12:30:45 Report Version: 2022.0.000 Schema Version: rev 20220901

CF1R-PRF-01E CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Calculation Date/Time: 2023-10-04T12:29:40-07:00 (Page 5 of 12) Project Name: 1 Bedroom - Riverside ADU Calculation Description: Title 24 Analysis Input File Name: 1 Bedroom - Riverside.ribd22x

	Standard Design (kBtu/ft ² - yr)	Proposed Design (kBtu/ft ² - yr)	Compliance Margin (kBtu/ft ² - yr)	Margin Percentage
orth Facing				
Gross EUI ¹	23.18	21.81	1.37	5.91
Net EUI ²	9.54	8.17	1.37	14.36
ast Facing				
Gross EUI ¹	23.18	21.53	1.65	7.12
Net EUI ²	9.54	7.88	1.66	17.4
South Facing				
Gross EUI ¹	23.18	21.65	1.53	6.6
Net EUI ²	9.54	8.01	1.53	16.04
West Facing		KS PRUV		
Gross EUI ¹	23.18	21.5	1.68	7.25
Net EUI ²	9.54	7.85	1.69	17.71

TITLE 24 COMPLIANCE REQUIREMENTS SUMMARY RIVERSIDE ADU – 1 BEDROOM Ceiling Insulation = R-30 min. at rafters Radiant Barrier - No Roofing - per owner - No Cool Roof Req'd Wall Insulation = R-19 at new 2 x 6 walls Floor Insulation – N/A. Thermal Mass Areas = Exposed Slab Flooring **QII**– Yes-Hire HERS rater early before drywall. Alert insulation contractor. SOLAR - 1.75kWdc < 1.8 kWdc (Section 150.1(c)14) solar exemption Glazing = All new windows & doors are dual glazing. All glass is clear. Glazing shall be installed with a NFRC certifying label attached showing U-factor. Solar Heat Gain Co-efficient = 0.23 windows, doors. U-Factor = 0.30 windows, doors. *Owner to purchase windows & doors w/ specified Uvalues & SHGC's or better. Hot Water Heater = 40-gal heat pump RHEEM PROPH40T2RH37530 or eq. Uniform Energy Factor is 3.1 min. NEEA Rated. HERS VERIFIED. IAQ FAN - 37 cfm & 0.35 cfm power. Verify w/ Mech. (continuous ventilation per ASHRAE 62.2 is req'd for IAQ.) HERS VERIFIED. Note IAQ fan on plan w/ timer switch w/ manual off & sound rating of 1 sone. HSPF – 8.2 min. (New mini-split) SEER - 14.0 min. (new) HERS REQUIRED: REFRIGERANT CHARGE, AIRFLOW IN HABITABLE ROOMS (SC3.1.4.1.7), VERIFIED HEAT PUMP RATED HEATING CAPACITY, WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 S.F. (SC3.4.5) AND DUCTLESS INDOOR UNITS ARE LOCATED ENTIRELY IN CONDITIONED SPACE (SC3.1.4.1.8). Duct Insulation = none Duct (HERS) 5% Leakage Test – NO *Heater Sizing Total Sensible heating load – 10,346 Btu FUJITSU #AOU12R2 or eq - 12,800 Btu *A/C Sizing Total Sensible cooling load – 9,026 Btu WHOLE HOUSE ATTIC COOLING FAN - N/R for compliance *These load calculations, sizing & equipment are for Title 24 purposes & should be verified HVAC by a Mechanical Engineer/Contractor. Owner may install any Make & Model HVAC equipment that is equal or greater than the min. efficiencies listed above. All equipment is listed "or eq" ALL LIGHTING TO BE HIGH EFFICACY – SEE MF1R FOR SWITCHING & NOTES. LOCAL EXHAUST FAN RATES BATH = 50 CFM, KITCHEN = 100 CFM, < 3 sones &

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01E (Page 3 of 12) Calculation Date/Time: 2023-10-04T12:29:40-07:00 Project Name: 1 Bedroom - Riverside ADU Calculation Description: Title 24 Analysis Input File Name: 1 Bedroom - Riverside.ribd22x **ENERGY USE SUMMARY**

listed on CEC directory. HERS VERIFIED **

SONE RATING = 1 FOR CONTINUOUS FAN AND 3 FOR INTERMITTENT FAN.

