

# APPLICANT AGREEMENT

APPLICANT AGREES TO PROVIDE ALL NECESSARY INFORMATION REQUIRED TO COMPLETE THESE CONSTRUCTION DOCUMENTS. MODIFICATIONS TO THE PERMIT READY DOCUMENTS PROVIDED BY DESIGN PATH STUDIO ARE TO BE DISCLOSED BY THE APPLICANT AND APPROVED BY THE AUTHORITY HAVING JURISDICTION. ANY MODIFICATIONS TO THESE CONSTRUCTION DOCUMENTS REQUIRES EACH SHEET TO BE SIGNED BY THE PERSON WHO MADE THE CHANGES. ANY ADDITIONAL SHEETS INCORPORATED INTO THESE DOCUMENTS ALSO REQUIRES A SIGNATURE BY THE PERSON WHO PREPARED THE INFORMATION. THE FOUNDATION DESIGN FOR THESE PERMIT READY CONSTRUCTION DOCUMENTS ASSUMES STANDARD SOILS CONDITIONS & LEVEL TOPOGRAPHY. IF SITE SPECIFIC CONDITIONS REQUIRE A FOUNDATION DESIGN BEYOND WHAT IS PROVIDED IN THESE DOCUMENTS THEN THE APPLICANT IS TO PROVIDE A NEW FOUNDATION DESIGN WHICH COMPLES WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER'S REPORT.

BY SIGNING BELOW THE APPLICANT AGREES TO THE STATEMENT ABOVE AND WILL COMPLY WITH ALL LOCAL CODE REQUIREMENTS.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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## CONTACT LOCAL UTILITY COMPANIES REGARDING GAS AND ELECTRIC SERVICES TO THIS DETACHED ADU. SEE EXAMPLE SITE PLAN, SHEET AS.2, FOR MORE INFORMATION

# ZONING INFORMATION

CONTACT CITY OF RIVERSIDE FOR THE INFORMATION BELOW  
EMAIL: [CODING@RIVERSIDECA.GOV](mailto:CODING@RIVERSIDECA.GOV) PHONE: 951-826-5800

ZONING : \_\_\_\_\_

OVERLAY : \_\_\_\_\_

LOT SIZE : \_\_\_\_\_

EXISTING HABITABLE SQ. FT. : \_\_\_\_\_

LOT SLOPE : \_\_\_\_\_

ADU SETBACKS FROM PROPERTY LINE \_\_\_\_\_

ALLOWED : FRONT- \_\_\_\_\_ PROPOSED : FRONT- \_\_\_\_\_  
REAR- \_\_\_\_\_ REAR- \_\_\_\_\_  
SIDE- \_\_\_\_\_ SIDE- \_\_\_\_\_  
STREET SIDE- \_\_\_\_\_ STREET SIDE- \_\_\_\_\_

ADU SETBACKS FROM MAIN RESIDENCE \_\_\_\_\_

ALLOWED : \_\_\_\_\_ PROPOSED : \_\_\_\_\_

OFF STREET PARKING : \_\_\_\_\_ REQUIRED: \_\_\_\_\_ PROVIDED: \_\_\_\_\_

# DIRECTORY

SITE PLAN & TITLE SHEET INFORMATION PREPARED BY: \_\_\_\_\_

PROVIDED BY OWNER

COMPANY \_\_\_\_\_  
CONTACT PERSON \_\_\_\_\_  
ADDRESS \_\_\_\_\_

PHONE \_\_\_\_\_  
EMAIL \_\_\_\_\_

PROPERTY OWNER: \_\_\_\_\_

NAME \_\_\_\_\_  
ADDRESS \_\_\_\_\_

PHONE \_\_\_\_\_  
EMAIL \_\_\_\_\_

BUILDING DEPARTMENT: \_\_\_\_\_

CITY OF RIVERSIDE BUILDING & SAFETY DEPARTMENT  
3900 MAIN STREET,  
RIVERSIDE, CA 92522  
P. (951)826-5800

# VICINITY MAP

PROVIDED BY OWNER

# PROJECT DESCRIPTION

NEW CONSTRUCTION OF A ONE STORY, 1 BEDROOM 1 BATH, DETACHED 746 S.F. ACCESSORY DWELLING UNIT

PORCH AREAS:  
CRAFTSMAN: 283 S.F. RANCH: 121 S.F. SPANISH: 46 S.F.

# APN

# LEGAL DESCRIPTION

# APN

PROVIDED BY OWNER

# BUILDING INFORMATION

GOVERNING CODES: APPROVAL OF THIS PROJECT SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND CITY OF RIVERSIDE MUNICIPAL CODE.

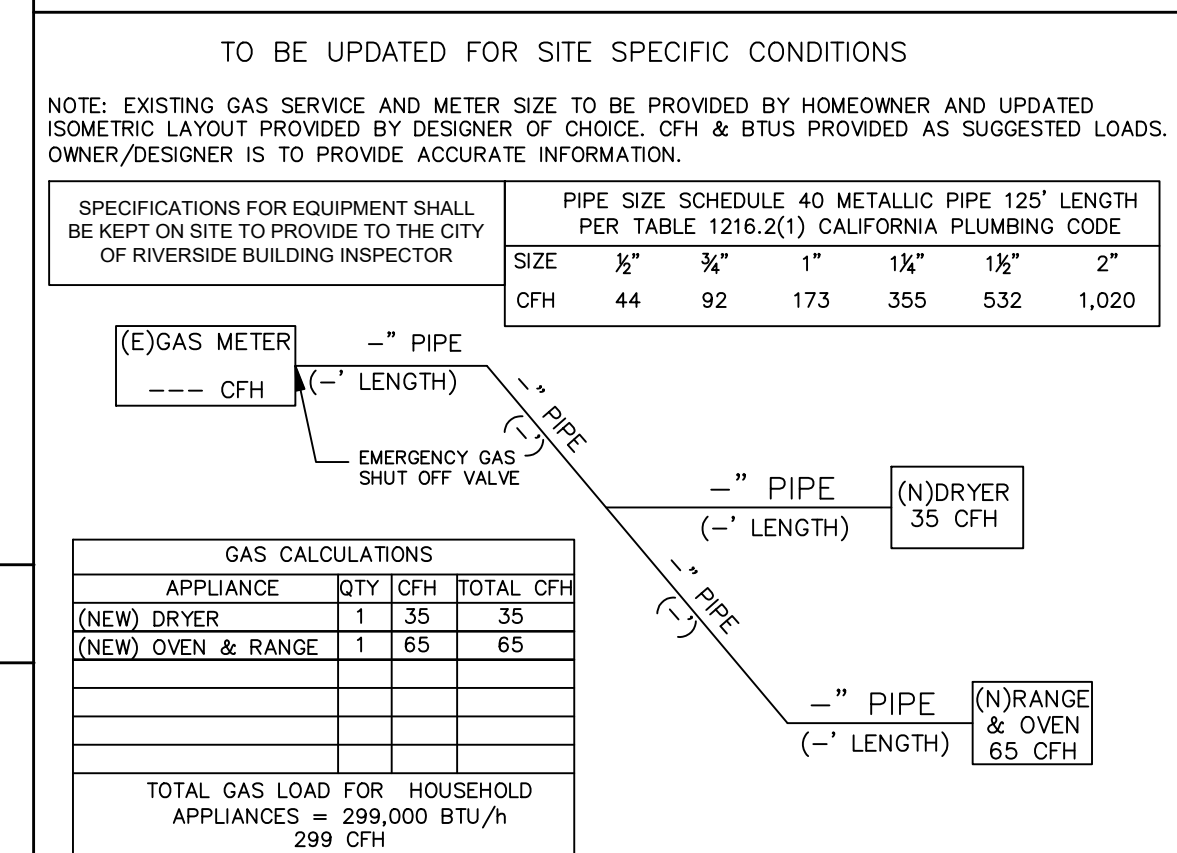
SITE ADDRESS: \_\_\_\_\_

GOVERNING AGENCY: CITY OF RIVERSIDE, CA.  
OCCUPANCY GROUP: R3  
STORIES: 1  
TYPE OF CONSTRUCTION: VB

# HERS NOTES

1. PROPERLY COMPLETED AND ELECTRONICALLY SIGNED CERTIFICATE OF INSTALLATION (CF2R FORMS) SHALL BE POSTED WEATHER PROTECTED WITHIN BUILDING FOR REVIEW BY INSPECTORS - EES 10-103(a)3, 10-103(b)1 - BY THE INSTALLING CONTRACTOR AND SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE SITE. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA APPROVED HERS PROVIDER DATA REGISTRY WITH ITS OWN UNIQUE 21 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF2R FORM. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF2R FORMS ARE REVIEWED AND APPROVED.
2. PROPERLY COMPLETED & ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED WEATHER PROTECTED WITHIN THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF3R IS REVIEWED AND APPROVED. EES 10-103(a)3, 10-103(b)1.A.
3. CFIR REGISTRATION FORMS ARE LOCATED ON THE PLANS. IF REGISTRATION IS REQUIRED, A WATER-MARK AND REGISTRATION NUMBER WILL BE VISIBLE.
4. HERS TESTS REQUIRED FOR THIS PROJECT ARE:  
VARIABLE CAPACITY HEAT PUMP - Ductless units entirely located in conditioned space, airflow in habitable rooms, wall mounted thermostat in zones greater than 150 s.f., verify heat pump rated capacity, and Refrigerant charge.  
KITCHEN RANGE HOOD CFM VERIFICATION (160 CFM) OR PER CEC TABLE 150.0-G  
IAQ MECHANICAL VENTILATION - PER ASHRAE STANDARD 62.2 TABLE 7.1 - SEE MECHANICAL SHEET FOR MORE INFORMATION.
5. FOR IAQ FAN - CFM REQUIRED FOR A CONTINUOUSLY OPERATING EXHAUST FAN, PROVIDE A TIMER SWITCH WITH A MANUAL OFF AND A SOUND RATING OF 1 SONE (3 SONES MAX FOR AN INTERMITTENT FAN). THIS FAN TO PROVIDE A WHOLE BUILDING INDOOR AIR QUALITY VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.  
1 BEDROOM - 37CFM  
2 BEDROOM 2 BATH 800 S.F. - 46CFM  
2 BEDROOM 2 BATH 1020 S.F. - 52CFM  
3 BEDROOM - 65CFM
6. SOLAR IS REQUIRED: Solar exemption cut off is 1.8 kWdc - this is an owner choice.  
1 BEDROOM - 1.75 kWdc APPROXIMATE BASED ON INITIAL REPORTS  
2 BEDROOM 2 BATH 800 S.F. - 2.07 kWdc APPROXIMATE BASED ON INITIAL REPORTS  
2 BEDROOM 2 BATH 1020 S.F. - 2.11 kWdc APPROXIMATE BASED ON INITIAL REPORTS  
3 BEDROOM - 2.44 kWdc APPROXIMATE BASED ON INITIAL REPORTS
7. SPECIAL FEATURES: POSSIBLE PV EXEMPTION 2: NO PV REQUIRED WHEN MINIMUM PV SIZE < 1.8 KWDC/SECTION 150.1(C)(4) PV EXEMPTION BASED IN UPDATED ENERGY CALCULATIONS WITH SITE SPECIFIC INFORMATION. VCHP required items listed above, exposed slab flooring, and NECA rated heat pump water heater; specific brand/model or eq.
8. NEW 2022 ELECTRIC READY REQUIREMENTS: PROVIDE SPACE FOR HEAT PUMP WATER HEATER. WITH ELECTRICAL PROVISIONS PER CEC 150.0(N)(1)A - SEE ELECTRICAL NOTE #16 ON SHEET G0.2. A 240V OUTLET IS REQUIRED FOR WATER HEATER, DRYER, AUTO CHARGING, AND STONE INCLUDING BREAKER SPACE. ENERGY STORAGE SYSTEM FOR A FUTURE BATTERY SYSTEM (BATTERY READY) IS REQUIRED IF FULL SYSTEM IS NOT INSTALLED.

# EXAMPLE GAS PIPE DIAGRAM



BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:  
1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF RIVERSIDE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF RIVERSIDE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.  
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.  
3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.  
4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.



# TO BE COMPLETE BY CITY STAFF

## required supplemental information provided by city staff

- SELECTION
  - THE BUILDING IS IN THE FLOOD HAZARD AREA. NOTE: CITY STANDARD ADU PLANS ARE NOT APPLICABLE TO BUILDINGS IN THE FLOOD HAZARD AREA. A LICENSED PROFESSIONAL SHOULD BE CONSULTED FOR A SITE-SPECIFIC DESIGN.
  - THE BUILDING IS LOCATED IN A VERY HIGH FIRE SEVERITY ZONE (VHF5Z)
  - THE BUILDING IS IN AN AREA IMPACTED BY A CNEL NOISE LEVEL OF 60MBA OR ABOVE. NOTE: APPLICANT MUST COMPLETE THE PRESCRIPTIVE NOISE INSULATION REQUIREMENTS CHECKLIST ON AS.1
  - EASEMENTS OCCUR WITHIN THE PROPERTY. NOTE: SITE PLAN WITH EASEMENT LOCATION TO BE PROVIDED BY CITY STAFF
  - SERVED BY WESTERN WATER
  - PARK OR TRAIL IMPACT ASSESSMENT
- BE ADVISED, SHOULD THE PROPOSED ADU BE 780SF OR OVER AND LOCATED ADJACENT A TRAIL CORRIDOR, A TRAIL EASEMENT WILL NEED TO BE DEDICATED PRIOR TO CERTIFICATE OF OCCUPANCY.

# REQUIRED SUPPLEMENTAL INFORMATION - TO BE COMPLETED BY OWNER

## additional plan information provided by applicant:

- COMPLETED
- TITLE SHEET (T1.1) INFORMATION FILLED OUT
- SITE PLAN SHEET (AS.2) PROVIDED IN PLAN SET FOR CITY REVIEW
- UPDATED TITLE 24 ENERGY CALCULATION REPORT WITH CORRECT NAME, ADDRESS, AND EXACT ORIENTATION FOR SITE SPECIFIC CONDITIONS. OWNER MAY CONTACT THE ENTITY WHO PREPARED THE ORIGINAL REPORT (SHOWN ON T24.1) TO OBTAIN UPDATES TO THE REPORT.
- CONSTRUCTION AND DEMOLITION FORM
- HOLD HARMLESS AGREEMENT
- GRADING EXCEPTION JUSTIFICATION FORM
- FOR PROJECTS ON SEPTIC: APPROVED CERTIFICATION DOCUMENTS FROM THE COUNTY OF RIVERSIDE HEALTH DEPARTMENT
- WAIVER OF GEOTECHNICAL INVESTIGATION FORM
- MANDATORY PRESCRIPTIVE NOISE INSULATION REQUIREMENTS CHECKLIST SIGNATURE REQUIRED SEE SHEET AS.1

## exterior style selection:

- SELECTION (SEE SHEET T1.2 FOR EXTERIOR RENDERING)
- CRAFTSMAN
- RANCH
- SPANISH

## exterior wall material:

- SELECTION(S)
- EXTERIOR WALL COLOR OF PRINCIPAL DWELLING UNIT (EXTERIOR WALL COLOR OF ADU IS TO MATCH PRINCIPAL DWELLING UNIT)
- STUCCO / COLOR \_\_\_\_\_
- STONE VENEER / COLOR \_\_\_\_\_
- FIBER CEMENT - SIDING / COLOR \_\_\_\_\_
- WOOD SIDING / COLOR \_\_\_\_\_
- OTHER \_\_\_\_\_

## deferred submittals - separate permit to be obtained by applicant:

- TO BE COMPLETED
- FIRE SPRINKLERS (WHEN REQUIRED)
- TRUSS CALCULATIONS (WHEN REQUIRED)
- PHOTOVOLTAIC SYSTEM - THE PV SYSTEM MUST BE INSTALLED, OPERATIONAL AND FINAL PERIOD TO FINAL BUILDING INSPECTION AND APPROVAL FOR THE ADU.  
IF THERE IS AN EXISTING PHOTOVOLTAIC SYSTEM OF SUFFICIENT SIZE ON THE MAIN HOUSE TO ACCOMMODATE THE NEW ADU THEN HOMEOWNER IS TO PROVIDE A REPORT STATING THE EXISTING SIZE OF THE PV PANEL (WHEN REQUIRED)

## roof framing:

- SELECTION
- ROOF FRAMING PER PLAN
- ROOF TRUSSES - IN LIEU OF ROOF DETAILS PROVIDED ON THESE PLANS, HOMEOWNER IS TO CONTRACT WITH AN INDEPENDENT TRUSS COMPANY AND SUBMIT TRUSS CALCULATIONS TO THE CITY OF RIVERSIDE FOR APPROVAL. INDICATE ON DEFERRED SUBMITTAL CHECKLIST ABOVE IF TRUSS PACKAGE WILL BE PROVIDED AS A DEFERRED SUBMITTAL

## roof material:

- SELECTION
- ROOF COLOR OF PRINCIPAL DWELLING UNIT (ROOF COLOR OF ADU IS TO MATCH PRINCIPAL DWELLING UNIT)
- TRIM COLOR OF PRINCIPAL DWELLING (TRIM COLOR OF ADU TO MATCH PRINCIPAL DWELLING UNIT TRIM)
- CONCRETE TILE ROOF - EAGLE ROOF PRODUCTS INC. - LAMPO UES-ER 1900 MINIMUM 2:12 ROOF SLOPE. COLOR OF CONCRETE TILE ROOF \_\_\_\_\_
- ARCHITECTURAL GRADE SHINGLE - CERTANTEED - ICC-ES ESR-3537 MINIMUM 2:12 ROOF SLOPE. COLOR OF ARCHITECTURAL GRADE SHINGLES \_\_\_\_\_
- OTHER ROOF MATERIAL / COLOR / ICC / UL: \_\_\_\_\_

## window and trim color:

- SELECTION
- WINDOW COLOR OF PRINCIPAL DWELLING UNIT (WINDOW COLOR SELECTION BELOW FOR THE ADU IS TO MATCH PRINCIPAL DWELLING)
- WHITE
- TAN
- DARK BRONZE
- OTHER WINDOW COLOR \_\_\_\_\_

## fire sprinkler information:

- SELECTION
  - EXISTING RESIDENCE CURRENTLY HAS FIRE SPRINKLERS
  - PROPERTY IS LOCATED IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE
- FOR ADU'S IN VERY HIGH FIRE SEVERITY ZONES, PLEASE CONTACT THE CITY OF RIVERSIDE FIRE PREVENTION DIVISION AT 951-826-5737 FOR ADDITIONAL REQUIREMENTS.

## fire rated details:

- WHEN REQUIRED AS NOTED BELOW
  - ROOF EAVE DETAIL 1,2,3,5,6,7/A5.2
  - WALL FINISH DETAIL 9B,12B,15B/ A5.1
- FIRE RATED DETAILS ABOVE ARE TO BE USED WHEN THE PROPERTY IS LOCATED IN THE VERY HIGH FIRE SEVERITY ZONE (VHF5Z) OR WHEN WALLS AND ROOF EAVES ARE LESS THAN 5 FT FROM PROPERTY LINE IN AN UNSPRINKLERED BUILDING OR LESS THAN 2 FT FROM PROPERTY LINE IN SPRINKLERED BUILDINGS PER TABLE R302.1(1) & R302.1(2). FIRE RATED DETAILS ABOVE ARE ALSO TO BE USED WHEN THE ADU IS LESS THAN 10 FT FROM THE MAIN DWELLING UNIT IN AN UNSPRINKLERED BUILDING OR LESS THAN 6 FT FROM THE MAIN DWELLING UNIT IN A SPRINKLERED BUILDING. SEE SITE INFORMATION SHEET AS.1 FOR FURTHER INFORMATION ON BUILDING SEPARATION/PROJECTIONS AND FIRE RATING REQUIREMENTS.

## electrical service information:

- SELECTION: INFORMATION BELOW IS TO BE INDICATED ON THE SITE PLAN SPECIFIC FOR EACH PEROWY. SEE AS.1 SITE INFORMATION CHECKLIST
  - RELOCATE OR UPGRADE SERVICE  
A SEPARATE PERMIT WILL BE REQUIRED TO RELOCATE OR UPGRADE THE SERVICE UNDER THE FOLLOWING CIRCUMSTANCES:  
1. THE EXISTING ELECTRICAL SERVICE IS LESS THAN 200A.  
2. AN ELECTRICAL SERVICE GREATER THAN 200A IS REQUESTED.  
3. EXISTING OVERHEAD SERVICE ENTRANCE WIRES CONDUIT WITH LOCATION OF THE PROPOSED ADU.  
4. A SEPARATE METER IS DESIRED FOR THE ADU.
  - EXISTING SERVICE TO REMAIN
- SIZE OF EXISTING SERVICE \_\_\_\_\_ SIZE OF NEW SERVICE \_\_\_\_\_
- A SINGLE POINT OF CONNECTION SHALL BE SUPPLIED FOR THE ADU AND MAIN DWELLING. ADU SHALL HAVE A SUBPANEL ONLY, WITH NO METER. APPLICANT TO PULL A SEPARATE PERMIT TO UPGRADE THE EXISTING SERVICE OR UPGRADE THE EXISTING TO A DUAL METER PANEL.
1. CUSTOMER TO REVISE DRAWINGS TO REFLECT SINGLE POINT OF CONNECTION AND MAP ALL ELECTRICAL SERVICES WITHIN PROPERTY FOR ADU AND MAIN DWELLING. CUSTOMER RESPONSIBLE FOR FEES ASSOCIATED WITH RELOCATION OF ANY RPU SERVICE CABLES.
  2. CUSTOMER TO SHOW CHANGES ON BOTH THE SITE PLAN AND ELECTRICAL PLAN.
  3. CUSTOMER TO SHOW EXISTING MAIN PANEL LOCATION, SIZE AND SUB PANEL LOCATION, SIZE ON ADU.
  4. CUSTOMER WILL NEED TO PULL A SEPARATE PERMIT TO UPGRADE MAIN DWELLING TO DUAL METER PANEL SHOULD SEPARATE ELECTRICAL SERVICES BE REQUESTED. ADD (RELOCATION IF NEEDED TO PERMIT)
- APPLICANT TO MAKE APPLICATION FOR NEW ELECTRIC METER ACCOUNT(S) FOR EACH NEW METER REQUIRED. TO SET UP ACCOUNT(S), CALL RIVERSIDE PUBLIC UTILITIES CUSTOMER SERVICE: 951-782-0330. ALL CHANGEMARKS HAVE BEEN RESOLVED. PLEASE REFER TO ANY PROJECT CONDITIONS THAT MAY APPLY IN THE CONDITIONS REPORT PRIOR TO PERMIT ISSUANCE

## gas service information:

- SELECTION
  - UPGRADED SERVICE
  - EXISTING SERVICE TO REMAIN
  - NEW SERVICE
- SIZE OF EXISTING SERVICE \_\_\_\_\_ SIZE OF NEW SERVICE \_\_\_\_\_

## sewer waste water information:

- SELECTION
  - ADU TO HAVE NEW CONNECTION TO CITY SEWER MAIN
  - ADU TO CONNECT TO EXISTING RESIDENCE SEWER LATERAL  
IF EXISTING HOUSE HAS 35 OR MORE EXISTING FIXTURE UNITS PER TABLE 702.1, OR FIVE OR MORE TOILETS WITH AN EXISTING 3 INCH SEWER DRAIN, A SEPARATE CONNECTION TO THE CITY SEWER MAIN IS REQUIRED FOR THE NEW ADU. REFER TO CURRENT CPC SECTION 703.2 FOR PIPE SIZING REQUIREMENTS
  - ADU TO CONNECT TO AN EXISTING OR NEW SEPTIC APPROVAL FROM THE COUNTY OF RIVERSIDE ENVIRONMENTAL HEALTH WILL BE REQUIRED FOR THE INSTALLATION OR MODIFICATION OF THE SEPTIC SYSTEM. GO TO [HTTPS://RIVCOEH.ORG/SEPTIC-SYSTEMS](https://rivcoeh.org/septic-systems) FOR MORE INFORMATION. APPLICANT MUST SUBMIT THE COUNTY APPROVED CERTIFICATION DOCUMENTS FIRST, PRIOR TO THE APPROVAL OF THE STANDARD ADU PLANS.
- DISTANCE TO CONNECTION \_\_\_\_\_