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	1.35	6.17	2.15	15.48	-0.8	-9.31
Space Cooling	1.44	31.28	1.01	25.37	0.43	5.91
IAQ Ventilation	0.38	4	0.38	4	0	0
Water Heating	2.57	26.03	1.67	18.63	0.9	7.4
Self Utilization/Flexibility Credit	Λ			0		0
North Facing Efficiency Compliance Total	5.74	67.48	5.21	63.48	0.53	4
Space Heating	1/35	6.17	1.85	13.2	-0.5	-7.03
Space Cooling	1.44	31.28	P K 0.95	2 E F _{24.49}	0.49	6.79
IAQ Ventilation	0.38	4	0.38	4	0	0
Water Heating	2.57	26.03	1.67	18.6	0.9	7.43
Self Utilization/Flexibility Credit				0		0
East Facing Efficiency Compliance Total	5.74	67.48	4.85	60.29	0.89	7.19

Registration Date/Time: HERS Provider: Registration Number: 223-P016596244A-000-000-0000000-0000 2023-10-04 14:05:25 CalCERTS inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-10-04 12:30:45 Schema Version: rev 20220901

Calculation Date/Time: 2023-10-04T12:29:40-07:00 (Page 6 of 12) Project Name: 1 Bedroom - Riverside ADU Calculation Description: Title 24 Analysis Input File Name: 1 Bedroom - Riverside.ribd22x REQUIRED PV SYSTEM 01 Azimuth Tilt Array Angle Tilt: (x in Inverter Eff. s Module Type Array Type Exception Solar Access (kWdc) (deg) Input (deg) 12) <=7:12 1.75 NA Standard (14-17%) Fixed none true | 150-270 | n/a |

REQUIRED SPECIAL FEATURES The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3)

Northwest Energy Efficiency Alliance (NEE<mark>A) r</mark>ated heat pump water heater; specific brand/model, or equivalent, must be installed HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry Quality insulation installation (QII) Indoor air quality ventilation Kitchen range hood HERS PROVIDER Verified Refrigerant Charge Airflow in habitable rooms (SC3.1.4.1.7) Verified heat pump rated heating capacity Wall-mounted thermostat in zones greater than 150 ft2 (SC3.4.5) Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)

BUILDING - FEATURES INFORMATION Number of Water Number of Dwelling Number of Ventilation Project Name Number of Bedrooms Number of Zones Conditioned Floor Area (ft²) Units **Cooling Systems** Heating Systems 1 Bedroom - Riverside ADU 746

Registration Number: 223-P016596244A-000-000-0000000-0000

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HERS Provider: CalCERTS inc. Report Generated: 2023-10-04 12:30:45

ADU Conditioned Mini Split1 DHW Sys 1 New OPAQUE SURFACES Window and Door Tilt (deg) Azimuth Orientation Gross Area (ft²) Front Wall ADU R-19 Wall Front 49.3 156 Right Wall ADU R-19 Wall 270 Right 47.5 Back Wall R-19 Wall Skylight Area Roof Rise (x in Orientation Roof Area (ft²) Roof Emittance Cool Roof Reflectance (ft²) 12) R-30 Roof No Front 746 0.1 0.85 ADU 05 | 06 | 07 | 08 | 09 | 10 | 11 04 13

Zone Floor Area (ft²)

Roof FENESTRATION / GLAZING 01 Front Wall 0.3 NFRC 0.23 NFRC **Bug Screen** FrDoor 1 Front Wall NFRC 0.23 NFRC **Bug Screen** 0.23 NFRC Window A 2 Window Front Wall 0.3 NFRC Bug Screen

Registration Number: 223-P016596244A-000-000-0000000-0000

Registration Date/Time: Report Version: 2022.0.000 Schema Version: rev 20220901

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Location

Zip code

Climate Zone 1

ADU Bedroom Count n/a

03 This building incorporates one or more Special Features shown below

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Standard Design TDV Energy

(EDR2) (kTDV/ft² -yr)

31.28

26.03

67.48

6.17

31.28

26.03

67.48

HVAC System Name

Standard Design Source

Energy (EDR1) (kBtu/ft² -yr)

2.57

1.35

223-P016596244A-000-000-0000000-0000

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Zone Type

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Project Name: 1 Bedroom - Riverside ADU

Calculation Description: Title 24 Analysis

Addition Cond. Floor Area (ft²)