## water service information:

- SELECTION
  - ADU SERVED FROM EXISTING METER
  - METER UPGRADE REQUESTED
  - SEPARATE METER REQUESTED FOR ADU
- SIZE OF EXISTING SERVICE \_\_\_\_\_ SIZE OF NEW SERVICE \_\_\_\_\_
- WHERE SERVED BY WESTERN WATER, PLEASE SUBMIT AN APPLICATION TO REQUEST NEW OR MODIFICATIONS TO YOUR WATER SERVICE. GO TO [HTTPS://WESTERNWATERCA.GOV/](https://westernwaterca.gov/) FOR MORE INFORMATION

project

City of Riverside  
Pre-Approved  
ADU Program

revisions

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- 
- 
- 
- 

description

Title Sheet  
1 Bedroom

date October 2023

project no. Riverside ADU

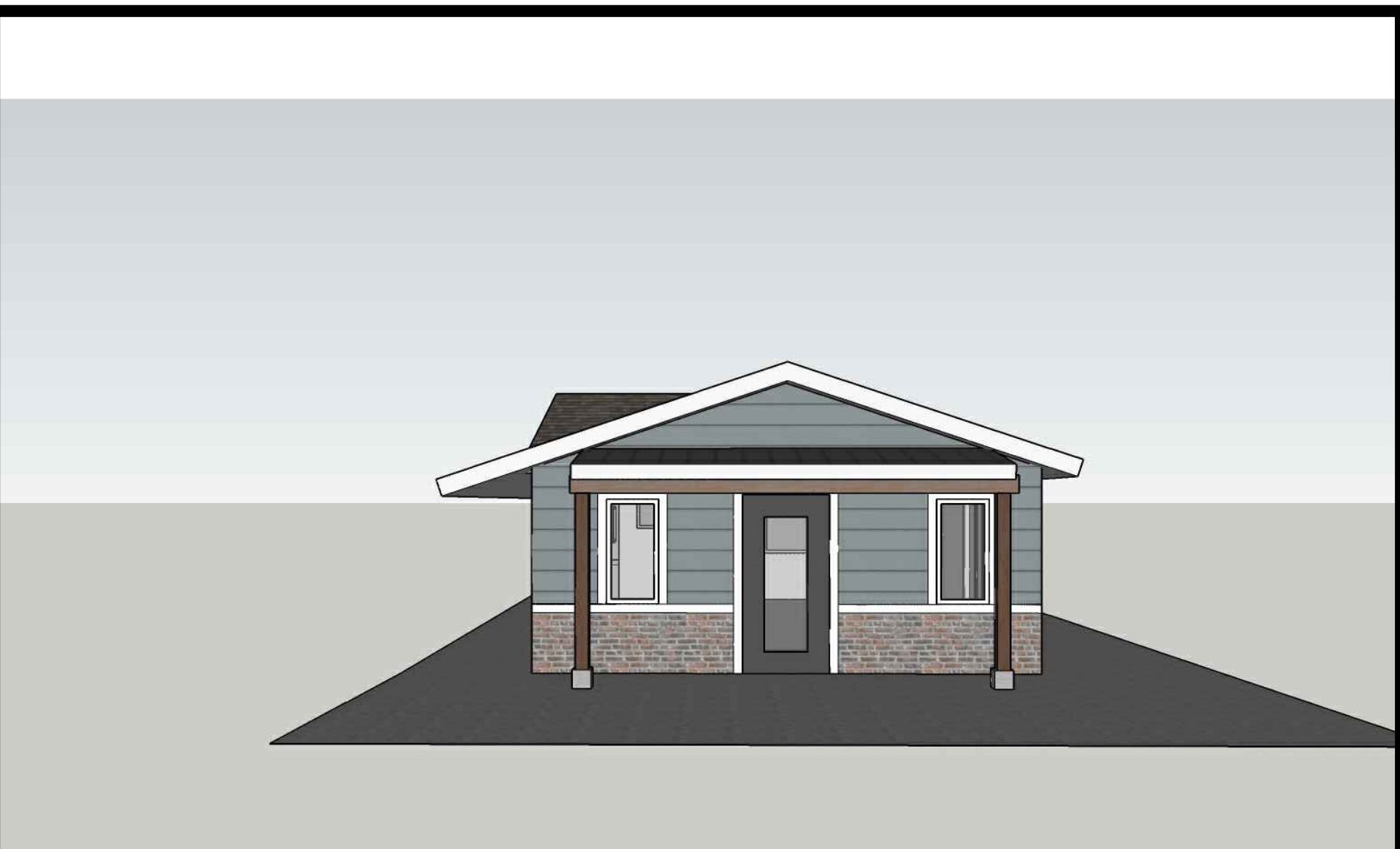
drawn by DESIGN PATH STUDIO

sheet no. **T1.1**

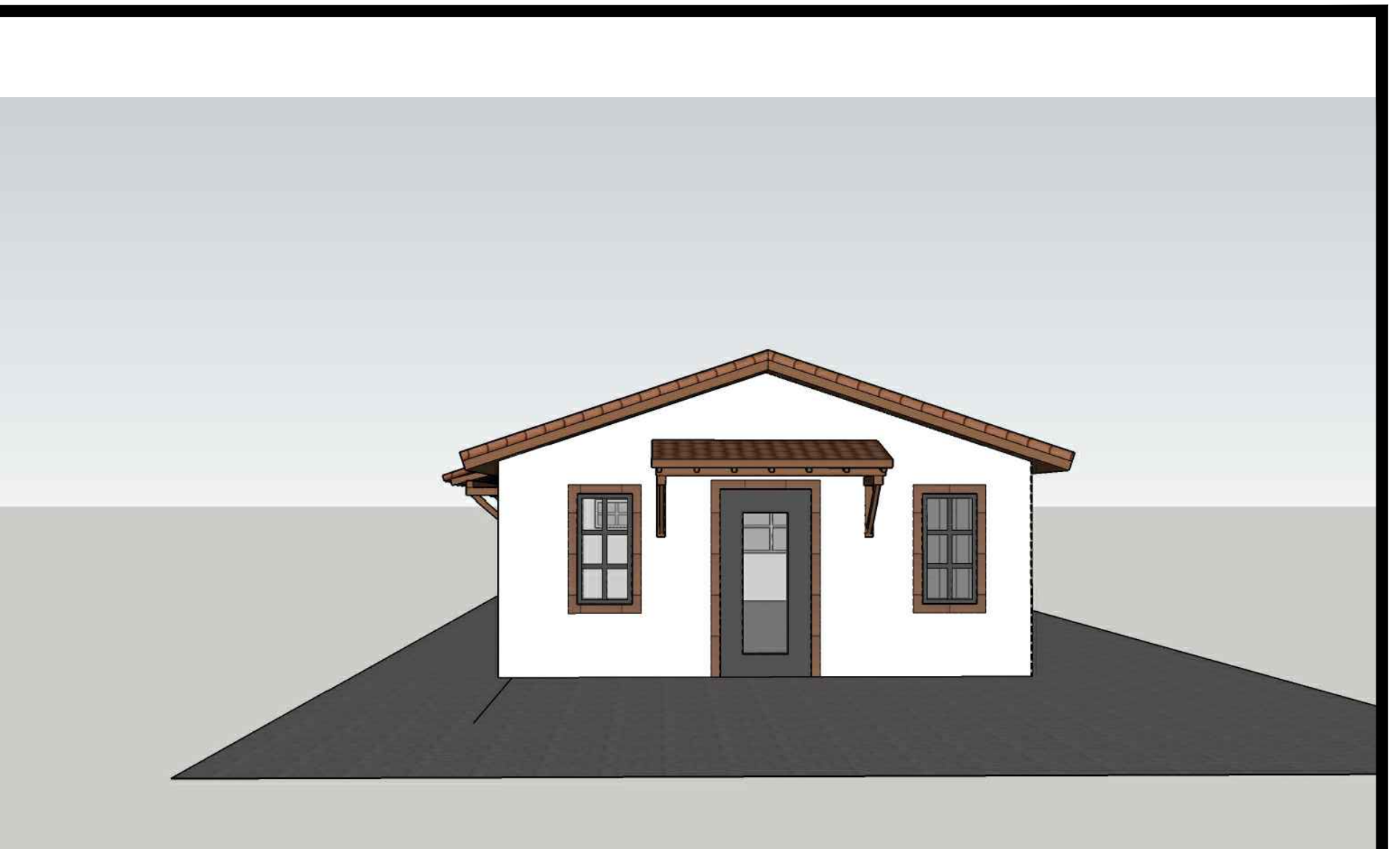
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1 Bedroom - Craftsman view #1



1 Bedroom - Ranch view #1



1 Bedroom - Spanish view #1



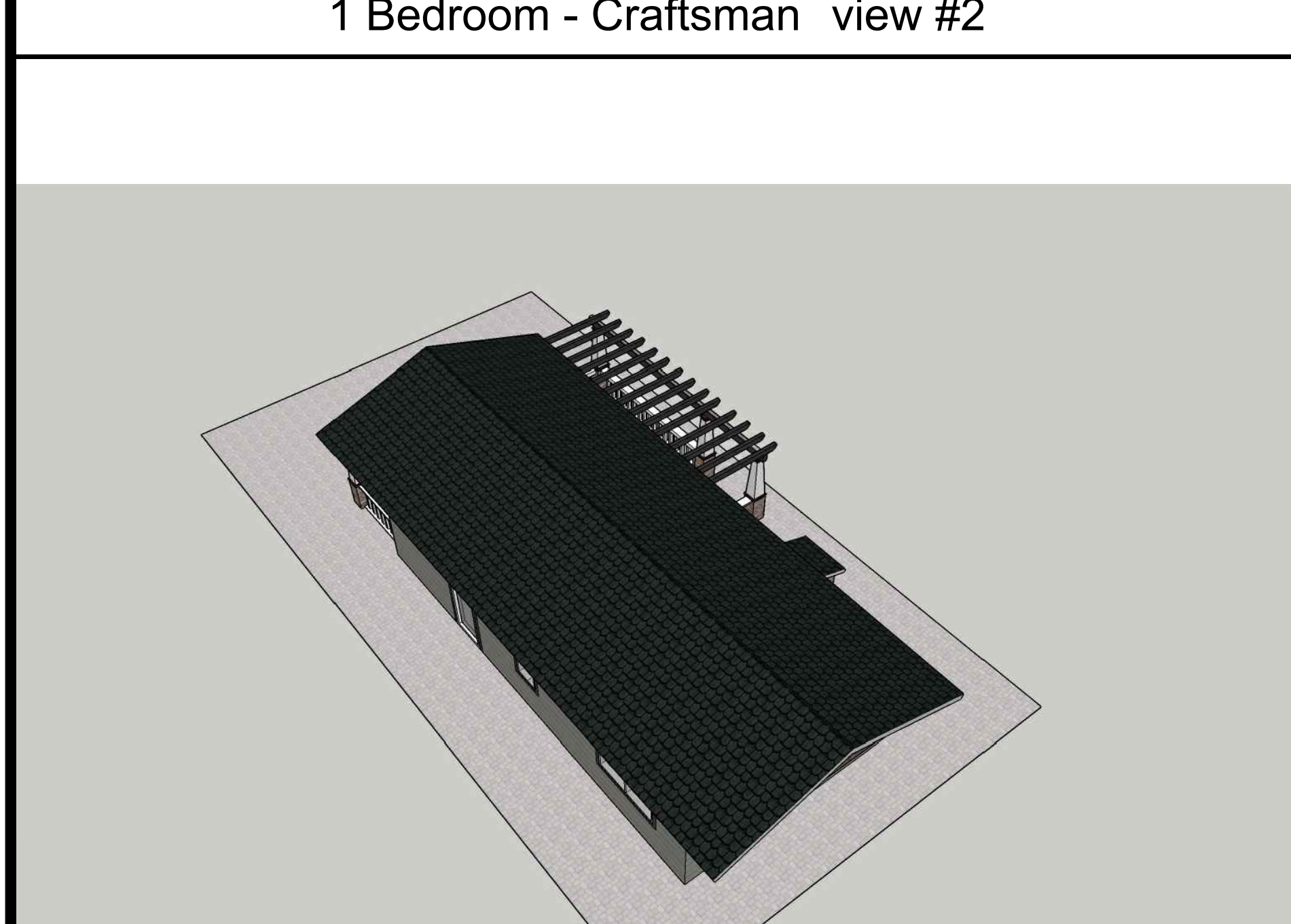
1 Bedroom - Craftsman view #2



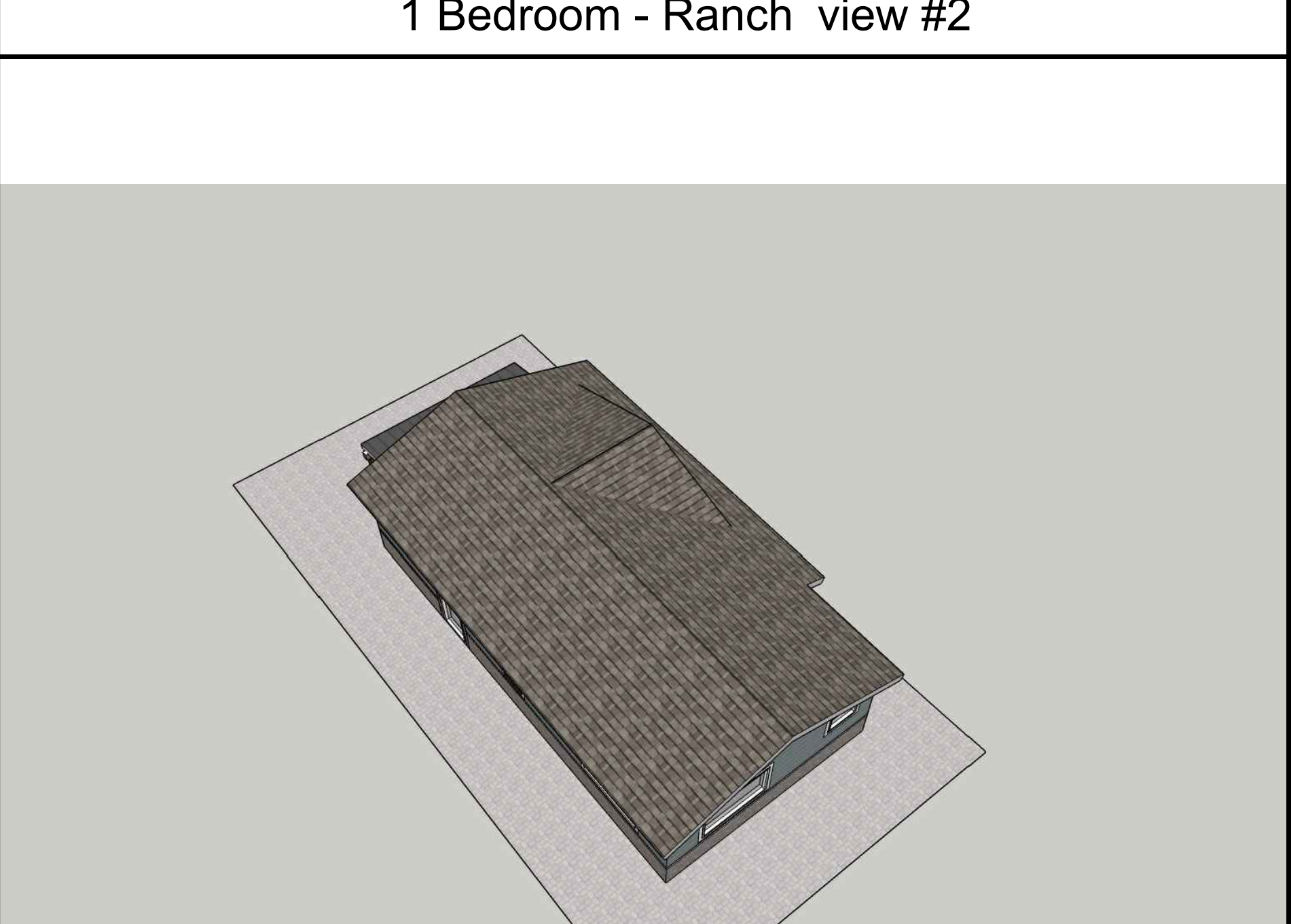
1 Bedroom - Ranch view #2



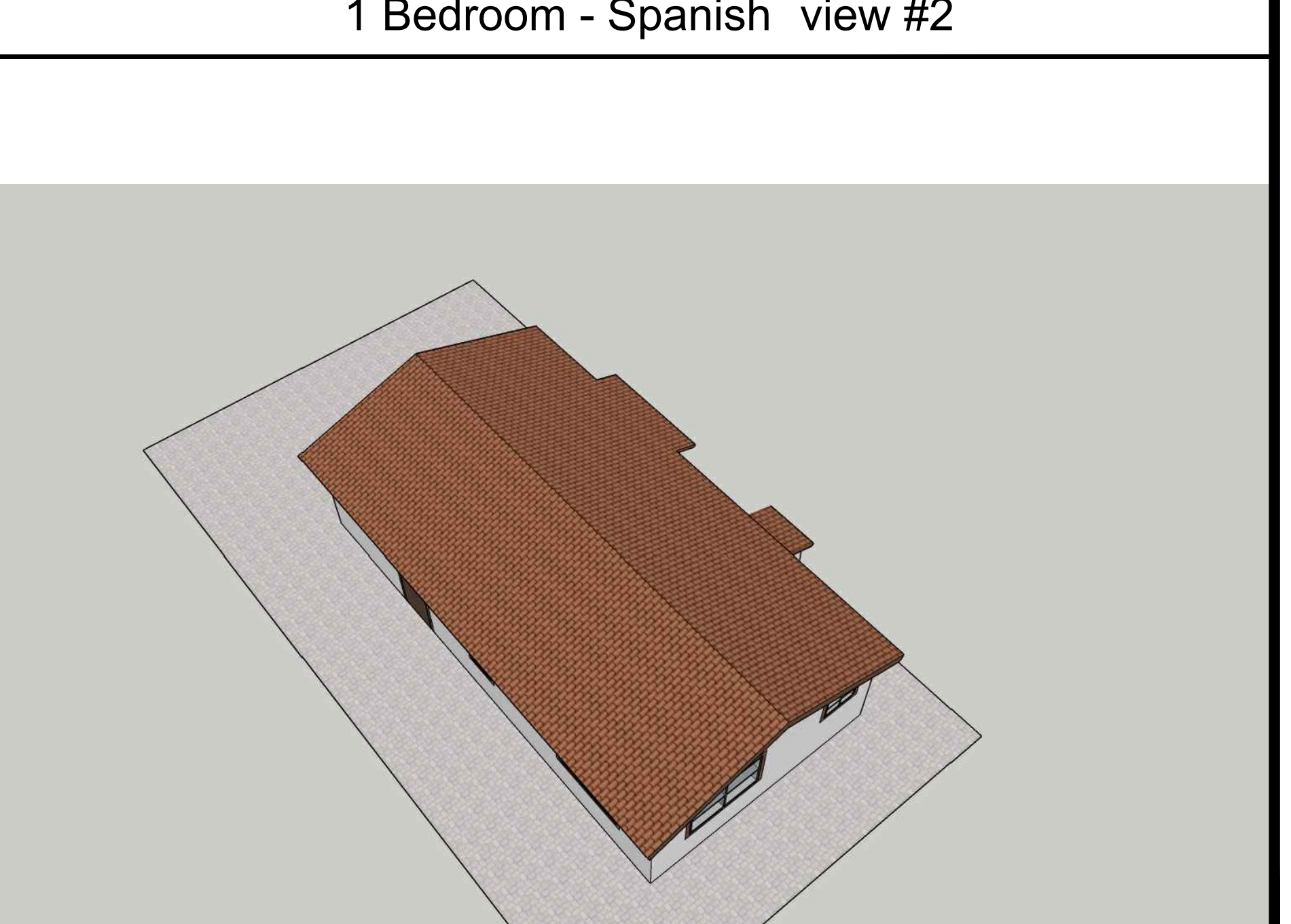
1 Bedroom - Spanish view #2



1 Bedroom - Craftsman view #3



1 Bedroom - Ranch view #3



1 Bedroom - Spanish view #3

project  
 City of Riverside  
 Pre-Approved  
 ADU Program

- revisions
- △
  - △
  - △
  - △
  - △

description  
 Exterior  
 Style  
 Options

date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **T1.2**

**MANDATORY PRESCRIPTIVE NOISE INSULATION REQUIREMENTS CHECKLIST**

**Residential Building in the 60+ dB CNEL Noise Zone**

These are minimum requirements and DO NOT apply to specific areas adjacent to railroad tracks, freeways, airports, etc. Please note that code requirements change over time; always check the current codes or ask the plans examiner to verify requirements.

PRESCRIPTIVE REQUIREMENTS	INCORPORATED IN DESIGN? <i>*If No, provide Acoustical analysis report</i>
<b>EXTERIOR WALLS</b>	
Minimum 2x4" studs	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Exterior finish: 7/8" stucco, brick veneer, masonry. Wood/metal siding must be backed 1/2" solid sheathing.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Masonry walls (c40psf) must be supported by stud-wall w/ 5/8" gyp-board/plaster.	N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Wall Insulation: Minimum R-13 glass fiber/mineral wool installed throughout stud bay	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Exterior solid sheathing must be covered with overlapping asphalt felt.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Interior wall finish: 5/8" min. gyp-board/plaster.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>EXTERIOR WINDOWS</b>	
Operable windows: STC 40 dB min. and air infiltration rate of 0.5 cf/m max. in accordance w/ ASTM E-283.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fixed Windows must be: 1. STC 40 dB, or 2. 5/8-inch laminated glass STC 40 dB and set in non-hardening glazing material, or 3. Glass block at least 3-1/2 inches thick	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Max glazing in sleeping rooms: Total area of glazing shall not exceed 20% of floor or wall area	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>EXTERIOR DOORS</b>	
Interior hinged doors facing the source of the noise must be min. STC 40 dB.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Sliding glass doors not facing source of noise must be min STC 35 dB. Direct exposure not permitted.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Access doors from attached garage to residence interior: STC 30 dB min.	N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

ROOF/CEILING CONSTRUCTION	
Roof rafters: slope of 4:12 min. w/ 1/2" solid sheathing and roofing.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Attic Insulation (batt or blow-in glass fiber or mineral wool): R-30 min. between ceiling joists.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Attic ventilation: 1. Gable vents or vents that penetrate the roof w/ 6" min. transfer ducts that are insulating flexible ducting or metal ducts w/ 1" fiberglass sound absorbing duct liner must have a 90-degree bend w/ no direct line of sight from the exterior, or 2. Noise control louver vents, or 3. Eave vents located under the eave overhang	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Ceilings: 5/8" gypsum wallboard/plaster and mounted on resilient channel.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Skylights: Completely enclosed light well from the roof opening to the ceiling opening w/ min. 3/16" plastic or laminated glass secondary operable glazing panel: 1. Mounted at the ceiling line, and 2. 4" min. between panels. Size not to exceed 20% of roof area of room.	N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>VENTILATION</b>	
Ventilation system: Fresh air supply min. 2 air exchangers without opening to the exterior. All concealed ductwork must be insulated flexible glass fiber ducting (10' min) between any two points of connection.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Kitchen cockpit vent hoods: Non-ducted recirculating type with no ducted connection to the exterior.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>FIREPLACES</b>	
Each fireplace: Provide a damper at the top of the chimney and glass doors at firebox	N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>WALL AND CEILING OPENINGS</b>	
Openings in the shell (access panels, pet doors, mail delivery drops, air-conditioning) are prohibited unless designed to maintain the 45-dB CNEL (or less) standard.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>ADDITIONAL COMMENTS</b>	
Before the approval of a building permit, the applicant shall demonstrate compliance with the municipal code to reduce the interior noise level to 45 dBA or less by one of the following methods: Provision of an acoustical analysis report prepared by an acoustical engineer or firm and recommendations for noise attenuation measures to be applied.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Construction of exterior walls in compliance with City of Riverside Noise Insulation construction requirement per the requirements of this checklist.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

As the owner's project owner or authorized agent, I have read and understood the requirements listed above, and I certify that I will comply with these requirements.

Owner or Authorized Agent Printed Name \_\_\_\_\_ Owner or Authorized Agent Signature \_\_\_\_\_

**EXISTING SWIMMING POOL REQUIREMENTS**

WHEN A BUILDING PERMIT IS ISSUED FOR THE CONSTRUCTION OF A NEW SWIMMING POOL OR SPA OR THE REMODELING OF AN EXISTING SWIMMING POOL OR SPA AT A PRIVATE SINGLE-FAMILY HOME, THE RESPECTIVE SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH AT LEAST TWO OF THE FOLLOWING SEVEN DROWNING PREVENTION SAFETY FEATURES:  
 (1) AN ENCLOSURE THAT MEETS THE REQUIREMENTS OF SECTION 115923 AND ISOLATES THE SWIMMING POOL OR SPA FROM THE PRIVATE SINGLE-FAMILY HOME.  
 (2) REMOVABLE MESH FENCING THAT MEETS AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) SPECIFICATIONS F2286 STANDARDS IN CONJUNCTION WITH A GATE THAT IS SELF-CLOSING AND SELF-LATCHING AND CAN ACCOMMODATE A KEY LOCKABLE DEVICE.  
 (3) AN APPROVED SAFETY POOL COVER, AS DEFINED IN SUBDIVISION (D) OF SECTION 115921.  
 (4) EXIT ALARMS ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL OR SPA. THE EXIT ALARM MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING, SUCH AS A REPEATING NOTIFICATION THAT "THE DOOR TO THE POOL IS OPEN."  
 (5) A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS PROVIDING DIRECT ACCESS TO THE SWIMMING POOL OR SPA.  
 (6) AN ALARM THAT, WHEN PLACED IN A SWIMMING POOL OR SPA, WILL SOUND UPON DETECTION OF ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER. THE ALARM SHALL MEET AND BE INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208 "STANDARD SAFETY SPECIFICATION FOR RESIDENTIAL POOL ALARMS," WHICH INCLUDES SURFACE MOTION, PRESSURE, SONAR, LASER, AND INFRARED TYPE ALARMS. A SWIMMING PROTECTION ALARM FEATURE DESIGNED FOR INDIVIDUAL USE, INCLUDING AN ALARM ATTACHED TO A CHILD THAT SOUNDS WHEN THE CHILD EXCEEDS A CERTAIN DISTANCE OR BECOMES SUBMERGED IN WATER, IS NOT A QUALIFYING DROWNING PREVENTION SAFETY FEATURE.  
 (7) OTHER MEANS OF PROTECTION, IF THE DEGREE OF PROTECTION AFFORDED IS EQUAL TO OR GREATER THAN THAT AFFORDED BY ANY OF THE FEATURES SET FORTH ABOVE AND HAS BEEN INDEPENDENTLY VERIFIED BY AN APPROVED TESTING LABORATORY AS MEETING STANDARDS FOR THOSE FEATURES ESTABLISHED BY THE ASTM OR THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME).  
 (8) BEFORE THE ISSUANCE OF A FINAL APPROVAL FOR THE COMPLETION OF PERMITTED CONSTRUCTION OR REMODELING WORK, THE LOCAL BUILDING CODE OFFICIAL SHALL INSPECT THE DROWNING SAFETY PREVENTION FEATURES REQUIRED BY THIS SECTION AND, IF NO VIOLATIONS ARE FOUND, SHALL GIVE FINAL APPROVAL. EXCEPT AS PROVIDED IN SECTION 115925, WHEN A BUILDING PERMIT IS ISSUED FOR THE CONSTRUCTION OF A NEW SWIMMING POOL AND/OR SPA THE REMODELING OF AN EXISTING SWIMMING POOL AND/OR SPA AT A PRIVATE SINGLE-FAMILY HOME, THE RESPECTIVE SWIMMING POOL AND/OR SPA SHALL BE EQUIPPED WITH ITEM NO. 1 SUBSECTION 115922 (A) AND AT LEAST ONE ADDITION ITEM OF THE FOLLOWING SEVEN DROWNING PREVENTION FEATURES.

THE APPLICANT SHALL PROVIDE A DIMENSIONED AND SCALED SITE PLAN SHOWING PROPERTY LINES, YARDS, DIMENSIONED SETBACKS, EASEMENTS, UTILITIES, STREETS, EXISTING AND FROM EXISTING STRUCTURES, AND FUEL MODIFICATION ZONES IF APPLICABLE. SEE EXAMPLE SITE PLAN IN THIS SET FOR REFERENCE.

THE APPLICANT SHALL IMPLEMENT SITE DESIGN STORMWATER BEST MANAGEMENT PRACTICES (BMP) AND LOW IMPACT DEVELOPMENT (LID) CONCEPTS SUCH AS IMPERVIOUS AREA DISPERSION, DRAINAGE TO NATURAL VEGETATION, REDUCTION IN IMPERVIOUS SURFACES, BREAKING UP HARDSCAPE AREA, ETC. APPLICANT IS REQUIRED TO INCORPORATE THESE CONCEPTS WITH NEW CONSTRUCTION

ALL SEPTIC SYSTEMS SHALL COMPLY WITH THE RIVERSIDE EHS LAMP STANDARDS

**FIRE NOTES**

- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF .5 INCHES. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SECTION 505.1
- ALL FIRE APPARATUS ROADS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NO LESS THAN 13 FEET 6 INCHES.
- SITE PLAN SHALL PROVIDE DIMENSIONS SHOWING REQUIRED FIRE APPARATUS ACCESS ROADS. FIRE ACCESS ROADWAYS SHALL HAVE AN UNOBSTRUCTED IMPROVED WIDTH OF NOT LESS THAN 20 FEET.  
 FIRE ACCESS ROADWAYS  
 SURFACE FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS NOT LESS THAN 80,000 LBS AND SHALL BE PROVIDED WITH AN APPROVED PACED SURFACE TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.  
 GATED ENTRANCES WITH CARD READERS, GUARD STATIONS OR CENTER MEDIANS, WHICH WILL HAVE SEPARATED LANES OF ONE-WAY TRAFFIC, SHALL BE NOT LESS THAN 12 FEET WIDE PER LANE.

- EXISTING LEGAL LOTS THAT HAVE EASEMENTS ACCESS ROADWAYS LESS THAN 20 FEET WIDE THAT PROVIDE PRIMARY ACCESS TO OTHER LOTS SHALL RECORD A COVENANT GRANTING EASEMENT RIGHTS FOR EMERGENCY VEHICLE INGRESS AND EGRESS PURPOSES AND SHALL RELINQUISH RIGHTS TO BUILD ANY BUILDING, WALL, FENCE, OR OTHER STRUCTURE WITHIN 5 FEET OF THE EXISTING ACCESS EASEMENT.
- ALL DEAD END FIRE APPARATUS ACCESS ROADWAY IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AND APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. ACCESS ROADS SERVING MORE THAN (4) FOUR DWELLING UNITS SHALL BE PROVIDED WITH A CUL-DE-SAC. THE MINIMUM UNOBSTRUCTED PAVED RADIUS WIDTH FOR A CUL-DE-SAC SHALL BE 36 FEET CURB LINE TO CURB LINE WITH NO PARKING. ALTERNATE TYPES OF TURN-AROUND (HAMMERHEADS, ETC.) MAY BE CONSIDERED BY THE FIRE MARSHAL AS NEEDED TO ACCOMPLISH THE INTENT OF THE FIRE CODE.

SECURITY GATES: AN AUTOMATIC GATE ACROSS A FIRE ACCESS ROADWAY OR DRIVEWAY SHALL BE EQUIPPED WITH AN APPROVED EMERGENCY KEY-OPERATED SWITCH OVERRIDING ALL COMMAND FUNCTIONS AND OPENING THE GATE. WHERE THIS SECTION REQUIRES AN APPROVED KEY-OPERATED SWITCH AN INFRARED AUTOMATIC GATE SYSTEM IS REQUIRED WITH THE KNOX KEY SWITCH. CITY OF RIVERSIDE ONLY REQUIRES ONE KEY SWITCH AS FIRE AND PD HAVE THE SAME KEYS.

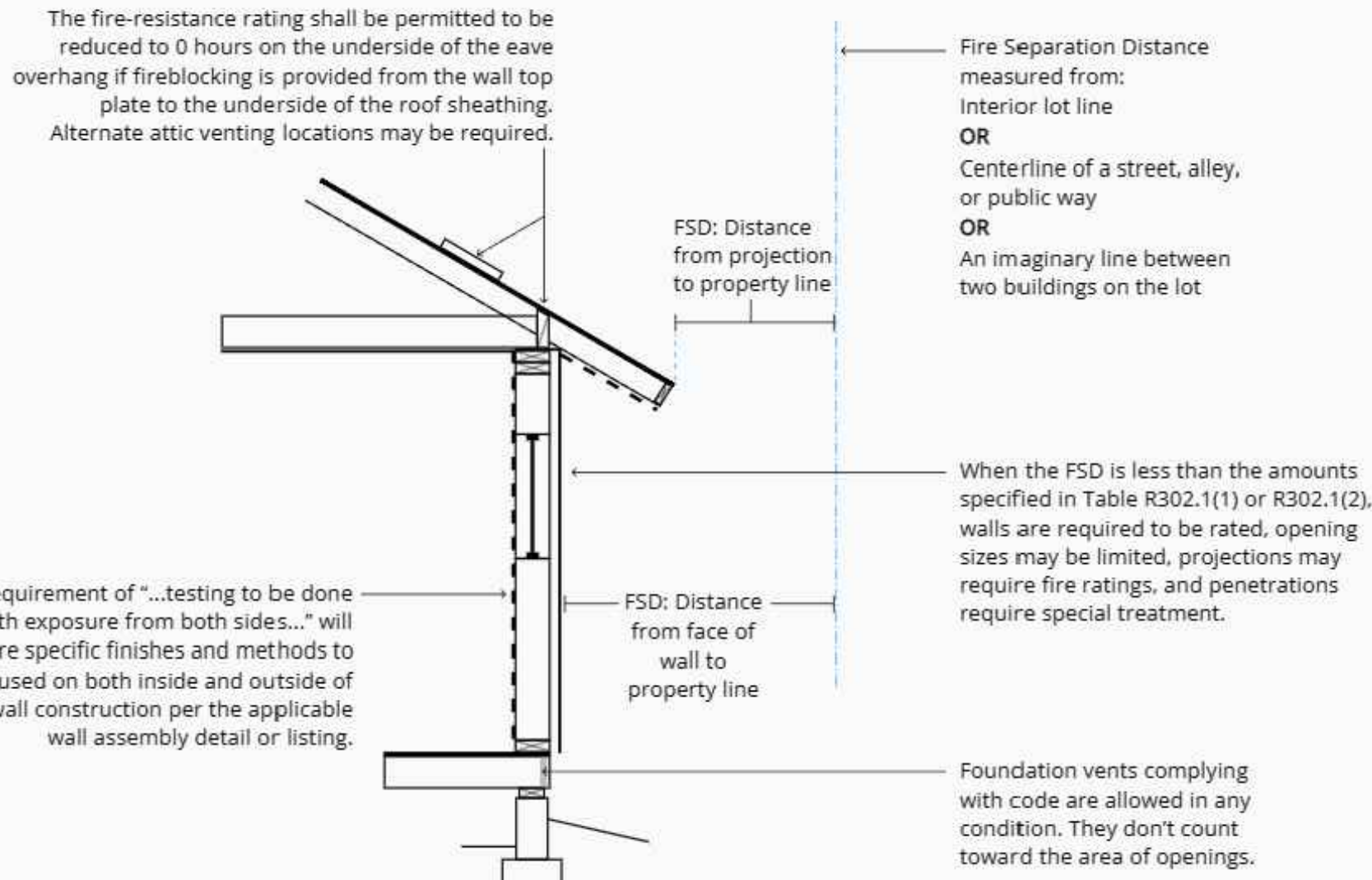
**GENERAL NOTES**

- SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS AND NOTES NOT SHOWN.
- SEE BUILDING PLANS AND SCHEDULES FOR ALL EXTERIOR DOOR AND WINDOW REFERENCES AND LOCATIONS.
- YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS). THE PLANS MUST BE DESIGNED WITH THE WALL FINISH THICKNESS (I.E. 7/8" STUCCO, ETC.) ADDED TO THE PLAN FOR THE SETBACK MEASUREMENT. THE FIELD INSPECTOR WILL ADD THE PLANNED WALL FINISH THICKNESS TO THE FOUNDATION SETBACK.
- NEW ELECTRIC SERVICE IS TO BE LOCATED - POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS
- LANDSCAPE AND IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS
- ADU WILL BE CONNECTED TO THE PUBLIC SEWER SYSTEM OR WILL PROVIDE A COMPLYING SEPTIC SYSTEM.
- CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND SHORING AND UNDERPINNING.
- A DIMENSIONED SITE PLAN DRAWN TO SCALE SHALL BE PROVIDED SHOWING THE FOLLOWING: NORTH ARROW, PROPERTY LINES, EASEMENTS, STREETS, EXISTING AND PROPOSED BUILDINGS, AND STRUCTURES, LOCATION OF YARDS USED FOR ALLOWABLE INCREASE OF BUILDING AREA, DIMENSIONED SETBACKS, MINIMUM SEPARATION FROM EXISTING STRUCTURES AND FUEL MODIFICATION ZONES PER UNIFORM ADMINISTRATIVE CODE SECTION 302.
- IF A GRADING PLAN IS REQUIRED, INCORPORATE THE ENTIRE APPROVED GRADING PLAN/IMPROVEMENT PLAN (ALL SHEETS) WITH THE BUILDING PLANS.
- PROJECTIONS, INCLUDING EAVES, MUST BE AT LEAST 24" FROM PROPERTY LINES.

**DIVISION 2 - SITEWORK**

- SITE PREPARATION  
PROJECT IS TO BE STAKED OUT FOR OWNER APPROVAL BEFORE FOR EARTHWORKS TO BEGIN.
- SITE CLEARING  
CONTRACTOR WILL VERIFY WITH OWNER ALL PLANTING TO BE REMOVED PRIOR TO STARTING WORK.
- LINES AND LEVELS  
THE CONTRACTOR WILL VISIT THE SITE AND EVALUATE GRADE CONDITION. FOR BIDDING PURPOSES, THE CONTRACTOR WILL CALCULATE HIS OWN CUT AND FILL QUANTITIES BASED ON THE SITE PLAN.
- SHORING IS TO BE PROVIDE AS REQUIRED
- EARTH WORK  
a. ALL GRADING SHOULD BE PERFORMED IN ACCORDANCE WITH THE CITY OF CITY OF RIVERSIDE GRADING ORDINANCE  
b. THE CONTRACTOR IS TO VERIFY THE LOCATION OF UTILITY SERVICE IN THE AREA PRIOR TO EXCAVATION.  
c. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET. WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. [CRC R401.3]

**WALL AND PROJECTION SEPARATION REQUIREMENTS TO PROPERTY LINES AND ADJACENT BUILDINGS**



PLEASE NOTE: NOT ALL ELEVATIONS IN THESE PERMIT READY ADU PLANS COMPLY WITH 25% MAX OPENINGS RULE FOR NON-SPRINKLERED BUILDING AND THEREFORE A MINIMUM SEPARATION OF 5' TO THE PROPERTY LINE WOULD BE REQUIRED AND MINIMUM 10' TO ADJACENT BUILDINGS (FOR NON-SPRINKLERED BUILDINGS).

WALLS OF UNSPRINKLERED BUILDINGS BETWEEN 5 AND 3 FEET TO PROPERTY LINES SHALL BE ONE-HOUR RATED CONSTRUCTION AND HAVE A MAXIMUM OF 25% OF UNPROTECTED/PROTECTED OPENINGS. [CRC TABLE R302.1(1)]

WALLS OF UNSPRINKLERED BUILDINGS CLOSER THAN 3 FEET TO PROPERTY LINES SHALL BE ONE-HOUR RATED CONSTRUCTION AND HAVE NO OPENINGS. [CRC TABLE R302.1(1)]

PROJECTIONS, INCLUDING EAVES, SHALL BE ONE-HOUR FIRE-RESISTIVE CONSTRUCTION, HEAVY TIMBER OR OF FRT WOOD IF THEY PROJECT INTO THE 3/5 FOOT (SPRINKLERED /UNSPRINKLERED) SETBACK AREA FROM THE PROPERTY LINE. THEY MAY PROJECT A MAXIMUM OF 12 INCHES BEYOND THE 3 FOOT SETBACK. [CRC TABLES R302.1(1) AND R302.1(2), WITH EXCEPTIONS]

TABLE R302.1(1) EXTERIOR WALLS		
EXTERIOR WALL ELEMENT	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E119, UL 263 or Section 703.3 of the California Building Code with exposure from both sides
	Not fire-resistance rated	0 hours
Projections	Not allowed	NA
	Fire-resistance rated	1 hour on the underside, or heavy timber, or fire-retardant-treated wood <sup>a, b</sup>
	Not fire-resistance rated	0 hours
Openings in walls	Not allowed	NA
	25% maximum of wall area	0 hours
	Unlimited	0 hours
Penetrations	All	Comply with Section R302.4
		None required

**TABLE R302.1(2)  
EXTERIOR WALLS—DWELLINGS AND ACCESSORY BUILDINGS WITH AUTOMATIC RESIDENTIAL FIRE SPRINKLER PROTECTION**

EXTERIOR WALL ELEMENT	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E119, UL 263 or Section 703.2.2 of the California Building Code with exposure from the outside
	Not fire-resistance rated	0 hours
Projections	Not allowed	NA
	Fire-resistance rated	1 hour on the underside, or heavy timber, or fire-retardant-treated wood <sup>a, c</sup>
	Not fire-resistance rated	0 hours
Openings in walls	Not allowed	NA
	Unlimited	0 hours
Penetrations	All	Comply with Section R302.4
		None required

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACCEPTS, AGREES AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:  
 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF RIVERSIDE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF RIVERSIDE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.  
 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.  
 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.  
 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.



project

City of Riverside  
Pre-Approved  
ADU Program

revisions

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- △

description

Site  
Information

date October 2023

project no. Riverside ADU

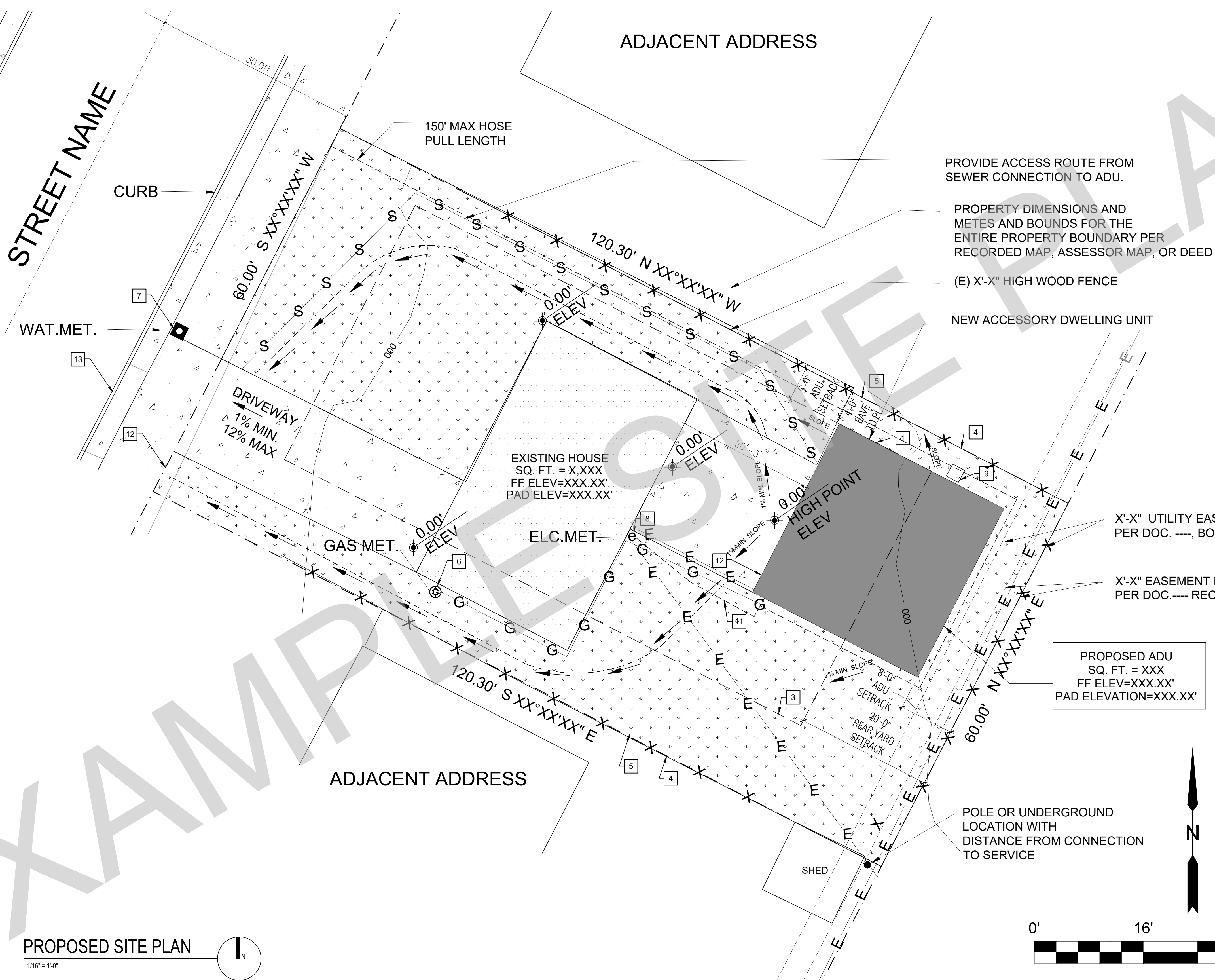
drawn by DESIGN PATH STUDIO

sheet no.

**AS.1**

**SITE INFORMATION CHECKLIST:**

- TO BE INCLUDED ON SITE PLAN**
- ALL EXTERIOR SITE BOUNDARIES CORRECTLY SCALED AND DIMENSIONED
- NORTH ARROW
- SCALE OF PLANS, GRAPHIC AND WRITTEN
- LEGEND OF SYMBOLS, LINES, ABBREVIATIONS, ETC. USED ON PLANS
- SITE CONTOURS, GRADE ELEVATIONS, AND OTHER TOPOGRAPHIC FEATURES
- LOCATION AND DIMENSION OF ALL DRIVEWAY, ACCESS ROADS, AND CURB CUTS
- SHOW FIRE ACCESS ROADS / DRIVEWAY - MAX FIRE HOSE PULL OF 150 FT LENGTH
- LOCATION AND DIMENSIONS OF ALL EASEMENTS (ELECTRIC, WATER, SEWER, ETC)
- REQUIRED AND PROPOSED BUILDING SETBACKS
- LOCATION OF EXISTING AND PROPOSED BUILDINGS AND STRUCTURES
- DISTANCE OF ALL STRUCTURES FROM EACH OTHER AND FROM PROPERTY LINES
- LOCATION AND HEIGHT OF ALL FENCES AND RETAINING WALLS
- LOCATION AND SIZE OF OFF-STREET PARKING
- LOCATION OF EXISTING AND PROPOSED VEGETATION
- LOCATION OF EXISTING AND PROPOSED UTILITIES TO NEW ADU
- LOCATION OF EXISTING AND NEW UTILITIES (SEWER LATERAL CLEANOUTS, GAS LINES, ELECTRICAL OVERHEAD, OR UNDERGROUND CONDUCTORS). SEE SHEET T1.1 FOR ADDITIONAL INFORMATION FOR UTILITY SERVICE REQUIREMENTS
- NEW SEWER LATERAL SERVING THE NEW ADU IS TO COMPLY WITH CPC 311.1
- ADU SEWER LINE CANNOT BE CONNECTED DIRECTLY TO THE EXISTING MAIN DWELLING UNIT IF THERE ARE 35 OR MORE EXISTING FIXTURE UNITS PER TABLE 702.1, OR FIVE OR MORE TOILETS AND A 3 INCH SEWER DRAIN ALREADY EXISTS IN THE MAIN DWELLING UNIT PER CURRENT CPC TABLE 703.2
- LOCATION OF EXISTING AND NEW METER LOCATIONS (GAS ELECTRICAL, WATER.) WHERE EXISTING ELECTRICAL SERVICE IS TO REMAIN, IDENTIFY THE FOLLOWING:  
1. EXISTING MAIN SERVICE PANEL LOCATION AND SIZE.  
2. NEW ADU SUBPANEL LOCATION AND SIZE.  
WHERE EXISTING ELECTRICAL SERVICE IS UPGRADED OR RELOCATED, INDICATE THE FOLLOWING:  
1. NEW ADU SUBPANEL LOCATION AND SIZE ONLY.
- SITE PLAN SIGNED BY PREPARER.
- LOCATION OF SEPTIC SYSTEM AND LEACH LINES (IF APPLICABLE) EXISTING AND/OR PROPOSED
- SOILS: IDENTIFY IF LAND IS SUBJECT TO LIQUEFACTION / GEO HAZARD OR SPECIAL STUDY ZONE PER INFORMATION FILLED OUT BY CITY STAFF ON SHEET T1.1
- FLOOD: IDENTIFY IF LAND IS SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD PER INFORMATION FILLED OUT BY CITY STAFF ON SHEET T1.1
- FLOOD ZONE
- FIRE: IDENTIFY IF LAND IS WITHIN FIRE HAZARD SENSITIVITY ZONE PER INFORMATION FILLED OUT BY CITY STAFF ON SHEET T1.1
- TOPOGRAPHY / SLOPE OF LAND AROUND ADU DESIGNED TO DRAIN AWAY FROM ADU AND MAIN DWELLING UNIT
- CLEANOUTS SHALL BE PLACED INSIDE THE BUILDING NEAR THE CONNECTION BETWEEN THE BUILDING DRAIN AND THE BUILDING SEWER OR INSTALLED OUTSIDE THE BUILDING AT THE LOWER END OF THE BUILDING DRAIN AND EXTENDED TO GRADE. ADDITIONAL BUILDING SEWER CLEANOUTS SHALL BE INSTALLED AT INTERVALS NOT TO EXCEED 100 FEET IN STRAIGHT RUNS AND FOR EACH AGGREGATE HORIZONTAL CHANGE IN DIRECTION EXCEEDING 135 DEGREES. (CPC 719.1)
- ADU MUST BE A MINIMUM 4 FEET FROM ADJACENT STRUCTURES.
- IDENTIFY THE FINISHED FLOOR ELEVATION OF THE ACCESSORY DWELLING UNIT (ADU), IF THE MANHOLE RM ELEVATION UPSTREAM FROM THE SEWER LATERAL CONNECTION IS HIGHER THAN THE PROPOSED ADU, A BACKWATER VALVE SHALL BE INSTALLED ON THE BUILDING SEWER LATERAL. (CPC 710.1)
- DRAINAGE PIPING SERVING FIXTURES THAT ARE LOCATED BELOW THE CROWN LEVEL OF THE MAIN SEWER SHALL DISCHARGE INTO AN APPROVED WATERTIGHT SUMP OR RECEIVING TANK, SO LOCATED AS TO RECEIVE THE SEWAGE OR WASTES BY GRAVITY. FROM SUCH SUMP OR RECEIVING TANK, THE SEWAGE OR OTHER LIQUID WASTES SHALL BE LIFTED AND DISCHARGED INTO THE BUILDING DRAIN OR BUILDING SEWER BY APPROVED EJECTORS, PUMPS, OR OTHER EQUALLY EFFICIENT APPROVED MECHANICAL DEVICES. (CPC 710.2)
- INDICATE DESIGN FLOOD ELEVATION, AND FINISH FLOOR ELEVATION.
- INDICATE DISTANCE OF STRUCTURE TO ADJACENT SLOPES, THE PLACEMENT OF BUILDINGS AND STRUCTURES ON OR ADJACENT TO SLOPES STEEPER THAN 1 UNIT VERTICAL IN 3 UNITS HORIZONTAL (33.3% SLOPE) SHALL COMPLY WITH SECTIONS 1808.7.1 THROUGH 1808.7.5. (CBC 1808.7)



**PROPOSED SITE PLAN**  
1/16" = 1'-0"

PROVIDE ACCESS ROUTE FROM SEWER CONNECTION TO ADU.

PROPERTY DIMENSIONS AND METES AND BOUNDS FOR THE ENTIRE PROPERTY BOUNDARY PER RECORDED MAP, ASSESSOR MAP, OR DEED

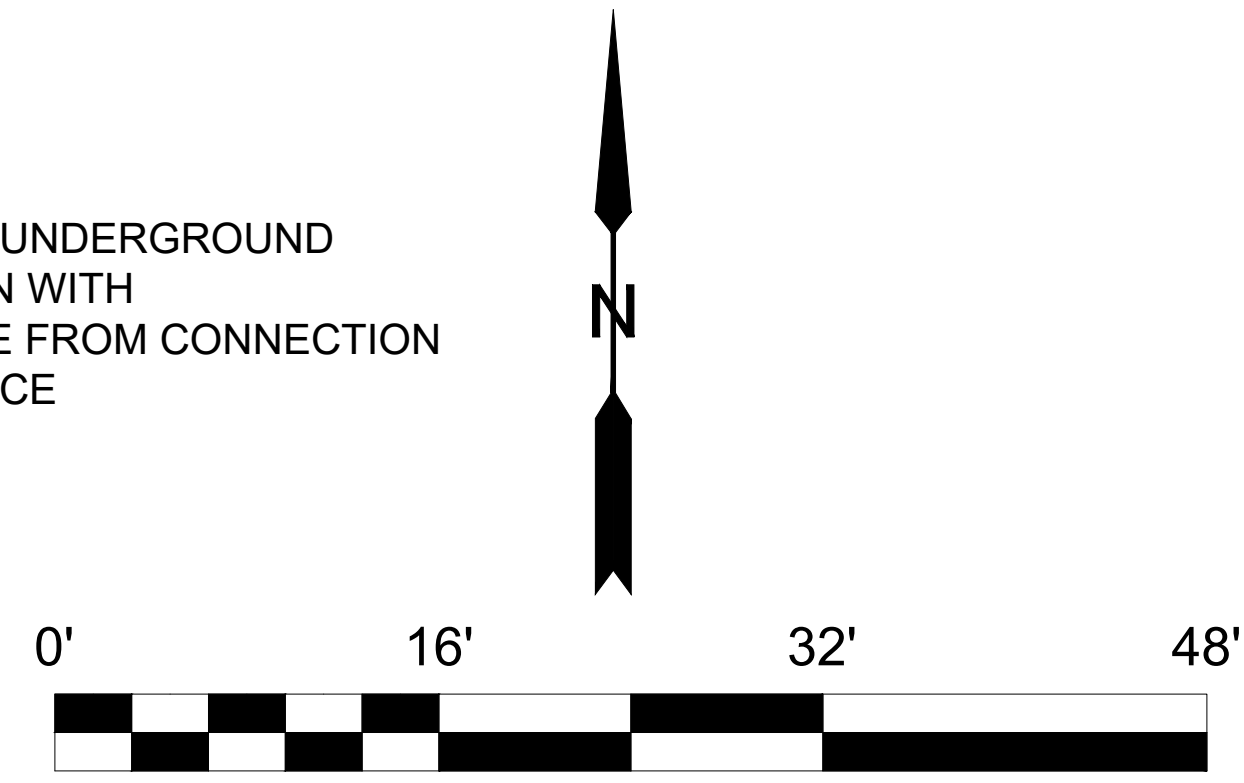
(E) X'-X" HIGH WOOD FENCE

NEW ACCESSORY DWELLING UNIT

X'-X" UTILITY EASEMENT PER DOC. ---, BOOK ---, PAGE ---, X/XX/XX.