01 Building Complies with Computer Performance

Registration Number: 223-P016596244A-000-000-0000000-0000

Project Name: 1 Bedroom - Riverside ADU

Calculation Description: Title 24 Analysis

ENERGY USE SUMMARY

Energy Use

Space Heating

Space Cooling

IAQ Ventilation

Water Heating

Jtilization/Flexibilit

Credit

South Facing

Total

Space Heating

Space Cooling

IAQ Ventilation

Water Heating

Utilization/Flexibilit Credit **West Facing Efficiency**

Compliance Total

Registration Number:

ZONE INFORMATION

Zone Name

Efficiency Complian

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Existing Cond. Floor Area (ft²) n/a

Total Cond. Floor Area (ft²) 74

Project Name 1 Bedroom - Riverside ADU

Run Title Title 24 Analysis

City | Riverside

Building Type | Single family

Project Scope | Newly Constructed

Project Name: 1 Bedroom - Riverside ADU

Calculation Description: Title 24 Analysis

GENERAL INFORMATION

HERS Provider: Report Generated: 2023-10-04 12:30:45

Registration Number: 223-P016596244A-000-000-0000000-0000

Registration Date/Time: Report Generated: 2023-10-04 12:30:45 Report Version: 2022.0.000 Schema Version: rev 20220901

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CF1R-PRF-01E

CF1R-PRF-01E

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ADU

nower Drain Water Heat

09

Thermostat Type

Setback

HERS Verification

Recovery

Duct Inlet Air Source | Duct Outlet Air Source

ADU

Distribution Name

Calculation Date/Time: 2023-10-04T12:29:40-07:00

Tank Location

Input File Name: 1 Bedroom - Riverside.ribd22x

05

ompact Distribution

06 07

08 09 10 11

SEER2

Fan Name

Not Zonal

Thermostat Status

R-Value Status

Status

HERS Provider:

Report Generated: 2023-10-04 12:30:45

NEEA Heat Pump

Model

PROPH40 T2

RH37530 (40 gal,

04

Compact Distribution

Not Required

- 05

Cooling Unit Name

Heat Pump System

JA13)

Type

EERSEER

Registration Date/Time: 2023-10-04 14:05:25

Building Type ☑ Single Family ☐ Addition Alone ☐ Multi Family ☐ Existing+ Addition/Alteration

alifornia Energy Climate Zone Total Cond. Floor Area Addition

Report Version: 2022.0.000

CA Climate Zone 10

Schema Version: rev 20220901

Total Area: 136 Glazing Percentage: 18.3% New/Altered Average U-Factor:

Orientation Area(ft²) U-Fac SHGC Overhang Sidefins Exterior Shades Status

Min. Eff Cooling Min. Eff

2022 Single-Family Residential Mandatory Requirements Summary

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air

Ventilation and Indoor Air Quality:

Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.*

**Indoor Of Company of Continuous operation of CFI air handlers is not allowed to provide the whole

§ 150.0(o)1C: and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.

§ 150.0(o)1G: Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have deman

§ 150.0(o)1H&i: Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(o)1C must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the

Pool and Spa Systems and Equipment:

Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDbS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not

switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.

Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.

§ 150.0(k)1A: Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans. kitcher

Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*

Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.

Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.

minimum airflow rate required by §150.0(o)10

rates and sound requirements per §150.0(o)1G

requirements of § 110.9. *

§ 110.4(b)3:

Lighting:

§ 150.0(k)1C:

§ 150.0(k)1D: § 150.0(k)1E:

§ 150.0(k)1F: 5/6/22

handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nomina cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with

Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole-dwelling unit ventilation airflow required per §150.0(o)1C. A motorized damper(s) must be installed on the ventilation duct(s) that

prevents all airflow through the space conditioning duct system when the damper(s) is closed and controlled per §150.0(o)1Biii&iv.

ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses . Single-family detached dwelling units

controlled exhaust system meeting requirements of §150.0(o)1Giii,enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Giii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per

Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating,

and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods

must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow

use electric resistance heating.*

Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.

Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time

Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable

range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and line closets with an efficacy of at least 45 lumens per watt.

Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight, and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.

Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.

Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor control law valence widen or for peocle control.

control, low voltage wiring, or fan speed control.

Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).