X'-X" EASEMENT FOR TELEPHONE PER DOC. --- REC. XX/XX/XX.

PROPOSED ADU  
SQ. FT. = XXX  
FF ELEV=XXX.XX'  
PAD ELEVATION=XXX.XX'



BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:  
1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF RIVERSIDE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF RIVERSIDE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.  
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THEREFROM IN ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.  
3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.  
4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

KEYNOTES	GENERAL NOTES	LEGEND	CERTIFICATE OF ACCURACY	UTILITIES PROVIDERS:	GRADING INFORMATION:
<ol style="list-style-type: none"> <li>1 LINE OF EXTERIOR WALL, TYP.</li> <li>2 LINE OF ROOF OVERHANG / DECK / AWNING / STRUCTURE ABOVE</li> <li>3 REQUIRED SETBACKS</li> <li>4 PROPERTY LINE, TYP.</li> <li>5 FENCE- HEIGHT PER PLAN</li> <li>6 EXISTING GAS METER</li> <li>7 EXISTING WATER METER</li> <li>8 MAIN PANELBOARD LOCATION SHALL HAVE A MINIMUM BUSBAR RATING OF 225 AMPS</li> <li>9 CONDENSING UNIT</li> <li>10 SURFACE WATER IS TO DRAIN AWAY FROM BUILDING. GRADE SHALL FALL A MIN. OF 6" WITHIN THE FIRST 10 FEET</li> <li>11 FEEDER TO EXTEND TO EXISTING PANEL</li> <li>12 NEW ADU SUB PANEL / DISCONNECT / JUNCTION BOX AND GROUNDING ELECTRODE SYSTEM PER NEC ARTICLE 250.32</li> </ol>	<ol style="list-style-type: none"> <li>1. SPOT DIMENSIONS INDICATE ESTIMATED GRADE HEIGHTS. VERIFY IN FIELD PRIOR TO CONSTRUCTION.</li> <li>2. SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS AND NOTES NOT SHOWN.</li> <li>3. SEE BUILDING PLANS AND SCHEDULES FOR ALL EXTERIOR DOOR AND WINDOW REFERENCES AND LOCATIONS.</li> <li>4. YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS).</li> <li>5. SEWER DRAIN CLEANOUTS REQUIRED AT 100 FOOT INTERVALS AND CHANGES IN DIRECTION OF 135 DEGREES OR MORE.</li> <li>6. LOAD-BEARING CAPACITY OF 1,500 PSF IS ASSIGNED FOR FOUNDATION WHERE THE FOUNDATION IS EMBEDDED IN NON-EXPANSIVE NATURAL GROUND, WHERE EXPANSIVE SOILS ARE FOUND IN THE BUILDING AREA, A GEOTECHNICAL REPORT PREPARED BY A CALIFORNIA REGISTERED DESIGN PROFESSIONAL MAY BE REQUIRED.</li> </ol>	<p>0.00'</p> <p>SPOT GRADE ELEVATION</p> <p>AREA OF NEW BUILDING FOOTPRINT</p> <p>AREA OF EXISTING BUILDING FOOTPRINT</p> <p>CONCRETE PAVING</p> <p>LANDSCAPE</p> <p>KEYNOTE</p> <p>PROPERTY LINE</p> <p>REQUIRED SETBACKS</p> <p>DRAINAGE PATTERN</p> <p>SITE CONTOURS</p> <p>NEW SEWER LINE</p> <p>NEW DOMESTIC WATER LINE</p> <p>NEW ELECTRICAL &amp; TEL DATA LINE</p> <p>NEW GAS LINE</p> <p>NEW OR EXISTING FENCE TO COMPLY WITH ZONING CODE SECTION 37-50.090</p>	<p>I CERTIFY ALL DOCUMENTS AND PLANS CLEARLY AND ACCURATELY SHOW ALL EXISTING AND ALL PROPOSED BUILDINGS, STRUCTURES, ACCESS ROADS, AND UTILITIES/UTILITY EASEMENTS. ALL PROPOSED LAND USE ACTIVITIES, IMPROVEMENTS TO LAND, AND/OR BUILDING MODIFICATIONS OR ADDITIONS ARE CLEARLY LABELED ON THE SITE PLAN OF THE APPROVED PLAN SET. I UNDERSTAND THAT ANY POTENTIALLY EXISTING DETAIL WITHIN THESE PLANS INCONSISTENT WITH THE SITE PLAN ARE NOT APPROVED AND MAY BE REQUIRED TO BE ALTERED OR REMOVED. THE SUBMITTED DOCUMENTS AND PLANS SHOW THE CORRECT DIMENSIONS OF THE PROPERTY, THE BUILDINGS, AND STRUCTURES AND THEIR SETBACKS FROM PROPERTY LINES AND FROM ONE ANOTHER, ACCESS ROADS/EASEMENTS, AND UTILITIES. THE EXISTING AND PROPOSED USE OF LAND AND OF EACH BUILDING AS STATED IS TRUE AND CORRECT. FURTHER, ALL IMPROVEMENTS EXISTING ON THE PROPERTY WERE COMPLETED IN ACCORDANCE WITH ALL REGULATIONS IN EXISTENCE AT THE TIME OF THEIR CONSTRUCTION, UNLESS OTHERWISE NOTED. ALL EASEMENTS AND OTHER ENCUMBRANCES TO DEVELOPMENT HAVE BEEN ACCURATELY SHOWN AND LABELED AS WELL AS ALL ON-SITE GRADING/SITE PREPARATION.</p> <p>THE UNDERSIGNED UNDERSTANDS WHERE EXPANSIVE SOILS ARE FOUND IN THE BUILDING AREA, A GEOTECHNICAL REPORT PREPARED BY A CALIFORNIA REGISTERED DESIGN PROFESSIONAL MAY BE REQUIRED.</p> <p>APPLICANT (SIGNATURE): _____ DATE: _____</p> <p>SITE PLAN PREPARED BY (SIGNATURE) _____ DATE: _____</p>	<p>- GAS:</p> <p>- ELECTRIC:</p> <p>- WATER:</p> <p><b>SCHOOL DISTRICTS:</b></p> <p>HIGH SCHOOL -</p> <p>ELEMENTARY SCHOOL -</p>	<p>TOTAL CUBIC YARD OF EARTHWORK = _____</p> <p>TOTAL FILL MATERIAL PLACED ON AN EXISTING SLOPE STEEPER THAN FIVE UNITS HORIZONTAL TO ONE VERTICAL = _____</p> <p>TOTAL CUT OR FILL MATERIAL EXCEEDING FOUR FEET IN VERTICAL DEPTH, MEASURED FROM THE EXISTING GROUND SURFACE = _____</p> <p><b>FIRE RATING NOTE:</b></p> <p>WALLS OF UNSPRINKLERED BUILDINGS BETWEEN 5 AND 3 FEET TO PROPERTY LINES SHALL BE ONE-HOUR RATED CONSTRUCTION AND HAVE A MAXIMUM OF 25% OF UNSPRINKLERED/PROTECTED OPENINGS. [CPC TABLE R302.1(1)]</p> <p>WALLS OF UNSPRINKLERED BUILDINGS CLOSER THAN 3 FEET TO PROPERTY LINES SHALL BE ONE-HOUR RATED CONSTRUCTION AND HAVE NO OPENING. [CPC TABLE R302.1(1)]</p> <p>PROJECTIONS, INCLUDING EAVES, SHALL BE ONE-HOUR FIRE-RESISTIVE CONSTRUCTION, HEAVY TIMBER OR OF FRT WOOD IF THEY PROJECT INTO THE 36 FOOT (SPRINKLERED (UNSPRINKLERED) SETBACK AREA FROM THE PROPERTY LINE. THEY MAY PROJECT A MAXIMUM OF 12 INCHES BEYOND THE 3 FOOT SETBACK. [CPC TABLES R302.1(1) AND R302.1(2), WITH EXCEPTIONS]</p>

project  
City of Riverside  
Pre-Approved  
ADU Program

revisions

description  
**Example  
Site Plan**

date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **AS.2**





VERY HIGH FIRE SEVERITY ZONE (VHFSZ) NOTES

GENERAL NOTE:  
THE ADU SHALL COMPLY WITH CHAPTER 7A OF THE CURRENT CALIFORNIA BUILDING CODE IF IT IS IN THE VHFSZ. STRUCTURES IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE SHALL PROVIDE & MAINTAIN A FUEL MODIFICATION ZONE. FUEL MODIFICATION ZONES: THE APPLICANT SHALL PROVIDE AND MAINTAIN FIRE/FUEL BREAKS TO THE SATISFACTION OF THE CITY'S FIRE DEPARTMENT. FIRE/FUEL BREAK SIZE (MINIMUM 100 FEET FROM STRUCTURE) & COMPOSITION SHALL BE DETERMINED BY THE FIRE DEPARTMENT & SHOWN ON THE IMPROVEMENT/GRADING PLANS, FINAL MAP, & BUILDING PLANS

CBC CHAPTER 7A - MATERIALS & CONSTRUCTION METHODS FOR EXTERIOR WILDLIFE EXPOSURE IF THE PROPERTY THAT WILL CONTAIN THE ADU IS IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE THESE NOTES SHALL APPLY. THE JURISDICTION HAS DETERMINED THAT THIS PROJECT IS IN A WILDLIFE -URBAN INTERFACE AREA. PLEASE SHOW COMPLIANCE WITH THE FOLLOWING ITEMS FOR NEW BUILDINGS, PER THE 2022 CBC. EXCEPTIONS:

- BUILDINGS OF AN ACCESSORY CHARACTER CLASSIFIED AS A GROUP U OCCUPANCY AND NOT EXCEEDING 120 SQUARE FEET IN FLOOR AREA, WHEN LOCATED AT LEAST 30 FEET FROM AN APPLICABLE BUILDING.
- BUILDINGS OF AN ACCESSORY CHARACTER CLASSIFIES AS A GROUP U OCCUPANCY OF ANY SIZE LOCATED LEAST 50' FROM AN APPLICABLE BUILDING.
- BUILDINGS CLASSIFIED AS A GROUP U AGRICULTURE BUILDING, AS DEFINED IN SECTION 202 OF THE CODE (SEE ALSO APPENDIX C - GROUP U AGRICULTURE BUILDINGS ), WHEN LOCATED AT LEAST 50' FROM AN APPLICABLE BUILDING.

REQUIREMENTS:

- 705A.2 ROOF COVERINGS. WHERE THE ROOF PROFILE HAS AN AIRSPACE UNDER THE ROOF COVERING, INSTALLED OVER A COMBUSTIBLE DECK, A 72 LB. (32.7 KG) CAP SHEET COMPLYING WITH ASTM D3909 STANDARD SPECIFICATION FOR "ASPHALT ROLLED ROOFING (GLASS FELT) SURFACED WITH MINERAL GRANULES," SHALL BE INSTALLED OVER THE ROOF DECK. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS. TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS. EXCEPTION: CAP SHEET IS NOT REQUIRED WHEN NO LESS THAN 1" OF MINERAL WOOL BOARD OR OTHER NONCOMBUSTIBLE MATERIAL IS LOCATED BETWEEN THE ROOFING MATERIAL AND WOOD FRAMING OR DECK. ALTERNATELY, A CLASS A FIRE RATED ROOF UNDERLAYMENT, TESTED IN ACCORDANCE WITH ASTM E108, SHALL BE PERMITTED TO BE USED. IF THE SHEATHING CONSISTS OF EXTERIOR FIRE-RETARDANT TREATED WOOD, THE UNDERLAYMENT SHALL NOT BE REQUIRED TO COMPLY WITH A CLASS A CLASSIFICATION. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.
- 705A.3 ROOF VALLEYS. WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 0.019-INCH NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MIN. 72 POUND MINERAL - SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909. AT LEAST 36-INCH -WIDE RUNNING THE FULL LENGTH OF THE VALLEY.
- 705A.4 ROOF GUTTER. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- 706A.2 VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDFIRE FLAME AND EMBER RESISTANT VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS TESTED TO ASTM E2886 AND LISTED, BY COMPLYING WITH ALL OF THE FOLLOWING REQUIREMENTS:
  - THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST
  - THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST
  - THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662 F
- 706A.2.1 VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING
  - VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF  $\frac{1}{16}$  - INCH AND SHALL NOT EXCEED  $\frac{1}{4}$  - INCH IN DIAMETER
  - THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE
  - THE MESH MATERIAL SHALL BE CORROSION RESISTANT.
- 707A.3 EXTERIOR WALLS COVERINGS. THE EXTERIOR WALL COVERING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING REQUIREMENTS, EXCEPT AS PERMITTED FOR EXTERIOR WALL ASSEMBLIES COMPLYING WITH SECTION 707A.4:
  - NONCOMBUSTIBLE MATERIAL
  - IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2.
  - FIRE-RETARDANT-TREATED WOOD. THE FIRE-RETARDANT-TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2.
- 707A.3.1 EXTENT OF EXTERIOR WALL COVERING. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF AND TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

- 707A.4 EXTERIOR WALL ASSEMBLIES. EXTERIOR WALL ASSEMBLIES OF BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED USING ONE OR MORE OF THE FOLLOWING METHODS, UNLESS THEY ARE COVERED BY AN EXTERIOR WALL COVERING COMPLYING WITH SECTION 707A.3:
  - ASSEMBLY OF SAWN LUMBER OR GLUE LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4 INCHES. SAWN OR GLUE-LAMINATED PLANKS SPLINED, TONGUE-AND-GROOVE, OR SET CLOSE TOGETHER AND WELL SPIKED.
  - LOG WALL CONSTRUCTION ASSEMBLY
  - ASSEMBLY THAT HAS BEEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10 MINUTE DIRECT FLAME CONTACT EXPOSURE SET FORTH IN ASTM E2707 WITH THE CONDITIONS OF ACCEPTANCE SHOWN IN SECTION 707A.4.1.
  - ASSEMBLY THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES FOR A TEN MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN SFM STANDARD 12-7A-1
  - ASSEMBLY SUITABLE FOR EXTERIOR FIRE EXPOSURE WITH A 1-HOUR FIRE RESISTANCE RATING, RATED FROM THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL263
  - ASSEMBLY SUITABLE FOR EXTERIOR FIRE EXPOSURE CONTAINING ONE LAYER OF  $\frac{5}{8}$  -INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR WALL COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE FRAMING.
  - ASSEMBLY SUITABLE FOR EXTERIOR EXPOSURE CONTAINING ANY OF THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUEL AS COMPLYING WITH A 1-HOUR FIRE-RESISTANCE RATING, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263

- 707A.5 OPEN ROOF EAVES. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF ENCLOSED ROOF EAVES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING:
  - NON COMBUSTIBLE MATERIAL
  - IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AN SHALL MEET THE REQUIREMENTS OF SECTION 704A.2
  - FIRE-RETARDANT-TREATED WOOD. THE FIRE-RETARDANT-TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2
  - MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263
  - ONE LAYER OF  $\frac{5}{8}$ " TYPE X GYPSUM SHEATHING APPLIES BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK.
  - THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, APPLIES AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, APPLIED TO THE UNDERSIDE OF THE ROOF DECK DESIGNED FOR THE EXTERIOR FIRE EXPOSURE, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DEIGN MANUAL.

EXCEPTION TO SECTION 707A.5: THE FOLLOWING MATERIALS DO NOT REQUIRE PROTECTION:  
FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS

- 707A.6 ENCLOSED ROOF EAVES AND ROOF EAVE SOFFITS. THE EXPOSED UNDERSIDE OF ENCLOSED ROOF EAVES HAVING EITHER A BOXED-IN ROOF EAVE SOFFIT WITH A HORIZONTAL UNDERSIDE, OR SLOPING RAFTER TAILS WITH AN EXTERIOR COVERING APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS, SHALL BE PROTECTED BY ONE OR MORE OF THE FOLLOWING:
  - NONCOMBUSTIBLE MATERIAL
  - IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2
  - FIRE-RETARDANT-TREATED WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2
  - MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263
  - ONE LAYER OF  $\frac{5}{8}$ " TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF FLOOR PROJECTION.
  - THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, APPLIED TO THE UNDERSIDE OF THE RAFTER TAIS OR SOFFIT, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
  - BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957
  - BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3

EXCEPTION TO SECTION 707A.6: THE FOLLOWING MATERIALS DO NOT REQUIRE PROTECTION:FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS

EXCEPTION TO SECTION 707A.6: THE FOLLOWING MATERIALS DO NOT REQUIRE PROTECTION:FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS

- 707A.7 EXTERIOR PORCH CEILINGS. THE EXPOSED UNDERSIDE OF THE EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY ONE OF THE FOLLOWING:
  - NON COMBUSTIBLE MATERIAL
  - IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2
  - FIRE-RETARDANT-TREATED WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2
  - MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263
  - ONE LAYER OF  $\frac{5}{8}$ " TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT.
  - THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, AS TESTED IN ACCORDANCE WITH ASTM E119, APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
  - PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957
  - PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3

EXCEPTION TO SECTION 707A.7: ARCHITECTURAL TRIM BOARDS DO NOT REQUIRE PROTECTION

- 707A.8 FLOOR PROJECTIONS. THE EXPOSED UNDERSIDE OF A CANTILEVER FLOOR PROJECTION WHERE A FLOOR ASSEMBLY EXTENDS OVER AN EXTERIOR WALL SHALL BE PROTECTED BY ON OF THE FOLLOWING:
  - NONCOMBUSTIBLE MATERIAL
  - IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2
  - FIRE-RETARDANT-TREATED WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2
  - MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263
  - ONE LAYER OF  $\frac{5}{8}$ " TYPE X GYPSUM SHEATHING APPLIED BEHIND AND EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING
  - THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, AS TESTED IN ACCORDANCE WITH ASTM E119, APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
  - THE UNDERSIDE OF A FLOOR PROJECTIONS ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN SECTION 707A.10 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957.
  - THE UNDERSIDE OF A FLOOR PROJECTIONS ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN THE SFM STD 12-7A-3.

EXCEPTION TO SECTION 707A.8: ARCHITECTURAL TRIM BOARDS DO NOT REQUIRE PROTECTION

- 707A.9 UNDERFLOOR PROTECTION. THE UNDERFLOOR AREA OF ELEVATED OR OVERHANGING BUILDINGS SHALL BE ENCLOSED TO GRADE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDERFLOOR SHALL BE PROTECTED BY ONE OR MORE OF THE FOLLOWING:
  - NONCOMBUSTIBLE MATERIAL
  - IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2
  - FIRE-RETARDANT-TREATED WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2
  - MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263
  - ONE LAYER OF  $\frac{5}{8}$ " TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION
  - THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL
  - THE UNDERSIDE OF A FLOOR ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957.
  - THE UNDERSIDE OF A FLOOR ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3.

EXCEPTION TO SECTION 707A.9: STRUCTURAL COLUMNS AND BEAMS DO NOT REQUIRE PROTECTION WHEN CONSTRUCTED WITH SAWN LUMBER OR GLUE-LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4 INCHES. SAWN OR GLUE-LAMINATED PLANKS SHALL BE SPLINED, TONGUE-AND-GROOVE, OR SET CLOSE TOGETHER AND WELL SPIKED.

- 707A.10 UNDERSIDE OF APPENDAGES. WHEN REQUIRED BY THE ENFORCING AGENCY THE UNDERSIDE OF OVERHANGING APPENDAGES SHALL BE ENCLOSED TO GRADE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDER FLOOR SHALL CONSIST OF ONE OF THE FOLLOWING:
  - NONCOMBUSTIBLE MATERIAL
  - IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2
  - FIRE-RETARDANT-TREATED WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2
  - MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263
  - ONE LAYER OF  $\frac{5}{8}$ " TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING ON THE UNDERSIDE OF THE APPENDAGE PROJECTION
  - THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, APPLIED TO THE UNDERSIDE OF THE APPENDAGE, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
  - THE UNDERSIDE OF AN APPENDAGE ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957.
  - THE UNDERSIDE OF AN APPENDAGE ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3.

EXCEPTION TO SECTION 707A.10: STRUCTURAL COLUMNS AND BEAMS DO NOT REQUIRE PROTECTION WHEN CONSTRUCTED WITH SAWN LUMBER OR GLUE-LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4 INCHES. SAWN OR GLUE-LAMINATED PLANKS SHALL BE SPLINED, TONGUE-AND-GROOVE, OR SET CLOSE TOGETHER AND WELL SPIKED

- 708A.2 EXTERIOR GLAZING. THE FOLLOWING EXTERIOR GLAZING MATERIALS AND/OR ASSEMBLIES SHALL COMPLY WITH THIS SECTION:
  - EXTERIOR WINDOWS
  - EXTERIOR GLAZED DOORS
  - GLAZED OPENINGS WITHIN EXTERIOR DOORS
  - GLAZED OPENINGS WITHIN EXTERIOR GARAGE DOORS
  - EXTERIOR STRUCTURAL GLASS VENEERS
  - SKYLIGHTS
  - VENTS
- 708A.2.1 EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR ASSEMBLY REQUIREMENTS:
  - BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, OR
  - BE CONSTRUCTED OF GLASS BLOCK UNITS, OR
  - HAVE A FIRE-RESISTANT RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE TO NFPA 257, OR
  - BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.
- 708A.3 EXTERIOR DOORS. EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING:
  - THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL
  - THE EXTERIOR SURFACE OR CLADDING SHALL BE IGNITION RESISTANT MATERIAL
  - TEH EXTERIOR DOOR SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS:
    - 3.1 STILES AND RAILS SHALL NOT BE LESS THAN 1-3/8" THICK.
    - 3.2 RAISED PANELS SHALL NOT BE LESS THAN 1-1/4" THICK. EXCEPT FOR THE EXTERIOR PERIMETER OF THE PANEL THAT SHALL BE PERMITTED TO TAPER TO A TONGUE NOT LESS THAN  $\frac{3}{8}$ " THICK.
    4. THE EXTERIOR DOOR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO THE NFPA 252.
    5. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE IN SECTION 707A.3.1 WHEN TESTED IN ACCORDANCE WITH ASTM E2707.
    6. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.

- 708A.3.1 EXTERIOR DOOR GLAZING. GLAZING IN EXTERIOR DOORS SHALL COMPLY WITH SECTION 708A2.1.

FIRE SPRINKLER NOTES

- IF FIRE SPRINKLERS ARE REQUIRED AT PROPOSED DWELLING OR ADU THEN THE FOLLOWING NOTES APPLY.
- AUTOMATIC FIRE SPRINKLER SYSTEM - AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AS PER NFPA 13D THE MOST CURRENT EDITION. DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION. PLANS AND INSTALLATION MUST BE BY A C16 LICENSED SPRINKLER CONTRACTOR.
- SECTION R313.2.1 AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION R313.3 OR MFPA13D.

WILDLAND URBAN INTERFACE (WUI) PRODUCTS

ROOF  
Non-Wood Roof Covering/Assemblies for WUI (ASTM E 108, SFM Listing Category 8180)

**LISTING No.** 8180-2299-0501  
**CATEGORY:** 8180 – NON-WOOD ROOF COVERING/ASSEMBLIES FOR WILDLAND URBAN INTERFACE (W.U.I)  
**LISTEE:** Metal Sales Manufacturing Corporation  
545 South 3rd Street, Suite 200, Louisville, KY 40202  
Contact: David Stermer (502) 855-4342 Fax (502) 855-4242  
Email: dstermer@metalsales.us.com  
Metal Sales Image II™ 16" wide 26 GA Standing Seam Metal Roof System  
**Deck:** 5/12 Slope  
Nominal 7/16" OSB sheathing. Max. 1/8" gap in all joints fastened with 2" nails, 8" OC spacing. Nominal 1/2" Densdeck installed per manufacturer's instructions for joints (staggered from sheathing) fastened with 8 -2" nails per 4'x8' sheet.  
**Underlayment:** Titanium UDL 30@ stapled to face with 3" overlap.  
**Roof Covering:** Metal Sales Image II™ 16" wide 26 GA Standing Seam Metal Roof System with rib/joint placed 6" from OSB joint fastened with #10-12 (1") pancake head wood screws in the nail strip. Refer to listee's data sheet for additional detailed product description.  
**RATING:** Class A

VENTS  
(ASTM E 2886/2886M, E 2912, SFM Listing Category 8165)

**LISTING No.** 8165-2192-0500  
**CATEGORY:** 8165 – VENTS FOR WILDLAND URBAN INTERFACE (W.U.I.)  
**LISTEE:** Vulcan Technologies8 Commercial Blvd, Suite E, Novato, CA 94949  
Contact: Larry Dumml (916) 626-2400 Fax (916) 647-0477  
Email: Larry@vulcanmetals.com  
**DESIGN:** Models VER2, VER2M, VER3, VER3M, VER4, VER4M, and VER6M Vulcan Eave Round Vents. Products are in sizes 2", 3", 4", or 6" diameter opening with a 1/4" flange, and a depth of 3/4". The vents are manufactured out of 0.020" aluminum incorporating a 5mm hexagonal aluminum matrix core made of 0.05mm aluminum foil with an intumescent coating underneath the louver cap. Models with "M" contain a stainless steel, type 304 woven, 1/16" opening mesh screen, installed between the louvers and the honeycomb core. Refer to manufacturer's installation instructions and product data sheets.  
**RATING:** Tested in accordance with ASTM E2886

UNDER EAVE  
(SFM Standard 12-7A-3, SFM Listing Category 8160)

**LISTING No.** 8160-2026-0006  
**CATEGORY:** 8160 – UNDER EAVE FOR WILDLAND URBAN INTERFACE (W.U.I)  
**LISTEE:** JAMES HARDIE BUILDING PRODUCTS, INC.  
10901 Elm Avenue, Fontana, CA 92337  
Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634  
Email: rathisha.sabaratanam@jhrsearchusa.com  
**DESIGN:** "CemSoffit®" un-vented, fiber-cement soffit, 3/16" thick and 1/4" thick, under eave material. Refer to the manufacturer's installation instructions and product data sheets.  
**RATING:** Noncombustible

EXTERIOR WALL SIDING  
(SFM Standard 12-7A-1, SFM Listing Category 8140)

**CATEGORY:** 8140 – EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I)  
JAMES HARDIE BUILDING PRODUCTS, INC.  
10901 Elm Avenue, Fontana, CA 92337  
Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634  
Email: rathisha.sabaratanam@jhrsearchusa.com

**LISTING No.** 8140-2026-0001  
**DESIGN:** "Artisan®" lap siding, fiber-cement, 5/8" thick. Refer to the manufacturer's installation instructions and product data sheets.