8.20 HSPF Split Heat Pump

14.0 SEER

NEEA Heat Pump

Brand

DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS: 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF RIVERSIDE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE. WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER

IMPROVEMENT UNDER THESE PLANS AT ALL.

project

City of Riverside Pre-Approved ADU Program

revisions

description Energy

Calculations

October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Calculation Date/Time: 2023-10-04T12:29:40-07:00 (Page 8 of 12) Project Name: 1 Bedroom - Riverside ADU Calculation Description: Title 24 Analysis OPAQUE SURFACE CONSTRUCTIONS Total Cavity Construction Name Surface Type onstruction Type R-value R-19 Wall Exterior Walls 2x6 @ 16 in. O. C. R-19 Wood Framed Wall R-30 R-30 Roof No Attic Cathedral Ceilings 2x12 @ 24 in. O. C. BUILDING ENVELOPE - HERS VERIFICATION

CF1R-PRF-01E

Exterior Shadin

Bug Screen

Bug Screen

Bug Screen

Bug Screen

Bug Screen

CalCERTS inc.

CF1R-PRF-01E

(Page 11 of 12)

Verified Heating

Cap 17

CalCERTS inc.

Certified Indoor Fan not

non-continuous Running

Fan

SHGC Source

NFRC

NFRC

NFRC

NFRC

NFRC

U-factor

Report Generated: 2023-10-04 12:30:45

Verified Heating

Cap 47

Calculation Date/Time: 2023-10-04T12:29:40-07:00

U-factor

NFRC

NFRC

NFRC

NFRC

NFRC

NFRC

06

Edge Insul. R-value

and Depth

Calculation Date/Time: 2023-10-04T12:29:40-07:00

07

Verified

HSPF/HSPF2

Low Leakage Minimum

Ducts in Airflow per

RA3.3 and

SC3.3.3.4.1

Conditioned

Space

Required Required Not required Not required Not required Not required

Effectiveness - SRE | Indicator Display?

07

Includes Fault

Input File Name: 1 Bedroom - Riverside.ribd22x

06

Verified Refrigerant

Air Filter Sizing

IAQ Recovery

n/a / n/a

& Pressure

Drop Rating

___05

Charge

0.23

0.23

0.23

0.23

0.23

07

80%

Input File Name: 1 Bedroom - Riverside.ribd22x

U-factor

0.3

0.3

0.3

0.3

0.3

0.3

0,3

05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 |

05

Edge Insul. R-value

and Depth

none

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Verified

SEER/SEER2

Not Required

Wall Mount

Thermostat

Includes

Heat/Energy

Schema Version: rev 20220901

Quality Insulation Installation (QII) | High R-value Spray Foam Insulation | Building Envelope Air Leakage CFM50 WATER HEATING SYSTEMS Solar Heating **HERS Verification** Distribution Type | Water Heater Name | Number of Units System Distribution Name (#)

Registration Date/Time: HERS Provider: 2023-10-04 14:05:25 CalCERTS inc.

CF1R-PRF-01E Calculation Date/Time: 2023-10-04T12:29:40-07:00 (Page 12 of 12)

Calculation Description: Title 24 Analysis	input File Name: 1 Bedroom - Riverside.ribd22x	
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT		
I. I certify that this Certificate of Compliance documentation is accurate and complete.		
Documentation Author Name:	Documentation Author Signature:	
Yvonne St Pierre	Yvonne St Pierre	
Company:	Signature Date:	
Design Path Studio	2023-10-04 14:05:25	
Address:	CEA/ HERS Certification Identification (If applicable):	
PO Box 230165		
City/State/Zip:	Phone:	
Encinitas, CA 92023	619-292-8807	
RESPONSIBLE PERSON'S DECLARATION STATEMENT		
I certify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.		
Responsible Designer Name: Yvonne St Pierre	Responsible Designer Signature: **Yvonne St Pierre**	
Company: Design Path Studio	Date Signed: 2023-10-04 14:05:25	
Address: PO Box 230165	License: C 34789	
City/State/Zip: Encinitas, CA 92023	Phone: 619-292-8807	

Registration Date/Time: 223-P016596244A-000-000-0000000-0000 Report Version: 2022.0.000

at CalCERTS.com HERS Provider: CalCERTS inc Report Generated: 2023-10-04 12:30:45