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project

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Pre-Approved  
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description

General  
Notes

date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. G0.3

WINDOW SCHEDULE											
WINDOW	WINDOW SIZE		OPER.	QNTY	FRAME	HEAD HEIGHT	LOCATION	REMARKS	STC DB	ANTI INFILTRATION RATE CF/M MAX	VHFSZ NOTES SEE SHEET G0.3 (WHEN REQ'D)
	WIDTH	HEIGHT									
A	2'-0"	4'-0"	SINGLE HUNG	2	VINYL	6'-8"	LIVING ROOM WINDOWS		40	0.5	NOTE 15 & 16
B	2'-0"	3'-6"	SINGLE HUNG	1	VINYL	6'-8"	LIVING ROOM WINDOW		40	0.5	NOTE 15 & 16
C	2'-0"	2'-4"	CASEMENT	1	VINYL	6'-8"	BATHROOM WINDOW	TEMPERED	40	0.5	NOTE 15 & 16
D	2'-10"	1'-10"	AWNING	1	VINYL	6'-8"	BATHROOM/ SHOWER WINDOW	TEMPERED	40	0.5	NOTE 15 & 16
E	6'-0"	3'-6"	SLIDER	1	VINYL	6'-8"	BEDROOM WINDOW	NOTE 7	40	0.5	NOTE 15 & 16
F	2'-4"	2'-10"	SINGLE HUNG	1	VINYL	6'-8"	KITCHEN WINDOW		40	0.5	NOTE 15 & 16
G	5'-0"	2'-0"	SLIDER	1	VINYL	6'-8"	BEDROOM WINDOW		40	0.5	NOTE 15 & 16

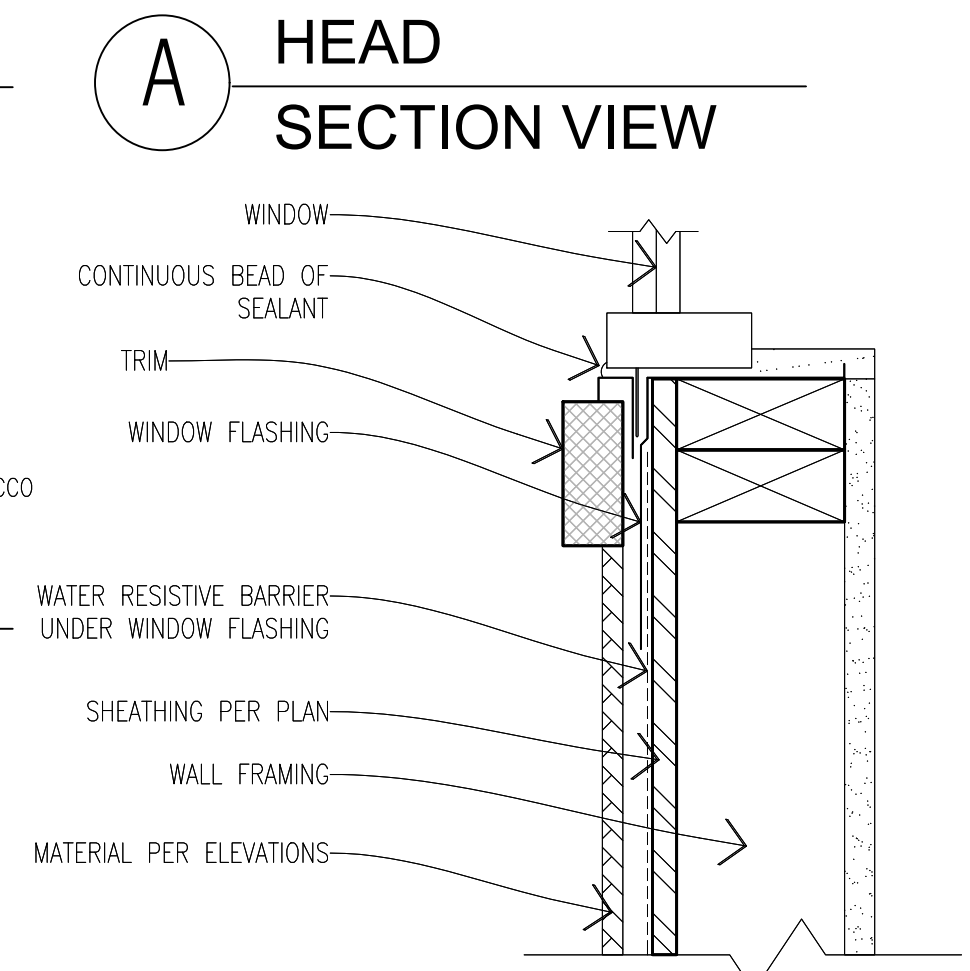
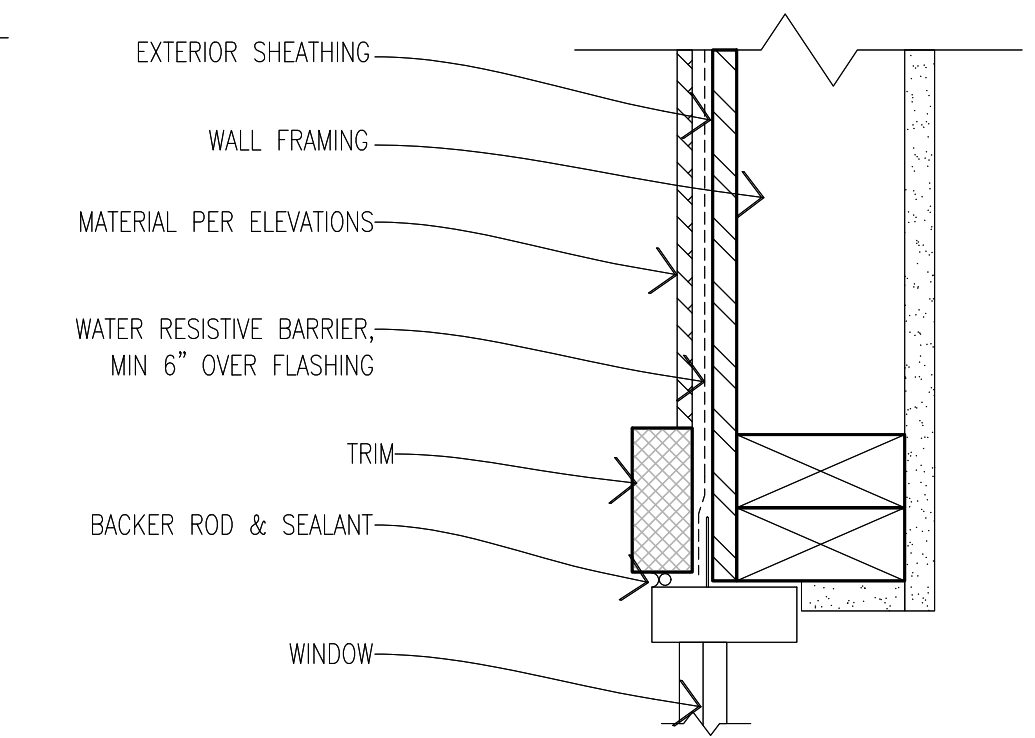
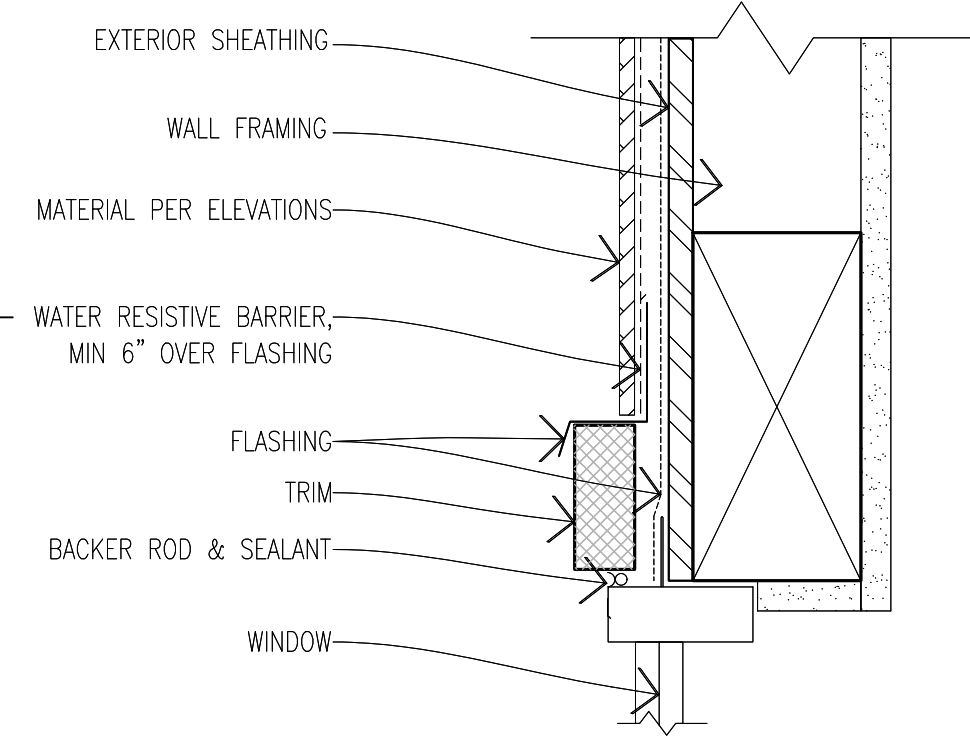
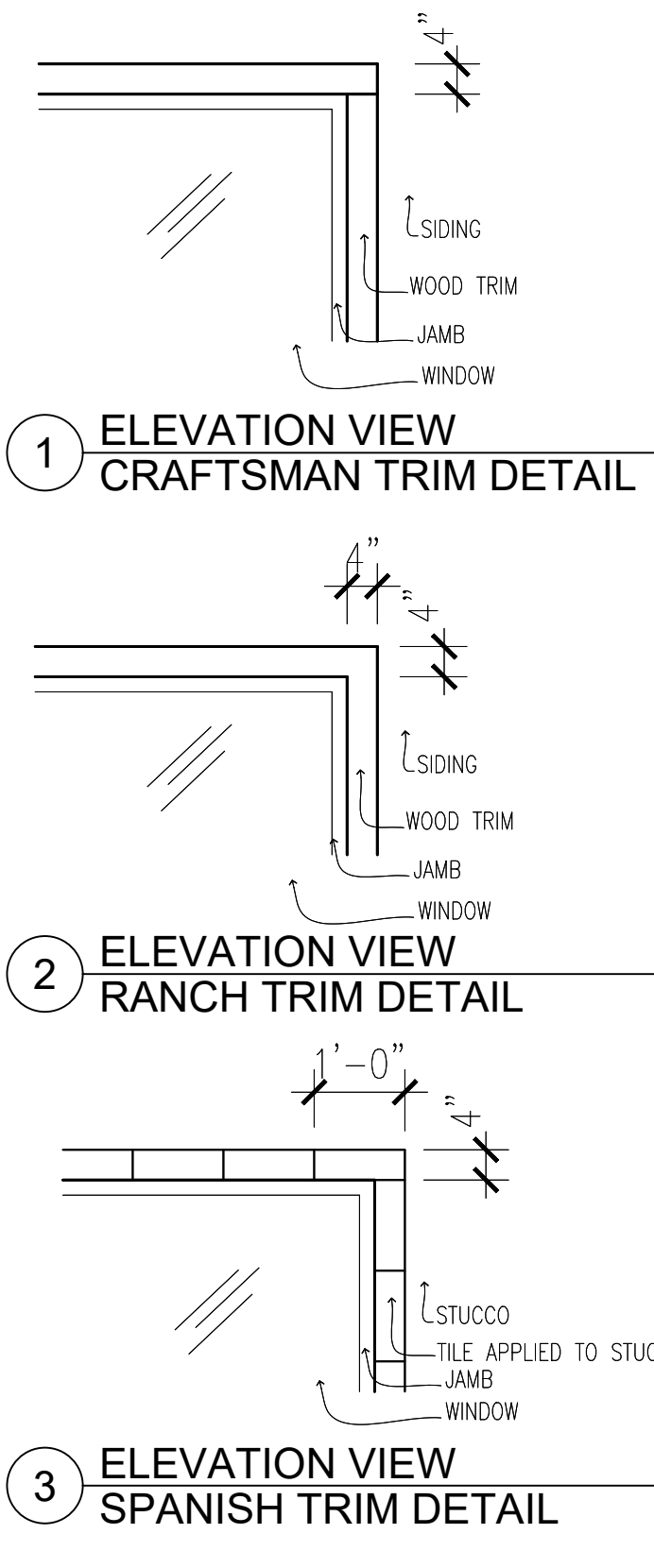
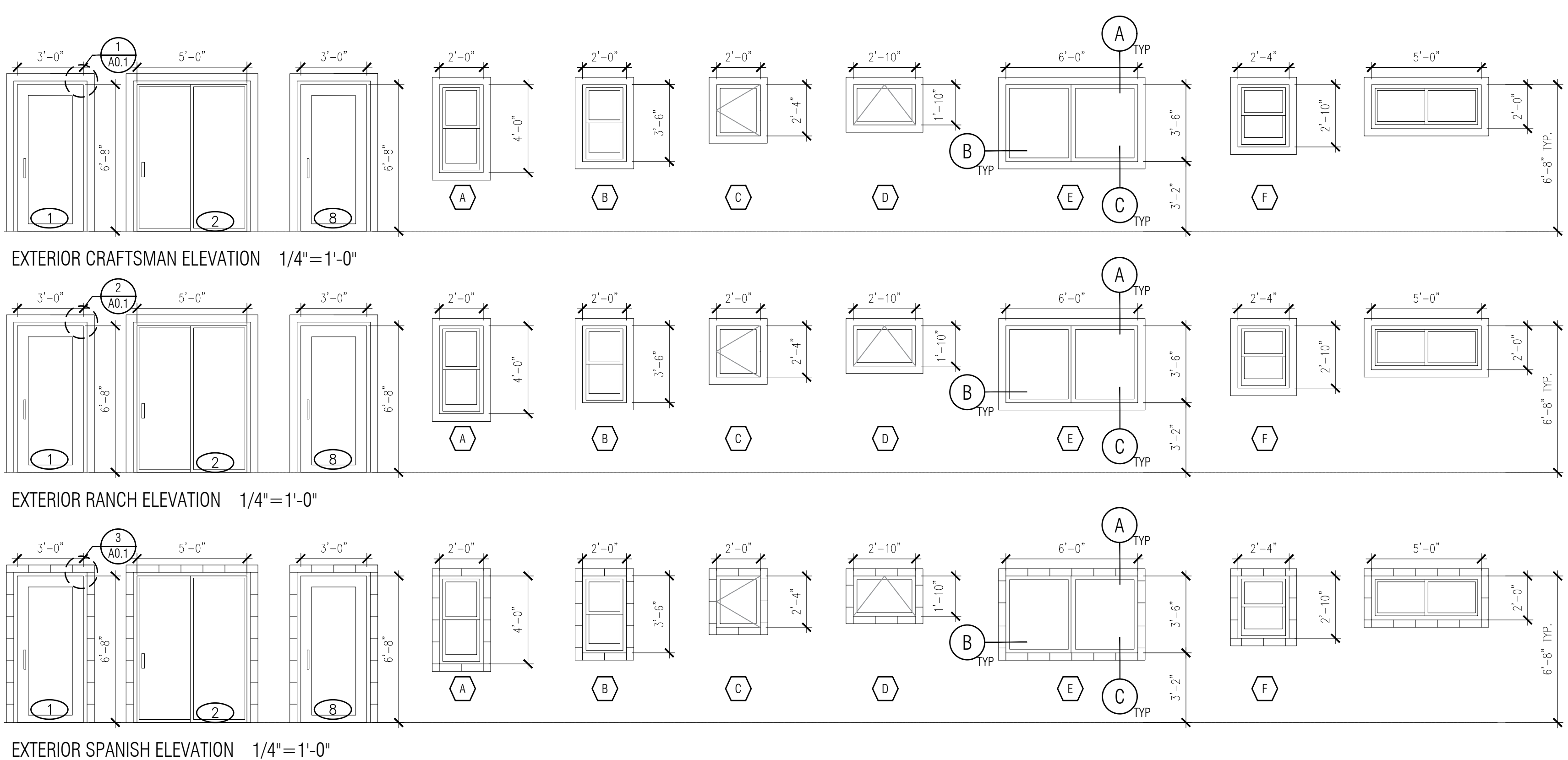
**WINDOW NOTES**

- SEE EXTERIOR ELEVATION FOR DIRECTION OF OPERATION OF WINDOWS (ALL OPERABLE WINDOWS TO HAVE SCREENS).
- ALL WINDOW DIMENSIONS PERTAIN TO ROUGH OPENINGS (R.O.). CONTRACTOR TO FIELD VERIFY ACTUAL DIMENSIONS FOR WINDOWS
- ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE NFRC LABEL.
- ALL GLAZING SHALL BE SPECTRALLY SELECTIVE LOW E COATED TO MEET TITLE 24 ENERGY REQUIREMENTS.
- WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.D
- VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303
- EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW FOR EMERGENCY ESCAPE OR RESCUE WITH A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. NET CLEAR OPENABLE HEIGHT OF 24" MIN., NET CLEAR WIDTH OF 20" AND A FIN. SILL HEIGHT OF NOT MORE THAN 44" A.F.F. PER CRC SECTION 310.1.
- TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL VENTILATION AND NATURAL LIGHT BY MEANS OF VENTILATION / ARTIFICIAL LIGHT. CBC SECTIONS 1203.4 AND 1205.1 AND R303
- THE MINIMUM NET GLAZED AREA FOR NATURAL LIGHT SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED. CBC SECTION 1205.2
- THE MINIMUM OPENABLE AREA TO THE OUTDOORS FOR NATURAL VENTILATION SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. SECTION 1203.4
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE
- FIRE-RESISTANCE RATED GLAZING TESTED AS PART OF A FIRE-RESISTANCE-RATED WALL ASSEMBLY IN ACCORDANCE WITH ASTM E 119 OR UL 263 TO BE CONSTRUCTED PER NOTE #13
- THE FOLLOWING WINDOWS SHALL BE FULLY TEMPERED: (CRC R308.4)
  - SLIDING/SWINGING GLASS DOORS
  - GLAZING IN WALLS AND ENCLOSURES FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE WITHIN THE COMPARTMENT AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE (CRC R308.4.5)
  - GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60 INCHES ABOVE THE FLOOR. SAFETY GLAZING REQUIRED ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF HINGE SIDE OF AN IN-SWING DOOR. (R308.4.2)
  - GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9SQ.FT. BOTTOM IS LESS THAN 18 IN. AND AT LEAST 36 IN. ABOVE THE FLOOR, AND ADJACENT TO A WALKING SURFACE WITHIN 60IN. OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36IN. ABOVE THE LANDING
  - GLAZING IN GUARDS AND RAILINGS
  - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36IN. ABOVE THE WALKING SURFACE

DOOR SCHEDULE												
DOOR	DOOR TYPE	DOOR SIZE			CORE	MATERIAL	FRAME	LOCATION	REMARKS	VHFSZ NOTES SEE SHEET G0.3 (WHEN REQ'D)		
		WIDTH	HEIGHT	THICK.								
1	SINGLE DOOR	3'-0"	6'-8"	1-3/4"	GL	VNL/GLASS	VINYL	FRONT ENTRY	TEMPERED, NOTE 11	NOTE 15, 16, 17, & 18		
2	DOUBLE DOORS	5'-0"	6'-8"	1-3/4"	GL	VNL/GLASS	VINYL	SIDE ENTRY	TEMPERED, NOTE 11 & 12	NOTE 15, 16, 17, & 18		
3	SINGLE DOOR	2'-6"	6'-8"	1-3/4"	HLW	LOUVERED	WD	CLOSET	LOUVERED			
4	BI FOLD DOORS	3'-6"	6'-8"	1-3/4"	HLW	WOOD	WD	LAUNDRY ROOM	LOUVERED			
5	SINGLE DOOR	3'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	BATHROOM				
6	SLIDING DOORS	7'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	BEDROOM CLOSET				
7	SINGLE DOOR	3'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	BEDROOM				
8	SINGLE DOOR	3'-0"	6'-8"	1-3/4"	GL	VNL/GLASS	VINYL	SIDE ENTRY	TEMPERED, NOTE 11	NOTE 15, 16, 17, & 18		
9	SINGLE DOOR	2'-4"	6'-8"	1-3/4"	HLW	WOOD	WD	WATER HEATER CLOSET				

**DOOR NOTES**

- ALL GLASS IN DOORS SHALL BE TEMPERED. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE "U" VALUE.
- REFER TO FLOOR PLANS FOR DIRECTION OF DOOR SWING.
- DOORS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.
- VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303.
- DOORS MAY OPEN TO THE EXTERIOR ONLY IF THE FLOOR OR LANDING IS NOT MORE THAN 1-1/2" INCH LOWER THAN THE DOOR THRESHOLD. SECTION R311.3.1 (CRC)
- GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE.
- THE FOLLOWING WINDOWS SHALL BE FULLY TEMPERED: (CRC R308.4)
  - SLIDING/SWINGING GLASS DOORS
  - GLAZING IN WALLS AND ENCLOSURES FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE WITHIN THE COMPARTMENT AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE (CRC R308.4.5)
  - GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60 INCHES ABOVE THE FLOOR. SAFETY GLAZING REQUIRED ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF HINGE SIDE OF AN IN-SWING DOOR. (R308.4.2)
  - GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9SQ.FT. BOTTOM IS LESS THAN 18 IN. AND AT LEAST 36 IN. ABOVE THE FLOOR, AND ADJACENT TO A WALKING SURFACE WITHIN 60IN. OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36IN. ABOVE THE LANDING
  - GLAZING IN GUARDS AND RAILINGS
  - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36IN. ABOVE THE WALKING SURFACE
- NOT USED
- NOT USED
- EXTERIOR HINGED DOORS FACING THE SOURCE OF NOISE MUST BE MIN. STC 40 DB
- SLIDING GLASS DOORS NOT FACING SOURCE OF NOISE MUST BE MIN STC 35 DB. DIRECT EXPOSURE NOT PERMITTED



**WINDOW DETAILS**

SCALE: 3"=1'-0"

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description  
**Window & Door Schedules**

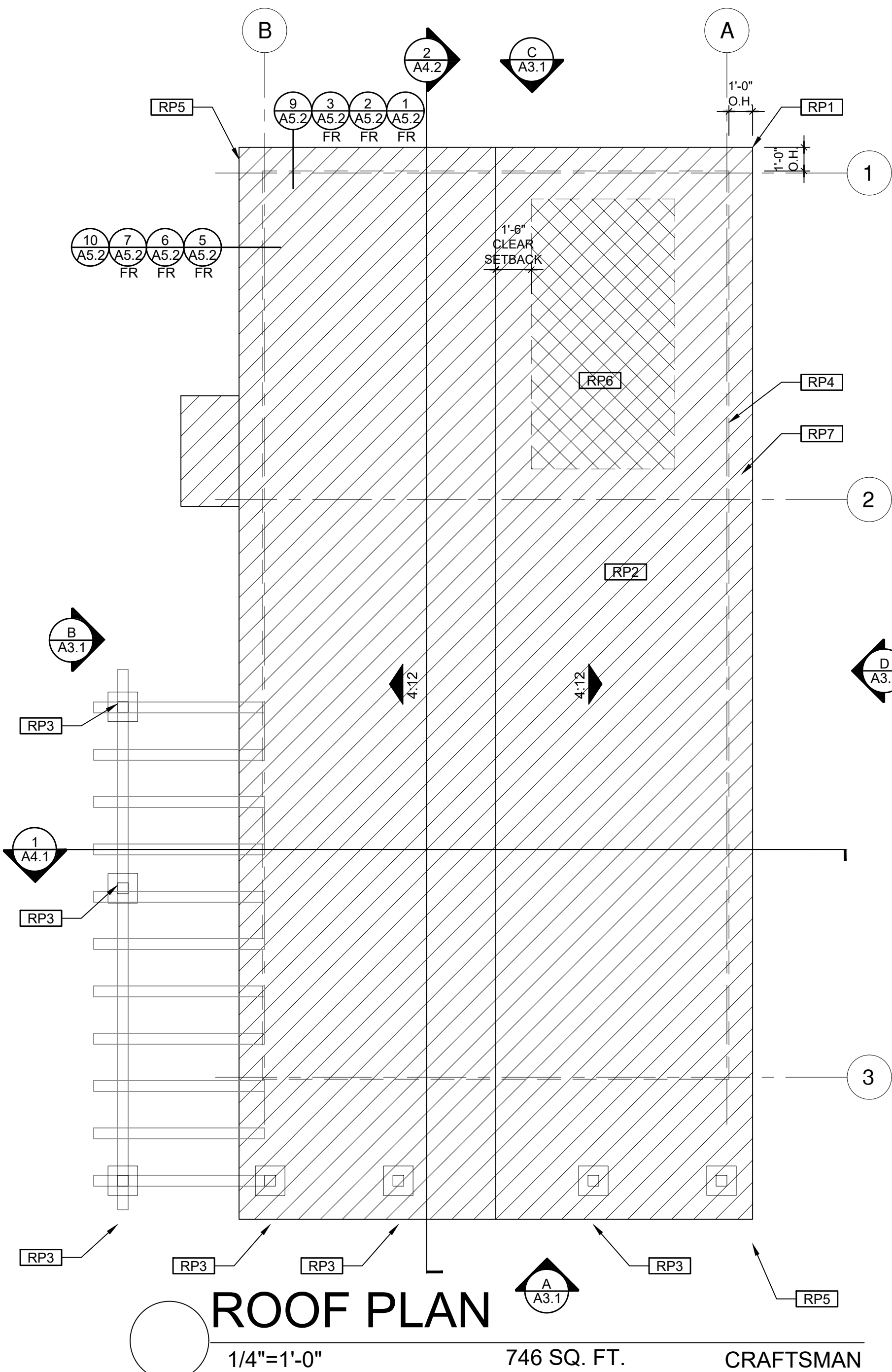
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project no.  
Riverside ADU

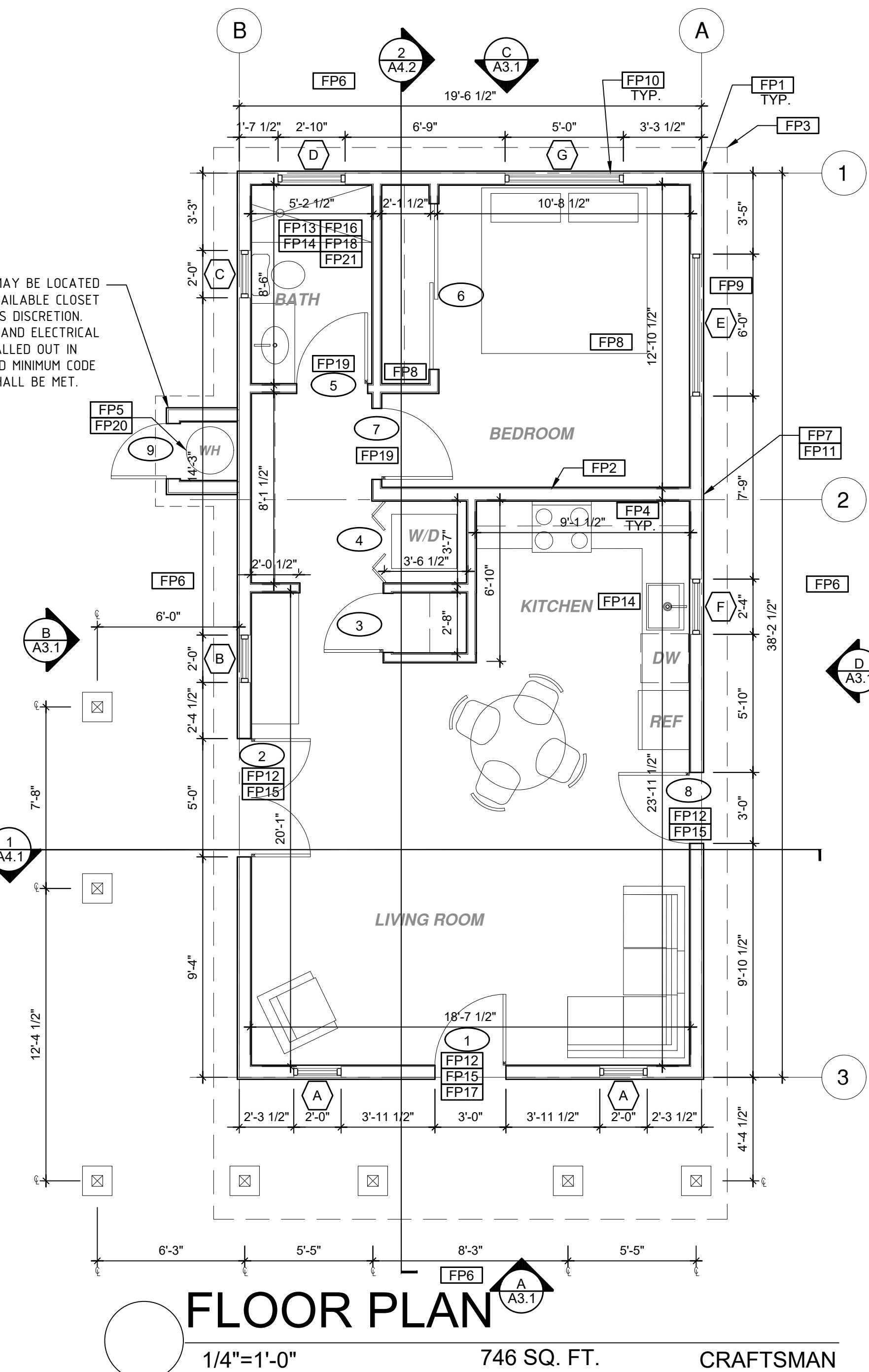
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DESIGN PATH STUDIO

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**A0.1**





WATER HEATER MAY BE LOCATED INSIDE ADU IN AVAILABLE CLOSET AREA AT OWNER'S DISCRETION. ALL MECHANICAL AND ELECTRICAL REQUIREMENTS CALLED OUT IN THESE PLANS AND MINIMUM CODE REQUIREMENTS SHALL BE MET.



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description  
**Roof & Floor Plan Craftsman**

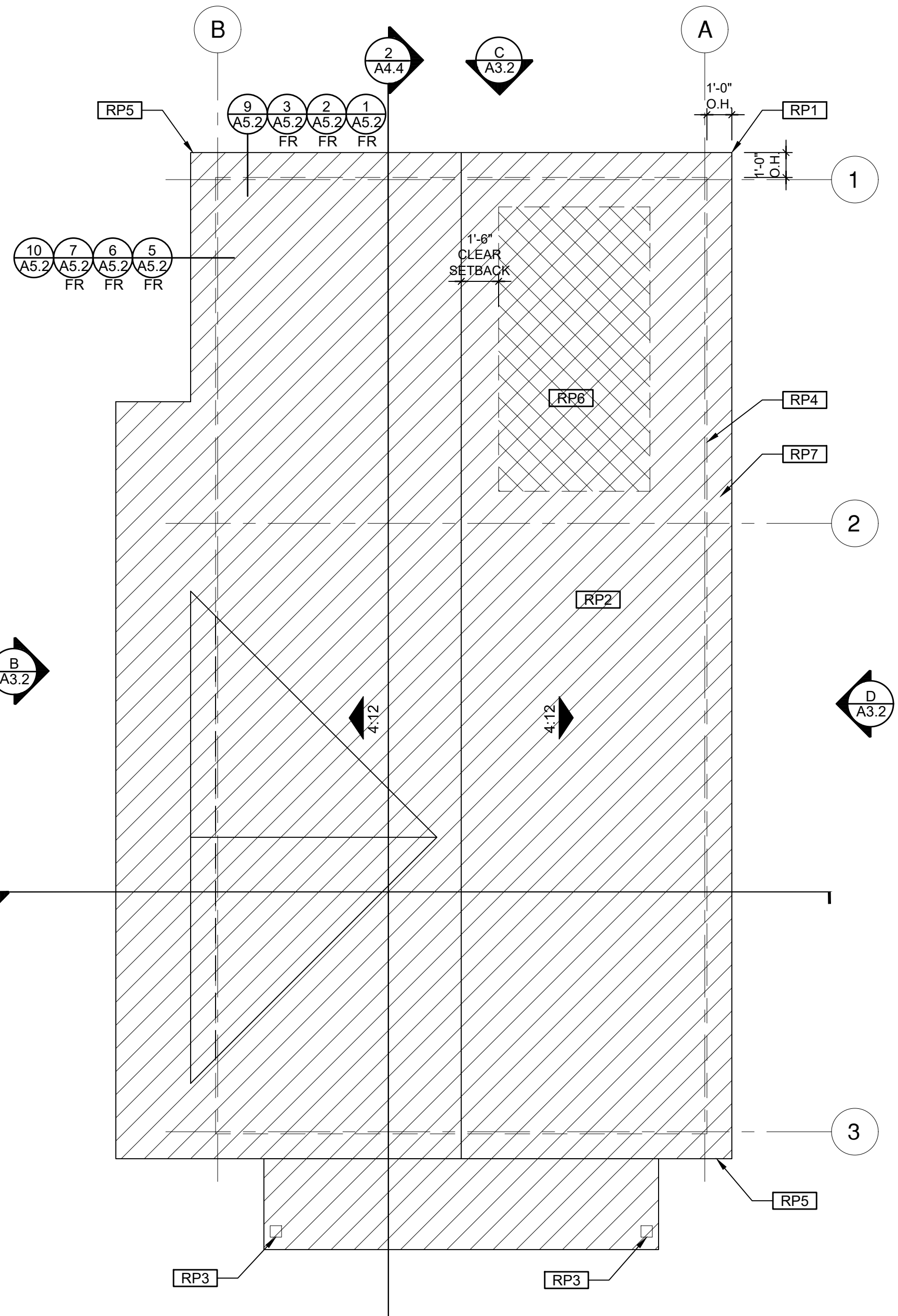
date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

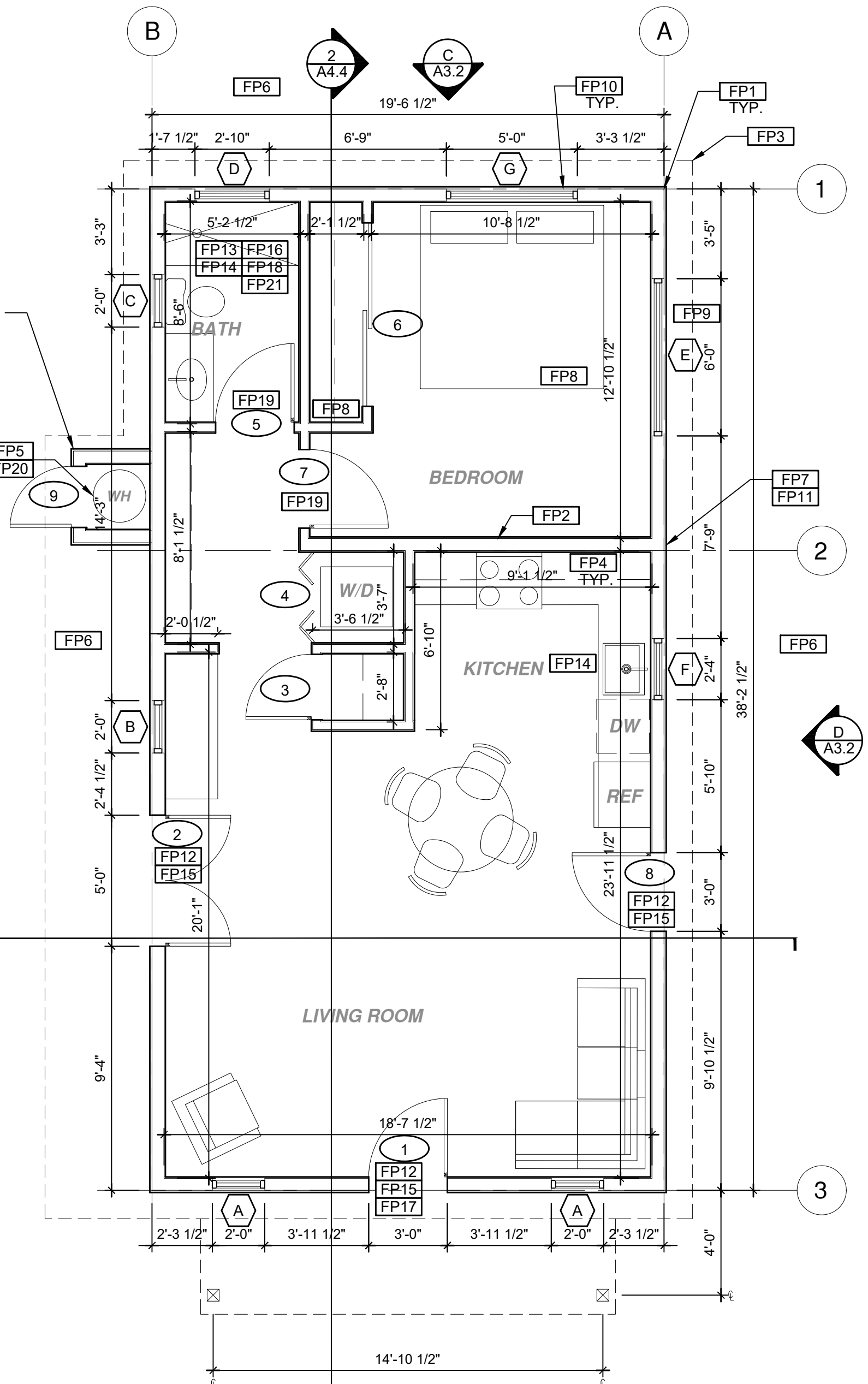
sheet no. **A1.1**

ROOF KEYNOTES	FLOOR PLAN KEYNOTES	SOLAR READY NOTES	LEGEND
<p><b>RP1</b> LINE OF ROOF OVERHANG</p> <p><b>RP2</b> CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2</p> <p><b>RP3</b> SUPPORT POST BELOW</p> <p><b>RP4</b> LINE OF WALLS BELOW</p> <p><b>RP5</b> ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER IN HIGH FIRE SEVERITY ZONES.</p> <p><b>RP6</b> DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET</p> <p><b>RP7</b> RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4" MIN 3/8" OPENING SIZE ON VENT SCREEN WITH CORROSION RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET</p>	<p><b>FP1</b> STUD WALL SIZED PER STRUCTURAL</p> <p><b>FP2</b> 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING</p> <p><b>FP3</b> LINE OF OVERHANG ABOVE</p> <p><b>FP4</b> 36" HIGH COUNTER</p> <p><b>FP5</b> WATER HEATER</p> <p><b>FP6</b> SLOPE SURFACE AWAY FROM BUILDING</p> <p><b>FP7</b> DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING</p> <p><b>FP8</b> CLOSET SHELF AND POLE</p> <p><b>FP9</b> EMERGENCY EGRESS WINDOW</p> <p><b>FP10</b> WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS</p> <p><b>FP11</b> VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</p> <p><b>FP12</b> MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 36 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP</p> <p><b>FP13</b> SHOWER ENCLOSURE MUST BE TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL. SHOWER DOORS SHALL OPEN AS TO MAINTAIN NOT LESS THAN A 22-INCH UNOBSTRUCTED OPENING FOR EGRESS.</p> <p><b>FP14</b> PER SECTION 301.1.1 CALGREEN AND CIVIL CODE (101.3)(c), ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER-CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</p> <p><b>FP15</b> LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4" PER FOOT. (CRC 3111.3) LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1/4" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7/8" FOR DOORS THAT DO NOT SWING OUTWARD. (CRC 3111.3.1) DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7/8" BELOW THE TOP OF THE THRESHOLD (CRC 3111.3.2)</p> <p><b>FP16</b> WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS USED AS BACKERS FOR WALL, TILE IN TUBE AND REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.</p> <p><b>FP17</b> DOOR BELL BUTTON TO BE NO MORE THAN 48" ABOVE EXTERIOR FLOOR OR LANDING</p> <p><b>FP18</b> WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL NOTE #28 ON SHEET G0.2 FOR FURTHER INFORMATION. WHERE THE WATER CLOSET IS NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR-MOUNTED, FOLD-AWAY OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS APPROVED BY THE ENFORCING AGENCY.</p> <p><b>FP19</b> DOOR TO HAVE A NET CLEAR OPENING OF 32"</p> <p><b>FP20</b> DESIGNATED 2'-6" x 2'-6" x 7' TALL MINIMUM AREA FOR INSTALLATION OF AN ELECTRIC HYBRID HEAT PUMP WATER HEATER PER REC 2022 SECTION 150.0(N)</p> <p><b>FP21</b> FURRING AS NEEDED FOR STANDARD TUB AND SHOWER LENGTH</p>	<p>SOLAR READY ROOF AREA: MIN DIMENSION &gt; 5FT. MIN. SF. &gt; 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b)</p> <p>THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND SPACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED BY LOCAL JURISDICTION</p> <p>SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN 250SQFT.</p> <p>FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.</p> <p>CAPACITY OF THE PV SYSTEMS PER THE INITIAL CF-1R-PRF: 1.75 kWdc TO BE UPDATED WITH SITE SPECIFIC NUMBERS.</p> <p><b>VENTILATING CALCULATIONS</b></p> <p>ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA. 746_SF. VENTILATION AREA REQUIRED: 746_SF / 150SF = 4.97_SF. CONVERT TO SQ. IN. 4.97_SF x 144 = 716 SQ. IN. MINIMUM VENTILATION AREA REQUIRED: 716 SQ. IN.</p>	<p> SECTION CUT</p> <p> ELEVATION CALLOUT</p> <p> DETAIL DRAWING REF.</p> <p> WALL BELOW OR ROOF ABOVE</p> <p> SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2</p> <p> ROOFING</p> <p> KEYNOTE</p> <p> DOOR SYMBOL</p> <p> WINDOW SYMBOL</p> <p> CEILING HEIGHTS</p> <p> VAULTED CEILING</p> <p> ROOF SLOPE</p>



**ROOF PLAN**  
1/4"=1'-0" 746 SQ. FT. RANCH

WATER HEATER MAY BE LOCATED INSIDE ADU IN AVAILABLE CLOSET AREA AT OWNER'S DISCRETION. ALL MECHANICAL AND ELECTRICAL REQUIREMENTS CALLED OUT IN THESE PLANS AND MINIMUM CODE REQUIREMENTS SHALL BE MET.



**FLOOR PLAN**  
1/4"=1'-0" 746 SQ. FT. RANCH

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:  
1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF RIVERSIDE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF RIVERSIDE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.  
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THEREFROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.  
3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.  
4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.



project  
City of Riverside  
Pre-Approved  
ADU Program

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description  
**Roof & Floor Plan Ranch**

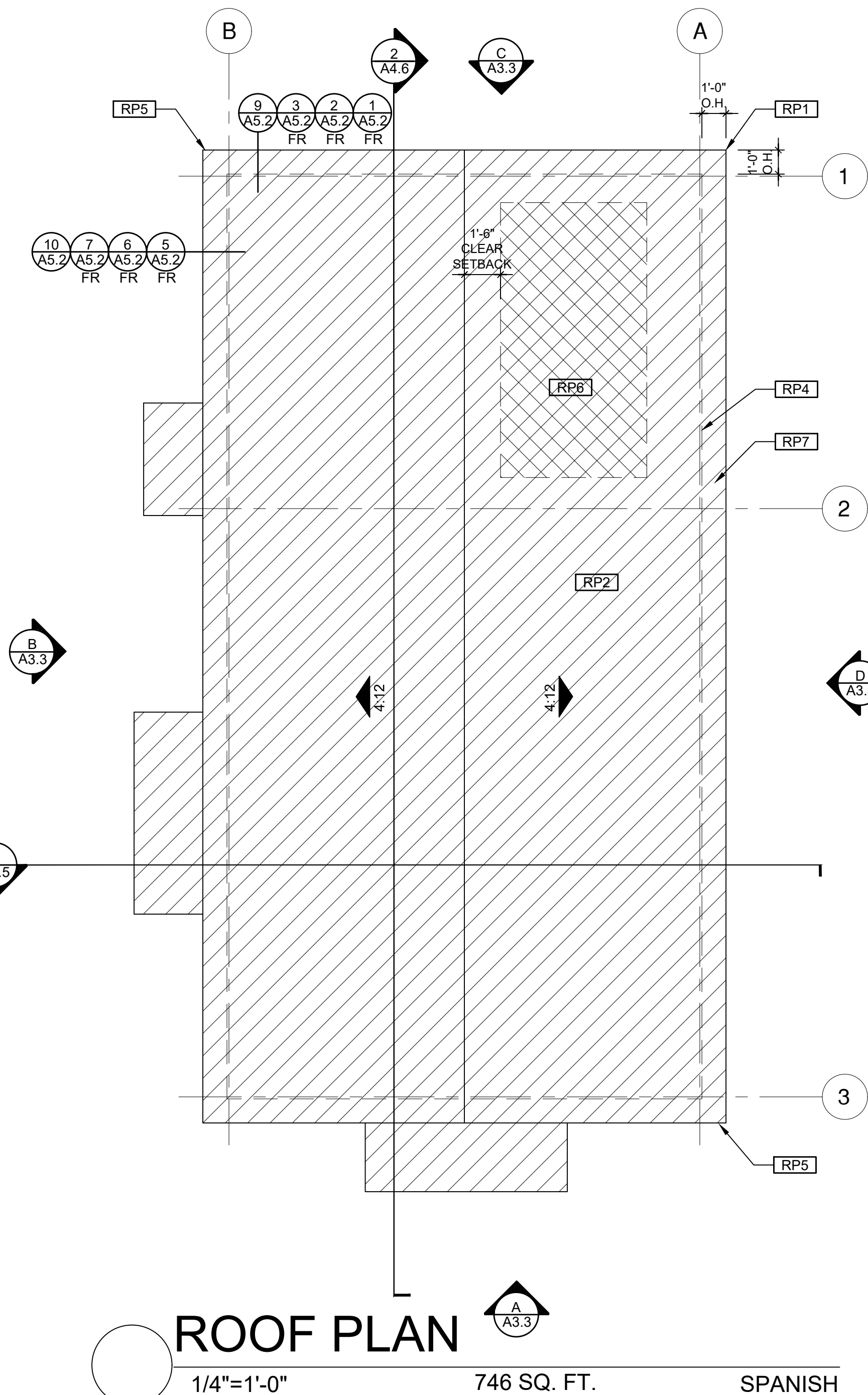
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project no. Riverside ADU

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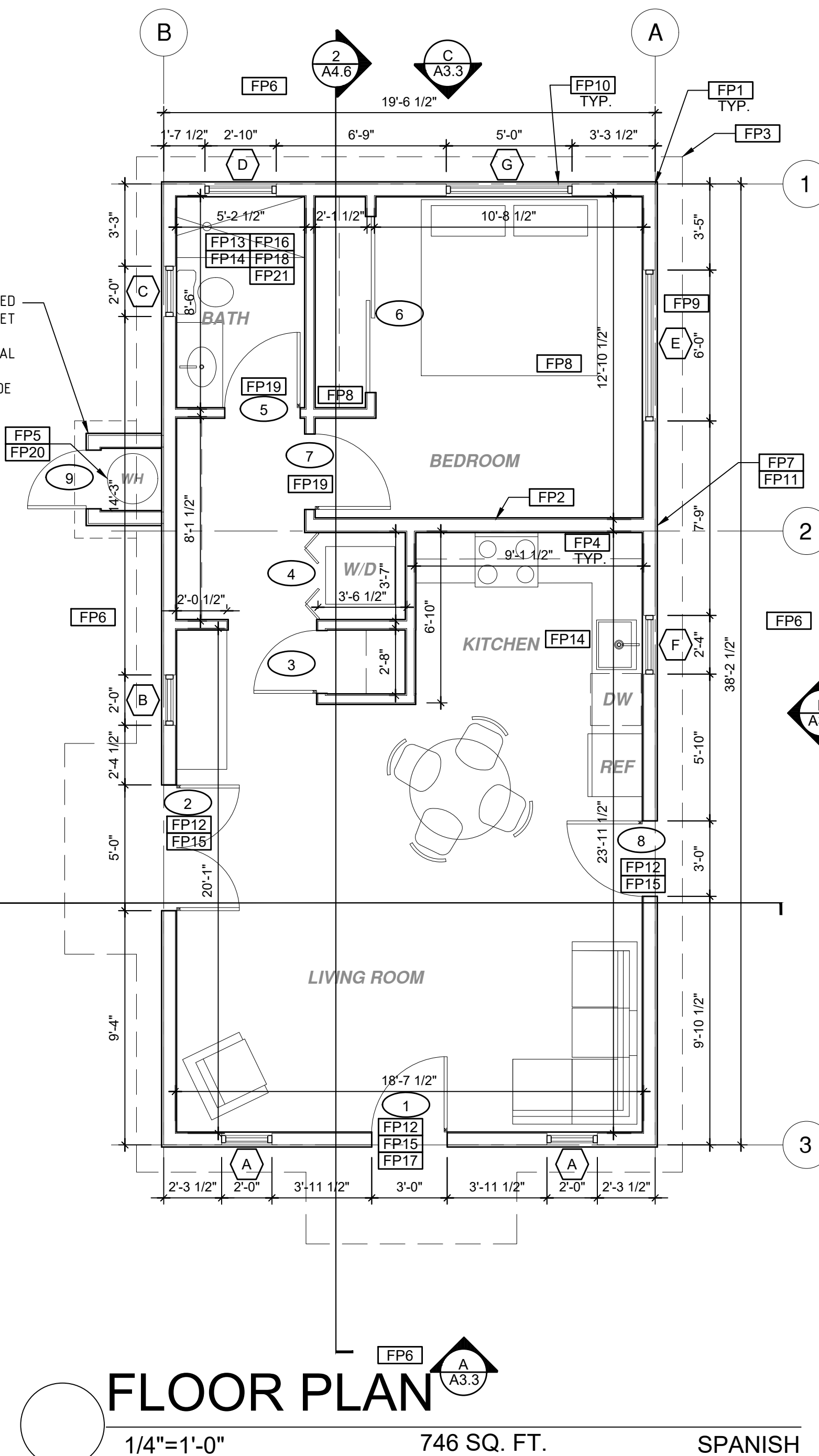
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ROOF KEYNOTES	FLOOR PLAN KEYNOTES	SOLAR READY NOTES	LEGEND
<p><b>RP1</b> LINE OF ROOF OVERHANG</p> <p><b>RP2</b> CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2</p> <p><b>RP3</b> SUPPORT POST BELOW</p> <p><b>RP4</b> LINE OF WALLS BELOW</p> <p><b>RP5</b> ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER IN HIGH FIRE SEVERITY ZONES.</p> <p><b>RP6</b> DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET</p> <p><b>RP7</b> RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4" MIN 3/8" OPENING SIZE ON VENT SCREEN WITH CORROSION RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET</p>	<p><b>FP1</b> STUD WALL SIZE PER STRUCTURAL</p> <p><b>FP2</b> 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING</p> <p><b>FP3</b> LINE OF OVERHANG ABOVE</p> <p><b>FP4</b> 36" HIGH COUNTER</p> <p><b>FP5</b> WATER HEATER</p> <p><b>FP6</b> SLOPE SURFACE AWAY FROM BUILDING</p> <p><b>FP7</b> DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING</p> <p><b>FP8</b> CLOSET SHELF AND POLE</p> <p><b>FP9</b> EMERGENCY EGRESS WINDOW</p> <p><b>FP10</b> WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS</p> <p><b>FP11</b> VENT DRYER THROUGH WALL. 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**ROOF PLAN**  
1/4"=1'-0" 746 SQ. FT. SPANISH

WATER HEATER MAY BE LOCATED INSIDE ADU IN AVAILABLE CLOSET AREA AT OWNER'S DISCRETION. ALL MECHANICAL AND ELECTRICAL REQUIREMENTS CALLED OUT IN THESE PLANS AND MINIMUM CODE REQUIREMENTS SHALL BE MET.