(27)	2022 Single-Family Residential Mandatory Requirements Summary
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool
	spa heaters."
§ 150.0(h)1:	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.
§ 150.0(h)3A:	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.
§ 150.0(h)3B:	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot wate piping must be insulated as specified in § 609.11 of the California Plumbing Code. *
§ 150.0(j)2:	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment' maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof ar non-crushable casing or sleeve.
§ 150.0(n)1:	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2.5 'x 2.5' x 7' suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain more than 2' higher than the base of the water heater
§ 150.0(n)3:	Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the executive director.
ucts and Fans:	
§ 110.8(d)3:	Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	CMC Compliance. All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated R-6.0 or higher; ducts beated entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.14.3.3) do not require insulation. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must b sealed with mastic, tape, or other duct-closure system that meets the applicable UL requirements, or aerosol sealant that meets UL 72 The combination of mastic and either mesh or tape must be used to seal openings greater than ¼", if mastic or tape is used. Building cavifies, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board flexible duct must not be used to convey conditioned air. Building cavifies and support platforms may contain ducts; ducts installed in
	these spaces must not be compressed. * Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction,
§ 150.0(m)2:	reactory-reproceded buck systems. Pacory-laborated duck systems flust comply with applicable requirements for duck construction, connections, and closures; joints and seams of duck systems and their components must not be sealed with cloth back rubber adhesive duck tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)3:	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tape mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)8:	Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)9:	Protection of Insulation. Insulation must be protected from damage due tosunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, painted carvas, or plast cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating.
§ 150.0(m)10:	Porous Inner Core Flex Duct. Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core and outer vapor barrier.
§ 150.0(m)11:	Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to a occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in

Registration Date/Time: 223-P016596244A-000-000-0000000-0000 2023-10-04 14:05:25 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-10-04 12:30:45 Schema Version: rev 20220901 2022 Single-Family Residential Mandatory Requirements Summary NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

(04/2022) Building Envelope:

Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or AMAD 4004. ASTM E283 or AMAD/MDMA/CSA 101/LS.2/A440-2011.* Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a) Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.

Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped. Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS). Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g) Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling. Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value. Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.10 Masonry walls must meet Tables 150.1-A or B. * Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor. Stab Edge Insulation. Stab edge insulation must meet all of the following; have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g). Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class I vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to §150.0(d).

Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.

Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45. Fireplaces, Decorative Gas Appliances, and Gas Log: Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces. Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device. * § 150.0(e)3: Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. * Space Conditioning, Water Heating, and Plumbing System:

Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.

HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N.*

Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for supplementary heating, and the cut-off temperature for supplementary heating. Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat. *
Insulation. Unfired service water healer storage tanks and solar water-heating backup tanks must have adequate insulation, or tank surface heat loss rating. Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Right Wall

Back Wall

Back Wall

Left Wall

Left Wall

Left Wall

02

ADU

Registration Number: 223-P016596244A-000-000-0000000-0000

Project Name: 1 Bedroom - Riverside ADU

Calculation Description: Title 24 Analysis

Verified Airflow

Not Required

Airflow (CFM)

Energy Pro uses ASHRAE method for HVAC sizing.

VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION - HERS VERIFICATION

Low-Static

VCHP System

§ 110.8(i):

§ 150.0(g)1:

§ 150.0(e)1:

§ 150.0(e)2:

Not required Required

03

Fan Efficacy

(W/CFM)

0.35

HVAC HEAT PUMPS - HERS VERIFICATION

Heat Pump System

1-hers-htpump

Heat Pump System 1

INDOOR AIR QUALITY (IAQ) FANS

01

Dwelling Unit

SFam IAQVentRpt

Registration Number:

PROJECT NOTES

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Airflow Target

Verified EER/EER2

Not Required

Airflow to Ductless Units

Habitable in Conditioned

04

IAQ Fan Type

Exhaust

Rooms Space

Right Wall Right

Right

Back

Left

Left

03

Area (ft²)

746

04

Perimeter (ft)

115

Project Name: 1 Bedroom - Riverside ADU

Calculation Description: Title 24 Analysis

Window F

Window D

French Door 2

Window B

SLAB FLOORS

Slab-on-Grade

Window E Window

Window C Window

Name

Door 8

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: 1 Bedroom - Riverside ADU Calculation Description: Title 24 Analysis Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information. Easy to Verify

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance

accordance with Reference Residential Appendix RA3.1. Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Tank Vol. (gal)