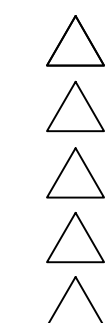
**FLOOR PLAN**  
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project  
City of Riverside  
Pre-Approved  
ADU Program

revisions



description

Roof &  
Floor Plan  
Spanish

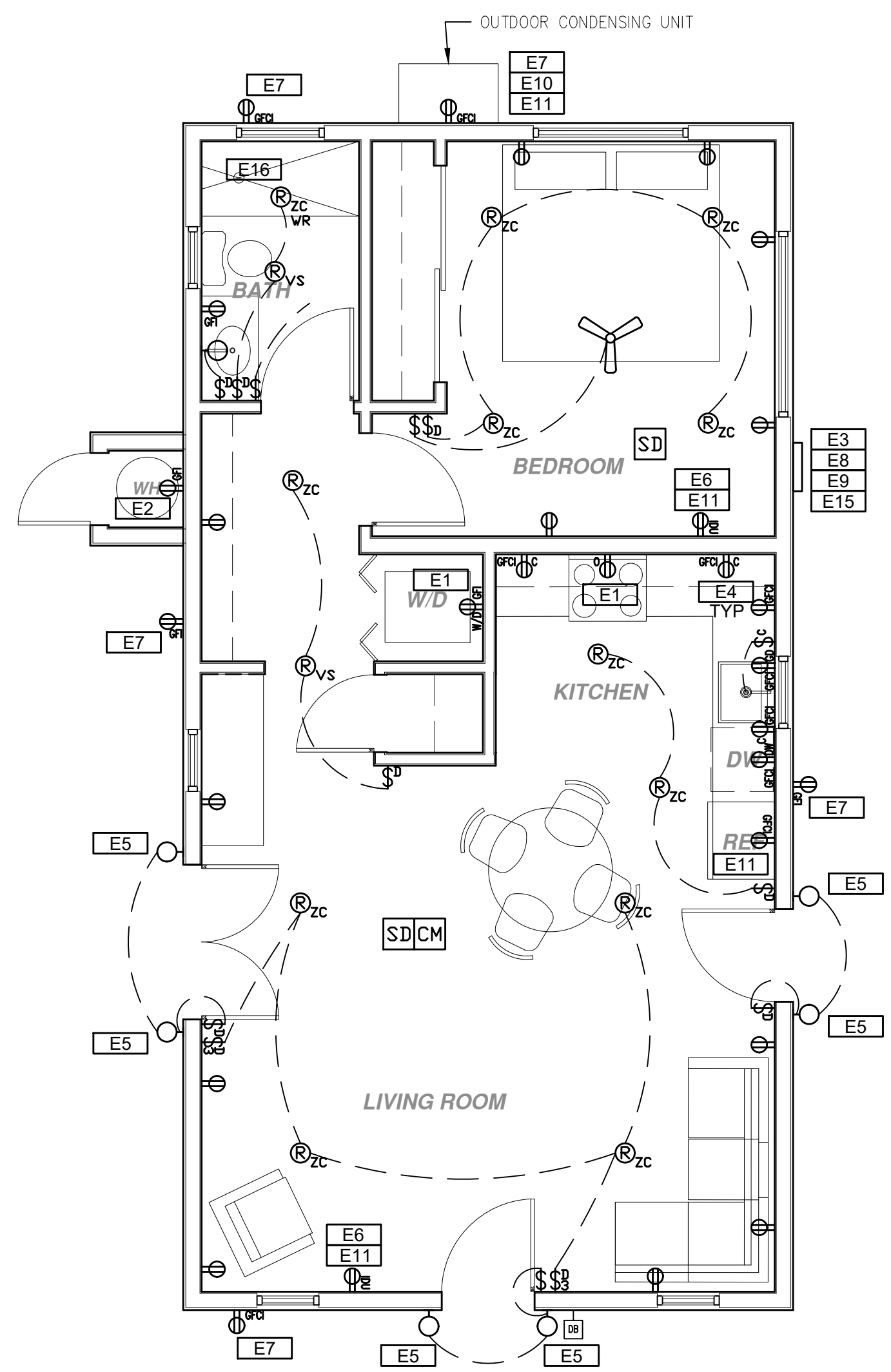
date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **A1.3**

ROOF KEYNOTES	FLOOR PLAN KEYNOTES	SOLAR READY NOTES	LEGEND
<p><b>RP1</b> LINE OF ROOF OVERHANG</p> <p><b>RP2</b> CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2</p> <p><b>RP3</b> SUPPORT POST BELOW</p> <p><b>RP4</b> LINE OF WALLS BELOW</p> <p><b>RP5</b> ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER IN HIGH FIRE SEVERITY ZONES.</p> <p><b>RP6</b> DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET</p> <p><b>RP7</b> RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 1/2" MIN 3/8" OPENING SIZE ON VENT SCREEN WITH CORROSION RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET</p>	<p><b>FP1</b> STUD WALL SIZE PER STRUCTURAL</p> <p><b>FP2</b> 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING</p> <p><b>FP3</b> LINE OF OVERHANG ABOVE</p> <p><b>FP4</b> 36" HIGH COUNTER</p> <p><b>FP5</b> WATER HEATER</p> <p><b>FP6</b> SLOPE SURFACE AWAY FROM BUILDING</p> <p><b>FP7</b> DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING</p> <p><b>FP8</b> CLOSET SHELF AND POLE</p> <p><b>FP9</b> EMERGENCY EGRESS WINDOW</p> <p><b>FP10</b> WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS</p> <p><b>FP11</b> VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</p> <p><b>FP12</b> MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 36 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP</p> <p><b>FP13</b> SHOWER ENCLOSURE MUST BE TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL. SHOWER DOORS SHALL OPEN AS TO MAINTAIN NOT LESS THAN A 22-INCH UNOBSTRUCTED OPENING FOR EGRESS.</p> <p><b>FP14</b> PER SECTION 301.1.1 CALGREEN AND CIVIL CODE 1101.3(c), ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER-CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</p> <p><b>FP15</b> LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/2" PER FOOT. (CRC 3111.3) LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7/8" FOR DOORS THAT DO NOT SWING OUTWARD. (CRC 3111.3.1) DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7/8" BELOW THE TOP OF THE THRESHOLD (CRC 3111.3.2)</p> <p><b>FP16</b> WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS USED AS BACKERS FOR WALL, TILE IN TUBE AND REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.</p> <p><b>FP17</b> DOOR BELL BUTTON TO BE NO MORE THAN 48" ABOVE EXTERIOR FLOOR OR LANDING</p> <p><b>FP18</b> WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL NOTE #28 ON SHEET G0.2 FOR FURTHER INFORMATION. WHERE THE WATER CLOSET IS NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR-MOUNTED, FOLD-AWAY OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS APPROVED BY THE ENFORCING AGENCY.</p> <p><b>FP19</b> DOOR TO HAVE A NET CLEAR OPENING OF 32"</p> <p><b>FP20</b> DESIGNATED 2'-6" x 2'-6" x 7' TALL MINIMUM AREA FOR INSTALLATION OF AN ELECTRIC HYBRID HEAT PUMP WATER HEATER PER CEC 2022 SECTION 150.0(N)</p> <p><b>FP21</b> FURRING AS NEEDED FOR STANDARD TUB AND SHOWER LENGTH</p>	<p>SOLAR READY ROOF AREA: MIN DIMENSION &gt; 5FT. MIN. SF &gt; 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b)</p> <p>THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND SPACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED BY LOCAL JURISDICTION</p> <p>SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN 250SQFT.</p> <p>FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.</p> <p>CAPACITY OF THE PV SYSTEMS PER THE INITIAL CF-1R-PRF: 1.75 kWdc TO BE UPDATED WITH SITE SPECIFIC NUMBERS.</p> <p><b>VENTILATING CALCULATIONS</b></p> <p>ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA. 746_SF VENTILATION AREA REQUIRED; 746_SF / 150SF = 4.97_SF. CONVERT TO SQ. IN. 4.97_SF x 144 = 716 SQ. IN. MINIMUM VENTILATION AREA REQUIRED: 716 SQ. IN.</p>	<p> SECTION CUT</p> <p> ELEVATION CALLOUT</p> <p> DETAIL DRAWING REF.</p> <p> WALL BELOW OR ROOF ABOVE</p> <p> SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2</p> <p> ROOFING</p> <p> KEYNOTE</p> <p> DOOR SYMBOL</p> <p> WINDOW SYMBOL</p> <p> CEILING HEIGHTS</p> <p> VAULTED CEILING</p> <p> ROOF SLOPE</p>



## ELECTRICAL PLAN

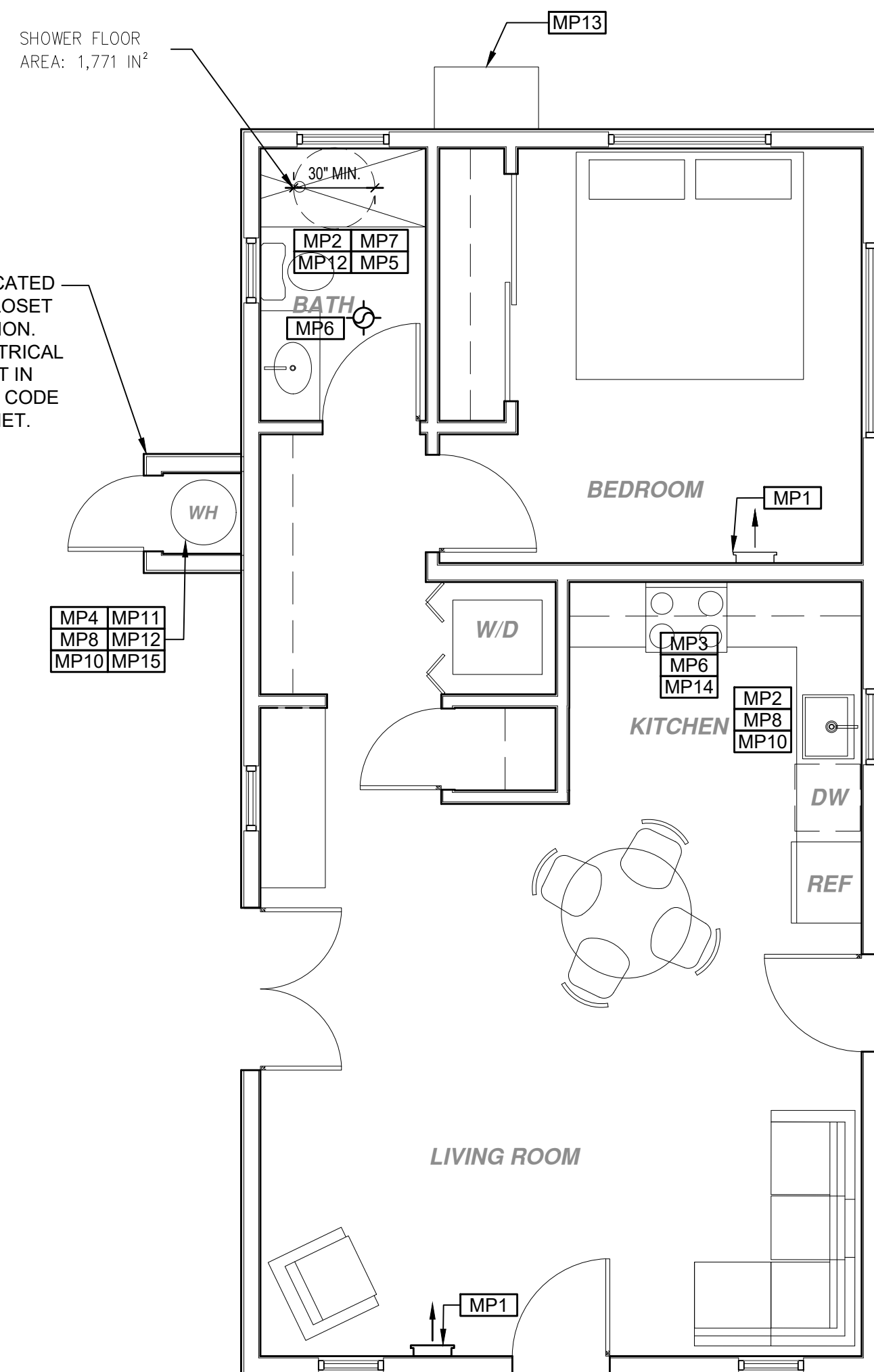
1/4"=1'-0"

WATER HEATER MAY BE LOCATED INSIDE ADU IN AVAILABLE CLOSET AREA AT OWNER'S DISCRETION. ALL MECHANICAL AND ELECTRICAL REQUIREMENTS CALLED OUT IN THESE PLANS AND MINIMUM CODE REQUIREMENTS SHALL BE MET.

TABLE 501.1(2) FIRST HOUR RATING IN GALLONS

# OF BATHROOMS	1 TO 1.5	2 TO 2.5	3 TO 3.5				
# OF BEDROOMS	1	2	3	4	5		
1ST HR RATING GAL.	38	49	49	62	62	74	74

FIRST-HOUR RATING CAN BE FOUND ON THE "ENERGY GUIDE" LABEL.



## MECHANICAL / PLUMBING PLAN

1/4"=1'-0"

### MECHANICAL / PLUMBING KEYNOTES

<b>MP1</b> INDOOR UNIT MINI SPLIT SYSTEM.	<b>MP9</b> DRYER EXHAUST OUTLET FROM DRYER TO EXTERIOR MAX LENGTH 14' WITH MAXIMUM OF TWO 90° ELBOWS EXHAUST VENT MUST TERMINATE A MIN. OF 3' FROM ANY OPENING. MIN. TYPE 1 CLOTHES DRYER EXHAUST DUCTS SHALL BE OF RIGID METAL & SHALL HAVE SMOOTH INTERIOR SURFACES. THE DIAMETER SHALL BE NOT LESS THAN 4 INCHES NOMINAL (100 MM), & THE THICKNESS SHALL BE NOT LESS THAN 0.016 OF AN INCH (0.406 MM). EXHAUST DUCTS & DRYER VENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS.
<b>MP2</b> WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GAL. OF WATER PER FLUSH. LAVATORIES LIMITED TO 1.2 GPM. KITCHEN FAUCETS NOT TO EXCEED 1.8 GPM AT 60 PSI THEY CAN INCREASE THE FLOW MOMENTARILY BUT CANT EXCEED 2.2 GALLONS PER MIN. AT 60 PSI AND MUST DEFAULT TO A MAX. FLOW RATE OF 1.8 GALLONS PER MIN AT 60 PSI. AND SHOWERS NOT EXCEED 1.8 GPM. AT 80 PSI AND ALL SHALL BE CERTIFIED TO MEET THE PERFORMANCE CRITERIA OF THE EPA WATERSENSE SPECIFICATIONS FOR SHOWERHEADS. CPC SECTIONS 407, 408, 411, 412 AND SECTION 301.1.1 CALGREEN CODE AND CIVIL CODE 1101.3(c)	<b>MP10</b> NEW WATER HEATER WITH T&P RELIEF VALVE AND DISCHARGE PIPE AT EXTERIOR. PROVIDE COMBUSTION AIR AND CLEARANCES PER MANUFACTURER REQUIREMENTS.
<b>MP3</b> EXHAUST HOOD ABOVE TO BE SMOOTH METALLIC INTERIOR SURFACE (CMC 504.3)	<b>MP11</b> NEW WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVES FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED
<b>MP4</b> NEW WATER HEATER PER T24 REQUIREMENTS - TO HAVE CONDENSATE DRAIN INSTALLED NO HIGHER THAN 2' ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS GRAVITY DRAINAGE PLEASE SEE TABLE 501.1(2) ON THIS SHEET FOR FIRST HOUR RATING IN GALLONS	<b>MP12</b> ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED: 3/4" PIPE (7" INSULATION); 1" PIPE (1" INSULATION); 1" TO 1-1/2" PIPE (1-1/2" INSULATION)
<b>MP5</b> CONTROL VALVES IN SHOWERS, BATHTUBS, & BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIX VALVES	<b>MP13</b> OUTDOOR CONDENSING UNIT TO BE PIPED TO INDOOR HVAC UNIT
<b>MP6</b> MINIMUM OF 3 FT CLEARANCE TO ANY OPENING INTO BUILDING FOR EXHAUST FAN TERMINATIONS	<b>MP14</b> A MINIMUM 100 CFM INTERMITTENT RATED HOOD OVER RANGE IS REQUIRED. IF USED FOR INDOOR AIR QUALITY THE FAN SHALL RUN CONTINUOUSLY AND BE HERV VERIFIED PER CEC TABLE 150.0-G, 160 CFM OR 65% CE AT 475°F, 130 CFM OR 65% CE AT 750-1000°F, 110CFM OR 50% CE AT 1000-1500°F, OR 110 CFM OR 50% AT 1500°F
<b>MP7</b> CLEARANCE FOR WATER CLOSET TO BE A MIN. OF 24" IN FRONT, AND 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5)	<b>MP15</b> WATER HEATERS WITH STORAGE TANKS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACE DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITH THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A MIN DISTANCE OF 4 IN SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING.
<b>MP8</b> THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK AND THE COLD WATER PIPE WITHIN 5' OF WATER HEATER BOTH REQUIRE 1" INSULATION	

### ELECTRICAL KEYNOTES

<b>E1</b> DEDICATED 30 AMP/ 240V POWER FOR ELECTRIC DRYER OR OVEN. VERIFY REQUIREMENTS WITH APPLIANCE SPECIFICATIONS - ELECTRIC COOKTOP READY REQUIREMENTS ARE TO BE IMPLEMENTED. SEE SHEET G02. ELECTRIC READY 150.0(u) FOR REQUIREMENTS	<b>E10</b> OUTDOOR CONDENSING UNIT RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF THE HEATING AND COOLING EQUIPMENT AND SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THIS RECEPTACLE SHALL BE GFCI-WP PROTECTED.
<b>E2</b> OUTLET FOR NEW ELECTRIC HYBRID HEAT PUMP WATER HEATER WITHIN 3' OF WATER HEATER. SEE ELECTRICAL NOTE #15 ON G02 FOR MORE INFORMATION	<b>E11</b> A DISCONNECTING MEANS CAPABLE OF DISCONNECTING AIR-CONDITIONING AND REFRIGERATING EQUIPMENT, INCLUDING MOTOR-COMPRESSORS AND CONTROLLERS FROM THE CIRCUIT CONDUCTOR IS REQUIRED WITHIN SIGHT FROM THE EQUIPMENT LOCATION PER CEC SECTION 440.11
<b>E3</b> SUBPANEL LOCATION. ALTERNATE LOCATION TO BE DETERMINED BY OWNER	<b>E12</b> PER CEC 2022 150.0(u) 1.A., THE DESIGNATED SPACE IS WITHIN 3 FEET FROM THE WATER HEATER AND IS TO COMPLY WITH ELECTRICAL NOTES 15&16 ON SHEET G02
<b>E4</b> OUTLET AT COUNTER HEIGHT - SHALL COMPLY WITH CEC ARTICLE 210.52(C). IN KITCHENS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER. SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24" ISLAND IN PENINSULAR COUNTERTOPS 12" X 24" LONG (OR GREATER) SHALL HAVE AT LEAST ONCE RECEPTACLE	<b>E13</b> NOT USED
<b>E5</b> OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL / MOTION SENSOR.	<b>E14</b> ALL SINGLE-FAMILY RESIDENCES THAT INCLUDE ONE OR TWO DWELLING UNITS SHALL MEET THE FOLLOWING ENERGY STORAGE SYSTEMS (ESS) READY REQUIREMENTS. ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CEC. SEE SHEET G02. ELECTRIC READY 150.0(u) FOR REQUIREMENTS
<b>E6</b> OUTLET DEDICATED FOR INDOOR HVAC UNIT	<b>E15</b> SUFFICIENT SPACE SHALL BE RESERVED TO ALLOW FUTURE INSTALLATION OF A SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH WITHIN 3FT OF THE MAIN PANELBOARD. RACEWAYS SHALL BE INSTALLED BETWEEN THE PANELBOARD & THE SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH LOCATION TO ALLOW THE CONNECTION OF BACKUP POWER SOURCE.
<b>E7</b> WEATHER RESISTANT TYPE RECEPTACLES GFCI PROTECTED	<b>E16</b> LIGHTS OVER TUBS AND SHOWERS ARE TO BE MARKED FOR DAMP/WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY
<b>E8</b> OVER-CURRENT FEEDER TO EXTEND TO EXISTING PANEL. ALUMINUM CONDUCTOR BURIED UNDER GROUND WITH AWG ALLOWABLE VOLTAGE DROP PER CEC 250.4	
<b>E9</b> SEPARATE GROUND ELECTRODE SYSTEM PER CEC 250.4	

### MECHANICAL LEGEND

<b>MECHANICAL</b>	BATHROOM EXHAUST FAN: MINIMUM 50 CFM TO BE DUCTED TO THE EXTERIOR AND SHALL PROVIDE FIVE AIR CHANGES PER HOUR. CFM AND NOISE RATING MAXIMUM 3 SONE FOR INTERMITTENT USE. DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SHALL COMPLY WITH THE FOLLOWING: • AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING-MOUNTED FAN • NOT LESS THAN 3' FROM THE DOOR OPENING OF A BATHROOM • AT LEAST 20" FROM A COOKING APPLIANCE OR 10" FROM COOKING APPLIANCE WHEN THE ALARM IS AN IONIZING SMOKE ALARM • PER NFPA 72 SECTION 29.8.3.4 ITEM 4 • AT LEAST 3' FROM SUPPLY REGISTERS OF A HEATING / COOLING SYSTEM
<b>CM</b>	CARBON MONOXIDE ALARM PERMANENTLY WIRED WITH BATTERY BACKUP PER SECTION R015. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.
<b>MECHANICAL LEGEND</b>	DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS: 1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI ACCA 2 MANUAL J-2011 OR EQUIVALENT 2. SIZE DUCT SYSTEMS ACCORDING TO SHARE STANDARD 62.2 TABLE 7.1 PROVIDED ON THIS SHEET 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI ACCA 3 MANUAL S-2014 OR EQUIVALENT.
	RETURN AIR GRILLE, WALL MOUNTED
	SUPPLY AIR DIFFUSER, WALL MOUNTED
	THERMOSTAT
	HOSE BIB

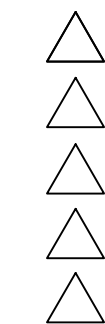
### ELECTRICAL LEGEND

<b>FIRE DETECTION</b>	<b>POWER/DATA</b>	<b>SWITCHING</b>	<b>LIGHTING</b>																																																																																																										
<b>SD</b> SMOKE DETECTORS PER SECTION R014 DETECTORS SHALL BE PERMANENTLY WIRED WITH BATTERY BACKUP. SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS. ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SHALL COMPLY WITH THE FOLLOWING: • AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING-MOUNTED FAN • NOT LESS THAN 3' FROM THE DOOR OPENING OF A BATHROOM • AT LEAST 20" FROM A COOKING APPLIANCE OR 10" FROM COOKING APPLIANCE WHEN THE ALARM IS AN IONIZING SMOKE ALARM • PER NFPA 72 SECTION 29.8.3.4 ITEM 4 • AT LEAST 3' FROM SUPPLY REGISTERS OF A HEATING / COOLING SYSTEM	<b>TR</b> TAMPER RESISTANT RECEPTACLE WALL MOUNTED, 110 V DUPLEX I/O ON. GFI = WATER PROOF GFCI CT = COOKTOP/ GRILL 240 V O = OVEN 240 V MW = MICROWAVE 110 V GD = GARBAGE DISPOSAL, 110 V R = RANGE 220V C = COUNTER HEIGHT 6" ABV COUNTER IDU = INDOOR UNIT POWER 84" AFF FIELD. PHONE / DATA / MEDIA FLOOR MOUNTED DUPLEX RECEPTACLE, VERIFY LOCATION IN FIELD. SPECIAL PURPOSE CONNECTION (VOLTAGE SHALL MATCH APPLIANCE REQ.) SUB PANEL	<b>SWITCHING</b> SWITCH MOUNT AT 43" AFF THREE-WAY SWITCH FOUR-WAY SWITCH DIMMER SWITCH MOUNT 6" ABV COUNTER OCCUPANCY/VACANCY SENSOR <b>MISC.</b> CEILING FAN/LIGHT COMBO CIRCUIT WIRING DOOR BELL BUTTON	<b>LIGHTING</b> CEILING, RECESSED, DIRECTIONAL ZERO CLEARANCE IC RATED LED BULB CEILING, RECESSED, ZERO CLEARANCE IC RATED LED BULB CEILING, RECESSED, ZERO CLEARANCE IC RATED, WATER RESISTANT, LED BULB CEILING, RECESSED, LED BULB WITH OCCUPANT OR VACANCY SENSOR WALL MOUNTED LIGHT JUNCTION BOX FLUSH CEILING MOUNTED UNDER COUNTER LIGHTING LOW VOLTAGE, LANDSCAPE LIGHT FLUORESCENT FIXTURE (USE SHALLOV TYPE WHEN UNDER COUNTER)																																																																																																										
<b>Table 213.1.1 Maximum Allowable Duct Length (ft)</b>	<b>Table 213.1.2 Maximum Allowable Duct Length (ft)</b>																																																																																																												
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<b>BATHROOM EXHAUST FAN REQUIREMENTS:</b> PER CGBC 4.506.1- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. A HUMIDITY CONTROL SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF <= 50 % TO A MAXIMUM OF 80 %. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. 3. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRALLY BUILT IN. <b>RESIDENTIAL ENERGY LIGHTING REQUIREMENTS:</b> ES 150.0(K) IN THE KITCHEN, AT LEAST ONE-HALF OF THE WATTAGE RATING OF THE FIXTURES MUST BE HIGH EFFICACY. BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS, AT LEAST ONE INSTALLED LUMINAIRE SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY. *ALL THROUGHOUT THE RESIDENCE, INCLUDING THE GARAGE AND EXTERIOR, SHALL BE HIGH EFFICACY.																																																																																																													

project

City of Riverside  
Pre-Approved  
ADU Program

revisions



description

Mechanical/  
Electrical/  
Plumbing  
Plan

date

October 2023

project no.