03

Heating Unit Name

Heat Pump System

HSPF

RESIDENTIAL MEASURES SUMMARY

03

04

04 05 06 07

8.2 12800

Project Name: 1 Bedroom - Riverside ADU

Calculation Description: Title 24 Analysis

of Units

System Type

heating cooling

System Type

VCHP-ductless

Registration Number: 223-P016596244A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

INSULATION

Construction Type

Qty. Heating

HVAC DISTRIBUTION

WATER HEATING

EnergyPro 9.2 by EnergySoft User Number: 50256

Qty. Type

Wood Framed Rafter

Unheated Slab-on-Grade

WATER HEATERS - NEEA HEAT PUMP

WATER HEATING - HERS VERIFICATION

DHW Heater 1

01

SPACE CONDITIONING SYSTEMS

Mini Split1

HVAC - HEAT PUMPS

01

Roofing: 10 PSF (RoofTileAirGap) Tile Gap: present Roof Deck: Wood None / None 0.033 Siding/sheathing/deckin Cavity / Frame: R-30 / 2x12 Inside Finish: Gypsum Board

02 04 0

Domestic Hot DHW Heater 1 DHW Sys 1 Standard None n/a DHW Heater 1 (1)

Registration Number: 223-P016596244A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-10-04 12:30:45

CF1R-PRF-01E

(Page 9 of 12)

Interior / Exterior Continuous U-factor **Assembly Layers**

05 06 07

Input File Name: 1 Bedroom - Riverside.ribd22x

None / None

Inside Finish: Gypsum Board Cavity / Frame: R-19 in 5-1/2 in. (R-18) / Exterior Finish: 3 Coat Stucco

Schema Version: rev 20220901

2023-10-04 14:05:25

Schema Version: rev 20220901

or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A.

Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter racks or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassing the



2022 Single-Family Residential Mandatory Requirements Summary

Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 § 150.0(k)1H: elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires. Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not require In sources in brawers, capinets, and are closers. Light sources internal to drawers, capinety of internal closers are not required to comply with Table 130.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.

§ 150.0(k)2A: Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A. \$ 150.0(k)2B: Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.

Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned § 150.0(k)2A: on and off. *

Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed

§ 150.0(t)2C: Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9. § 150.0(k)2D: September 2011 and 150 in 150 Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire

Automatic Shutoff Controls. In bathrooms, garages, launary rooms, utility rooms and walk-in closess, at least one installed number of walk-in closess. In the case of functional stress and cabinets with opaque fronts or down. Forward phase cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.

**Independent and teach of the controlling in the co sources in these spaces must comply with NEMA SSL. /A.

§ 150.0(k)2K:

Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.

Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements.

applicable requirements may be used to meet these requirements.

Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.

Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.

Solar Readiness:

Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the § 110.10(a)1: application for a tentative subdivision map for the residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).

Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5

feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 161,110.10[b]14: located on the roof or overhang of the building and have a total area no less than 250 square feet. * 110.10(b)2: Azimuth. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north. Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof

mounted equipment.

Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the B. shading. Any obstruction located on the root or any other part of the building mat projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.

Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.

Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a

pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.

Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be provided to the occupant. § 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps. § 110.10(e)2: Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."

identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

2022 Single-Family Residential Mandatory Requirements Summary

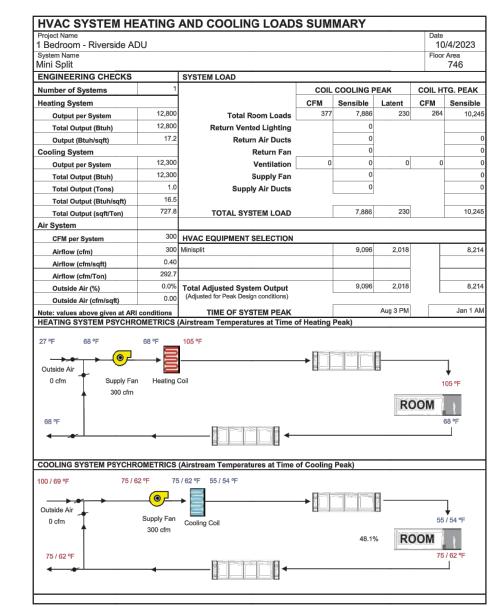
Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, or a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit

near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of

225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source.

Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover

*Exceptions may apply.



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project

City of Riverside Pre-Approved ADU Program

revisions	
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description

Energy Calculations

date October 2023

project no. Riverside ADU

drawn by

DESIGN PATH STUDIO