Riverside ADU

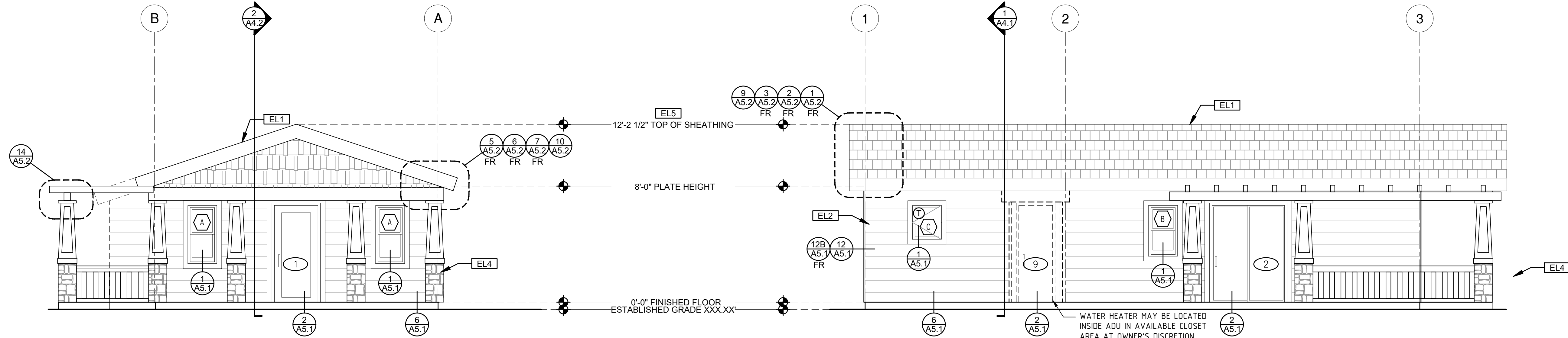
drawn by

DESIGN PATH STUDIO

sheet no.

A2.1

FIRE RATED DETAILS NOTED WITH THE ABBREVIATION "FR" ARE TO BE USED WHEN THE PROPERTY IS LOCATED IN THE VERY HIGH FIRE SEVERITY ZONE (VHFSZ) OR WILDLAND URBAN INTERFACE (WUI) ZONE OR WHEN WALLS AND ROOF EAVES ARE LESS THAN 5 FT FROM PROPERTY LINE IN AN UNSPRINKLERED BUILDING OR LESS THAN 3 FT FROM PROPERTY LINE IN UNSPRINKLERED BUILDINGS PER TABLE R302.1(1) & R302.1(2).  
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**ELEVATION - A**

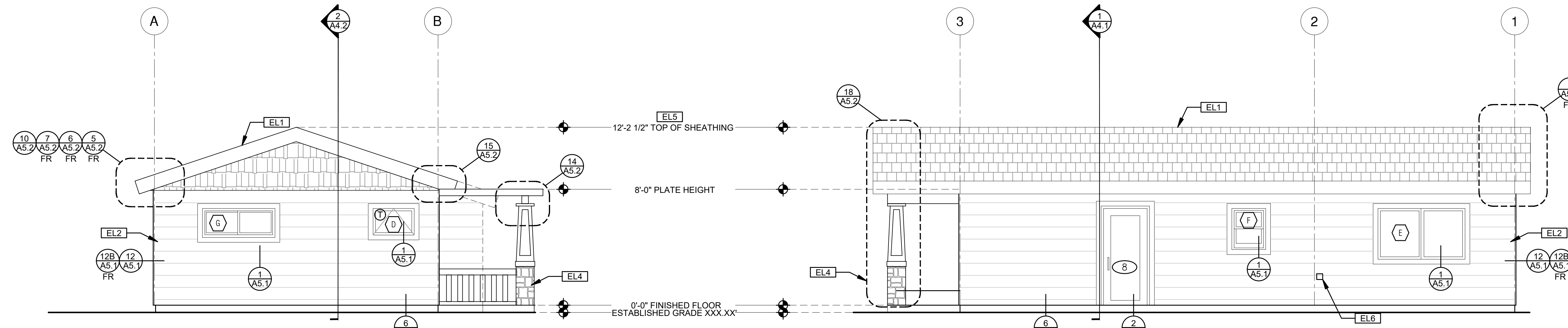
1/4"=1'-0"

CRAFTSMAN

**ELEVATION - B**

1/4"=1'-0"

CRAFTSMAN



**ELEVATION - C**

1/4"=1'-0"

CRAFTSMAN

**ELEVATION - D**

1/4"=1'-0"

CRAFTSMAN

**ELEVATION KEYNOTES**

- EL1 MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS
- EL2 SIDING
- EL3 STUCCO
- EL4 STONE VENEER
- EL5 HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES
- EL6 DRYER VENT TERMINATION (MINIMUM OF 3 FT FROM ANY OPENING)

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6. LATH & PLASTER  
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**LEGEND**

- SECTION CUT
- ELEVATION CALLOUT
- DETAIL DRAWING REF.
- ELEVATION MARKER
- KEYNOTE
- DOOR SYMBOL
- WINDOW SYMBOL
- TEMPERED GLASS
- SPRAY FIN. STUCCO
- BOARD & BATTEN
- GLAZING
- ROOFING

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project  
 City of Riverside  
 Pre-Approved  
 ADU Program

revisions  
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description  
**Exterior Elevations Craftsman**

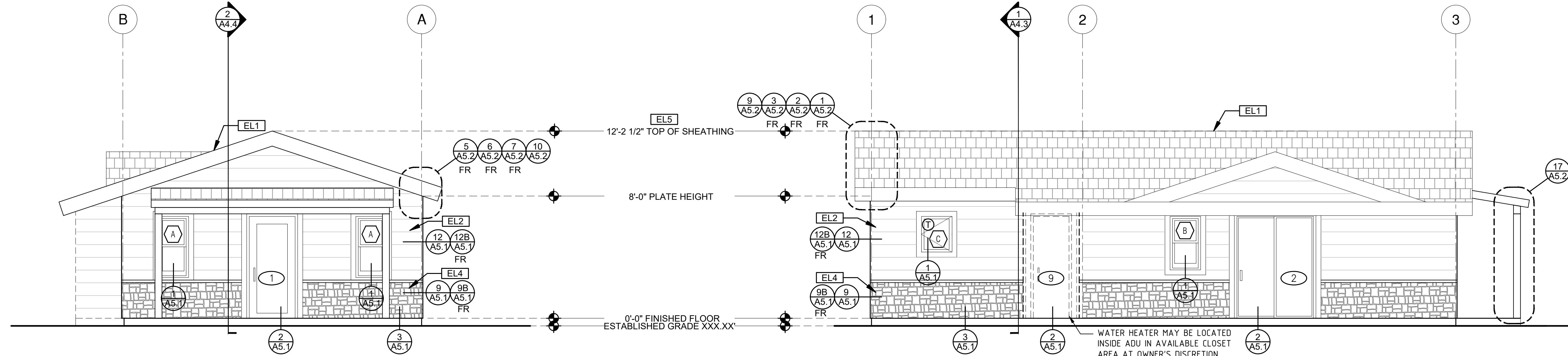
date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **A3.1**

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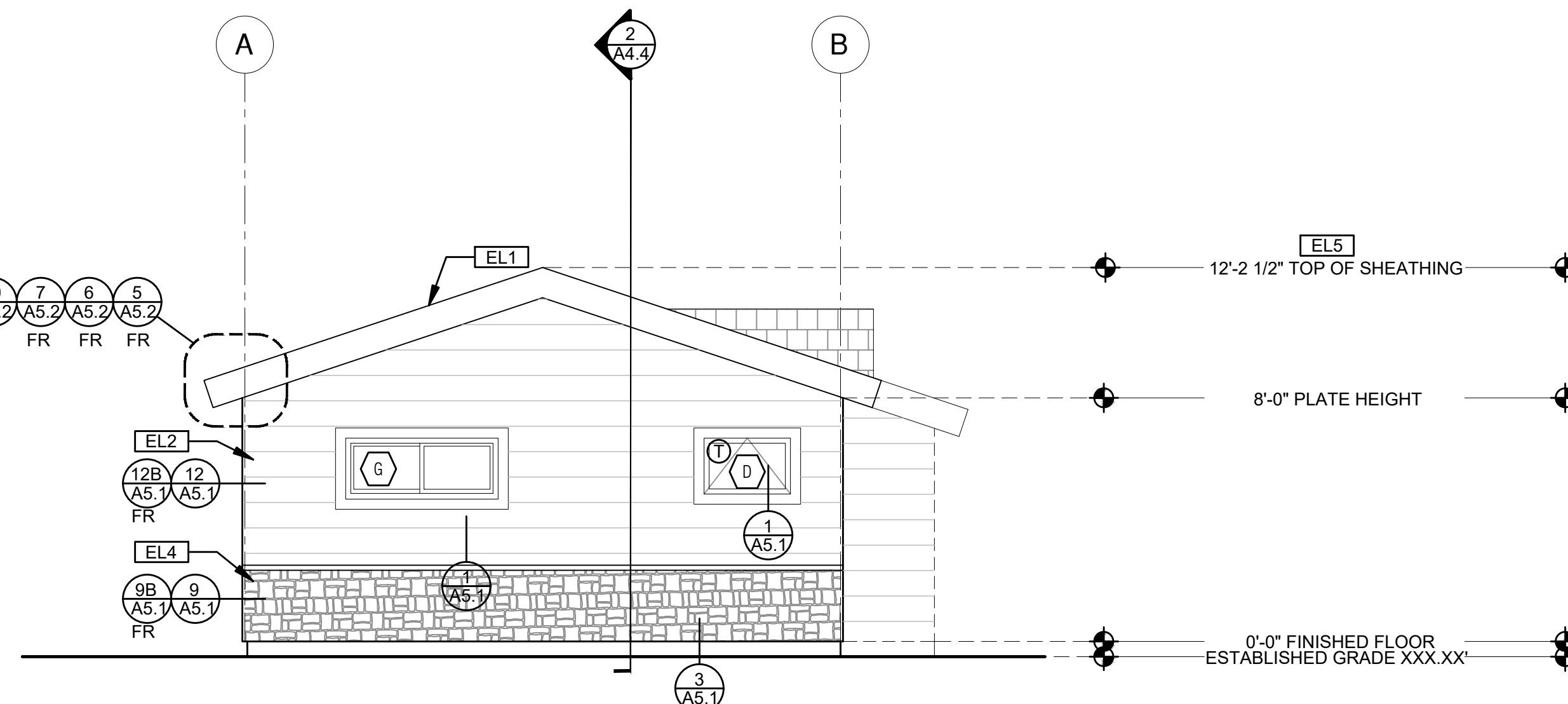


**ELEVATION - A**

1/4"=1'-0" RANCH

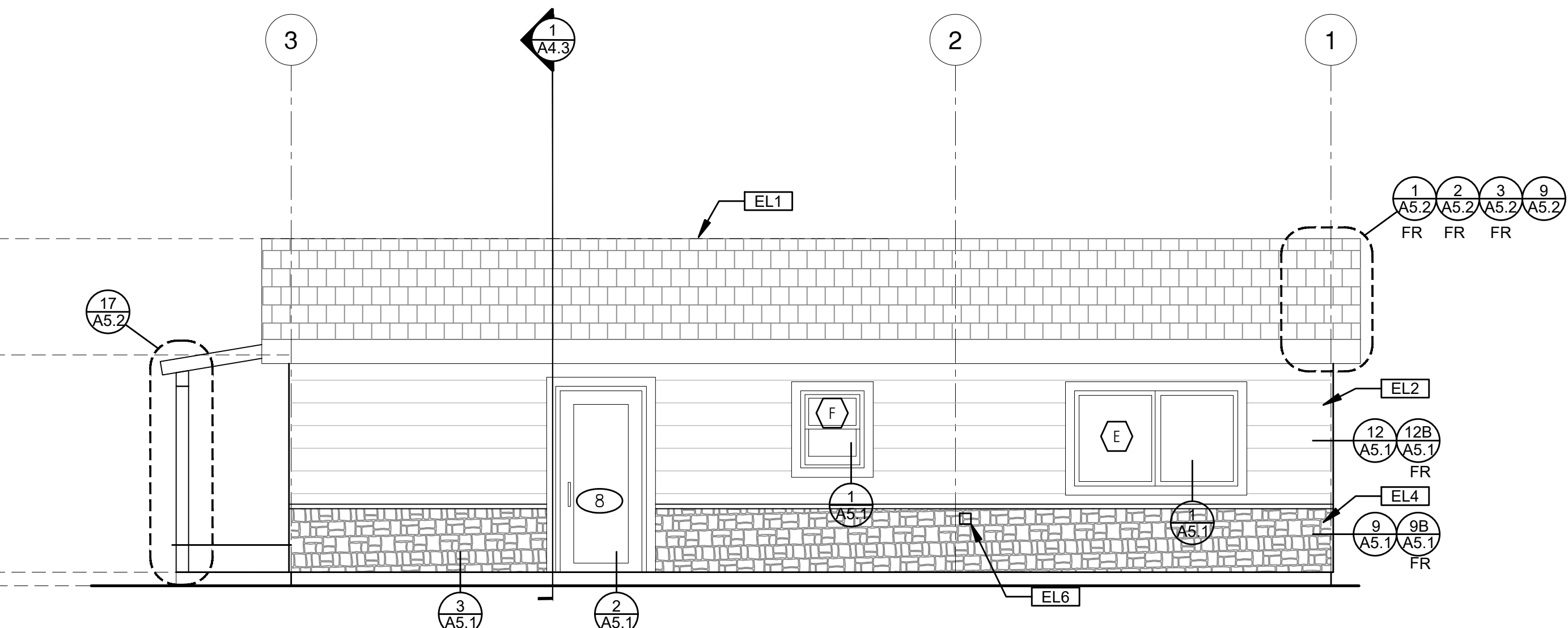
**ELEVATION - B**

1/4"=1'-0" RANCH



**ELEVATION - C**

1/4"=1'-0" RANCH



**ELEVATION - D**

1/4"=1'-0" RANCH

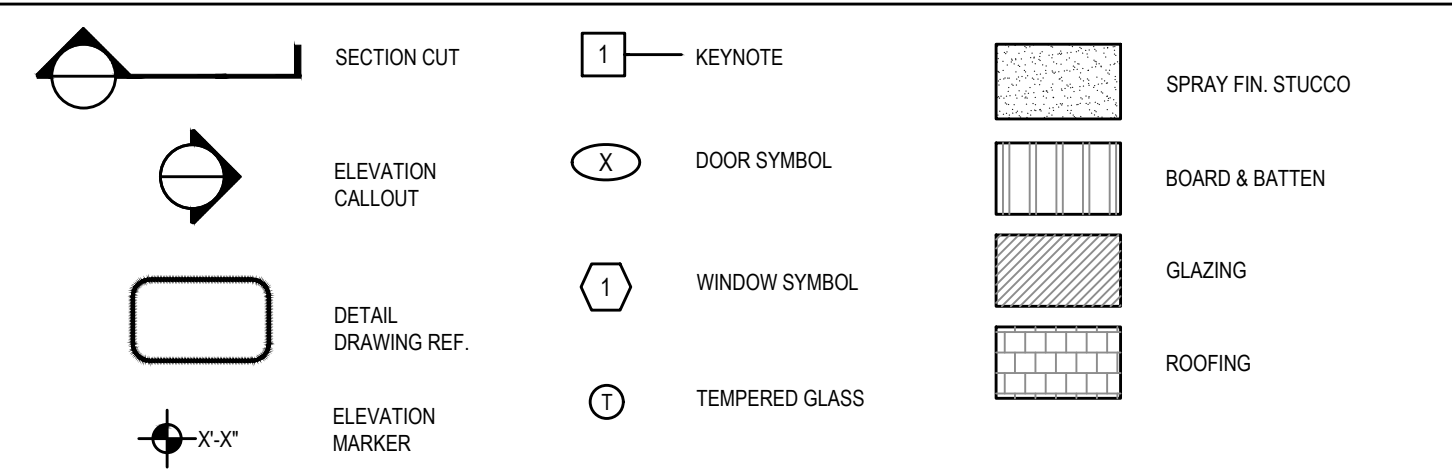
**ELEVATION KEYNOTES**

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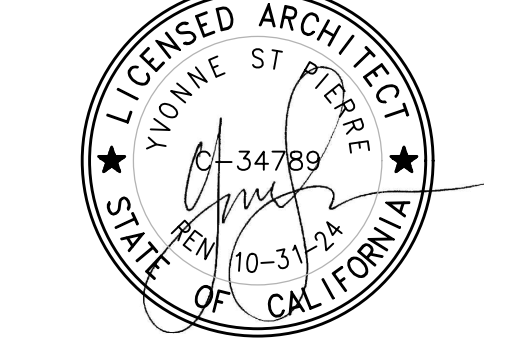
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**LEGEND**



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project  
 City of Riverside  
 Pre-Approved  
 ADU Program

- revisions
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description  
**Exterior Elevations Ranch**

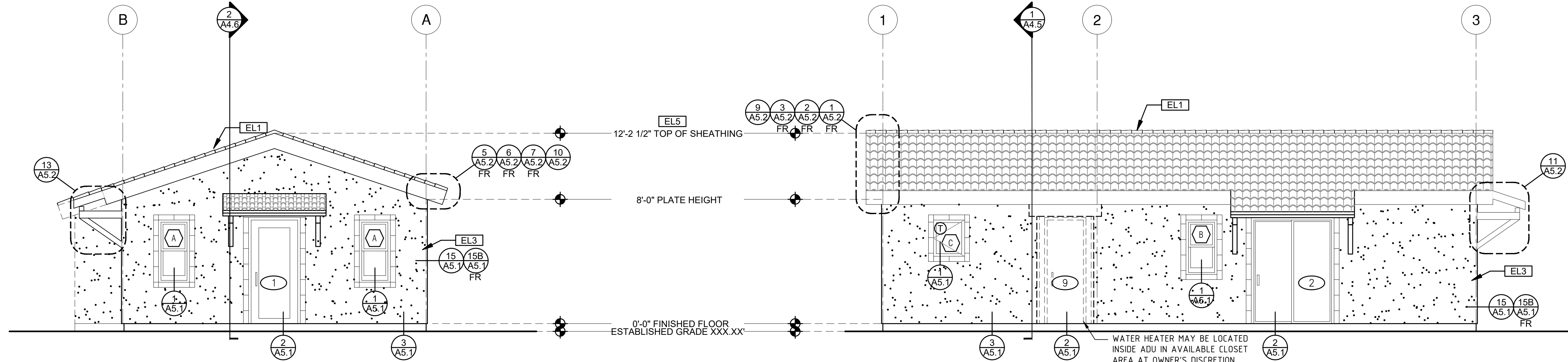
date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **A3.2**

FIRE RATED DETAILS NOTED WITH THE ABBREVIATION "FR" ARE TO BE USED WHEN THE PROPERTY IS LOCATED IN THE VERY HIGH FIRE SEVERITY ZONE (VHFSZ) OR WILDLAND URBAN INTERFACE (WUI) ZONE OR WHEN WALLS AND ROOF EAVES ARE LESS THAN 5 FT FROM PROPERTY LINE IN AN UNSPRINKLERED BUILDING OR LESS THAN 3 FT FROM PROPERTY LINE IN UNSPRINKLERED BUILDINGS PER TABLE R302.1(1) & R302.1(2). FIRE RATED DETAILS ARE ALSO TO BE USED WHEN THE ADU IS LESS THAN 10 FT FROM THE MAIN DWELLING UNIT IN AN UNSPRINKLERED BUILDING OR LESS THAN 6 FT FROM THE MAIN DWELLING UNIT IN A SPRINKLERED BUILDING.



**ELEVATION - A**

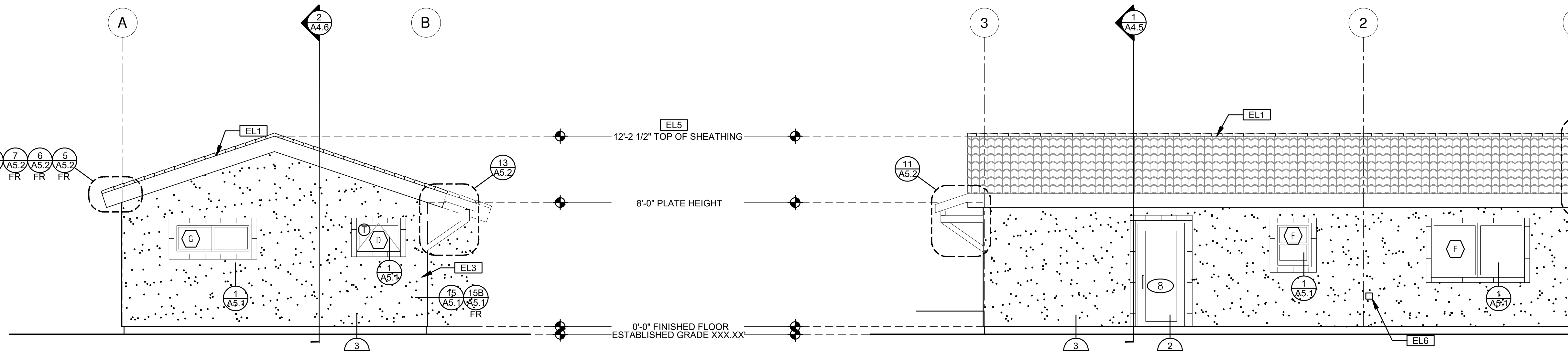
1/4"=1'-0"

SPANISH

**ELEVATION - B**

1/4"=1'-0"

SPANISH



**ELEVATION - C**

1/4"=1'-0"

SPANISH

**ELEVATION - D**

1/4"=1'-0"

SPANISH

**ELEVATION KEYNOTES**

- EL1 MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS
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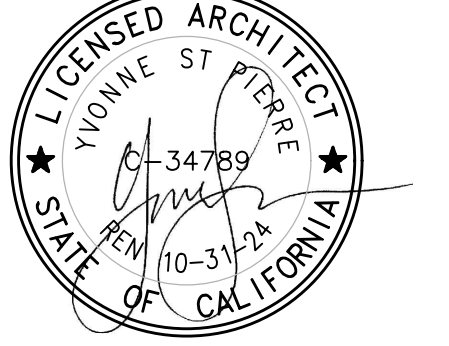
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**LEGEND**

- SECTION CUT
- ELEVATION CALLOUT
- DETAIL DRAWING REF.
- ELEVATION MARKER
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- TEMPERED GLASS
- SPRAY FIN. STUCCO
- BOARD & BATTEN
- GLAZING
- ROOFING

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project  
 City of Riverside  
 Pre-Approved  
 ADU Program

- revisions
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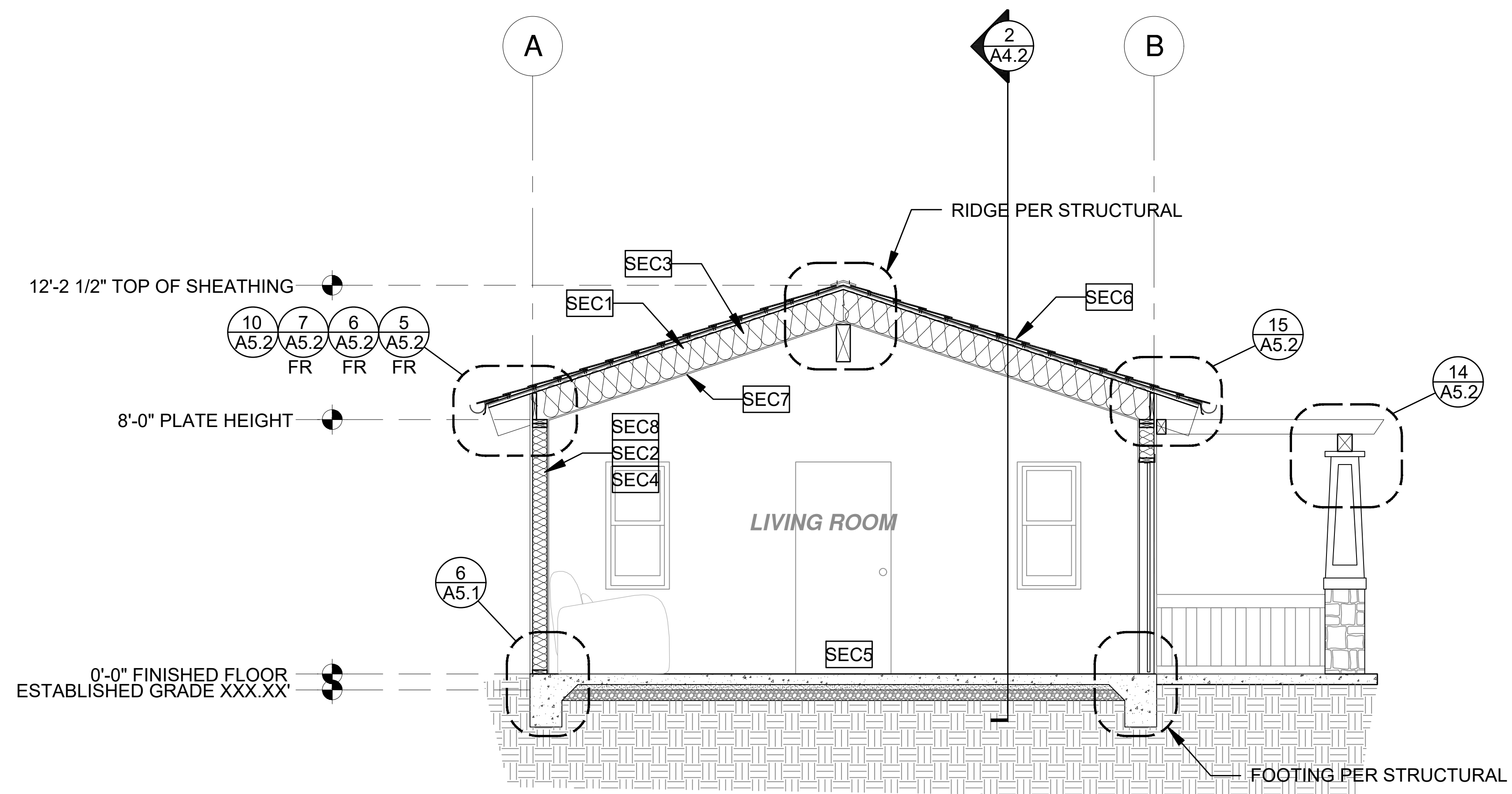
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**Exterior Elevations Spanish**

date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **A3.3**



1 SECTION - 1 BEDROOM  
3/8"=1'-0" CRAFTSMAN

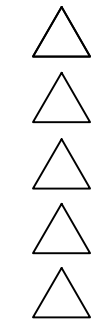
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project

City of Riverside  
Pre-Approved  
ADU Program

revisions



description

Building  
Sections  
Craftsman

date October 2023

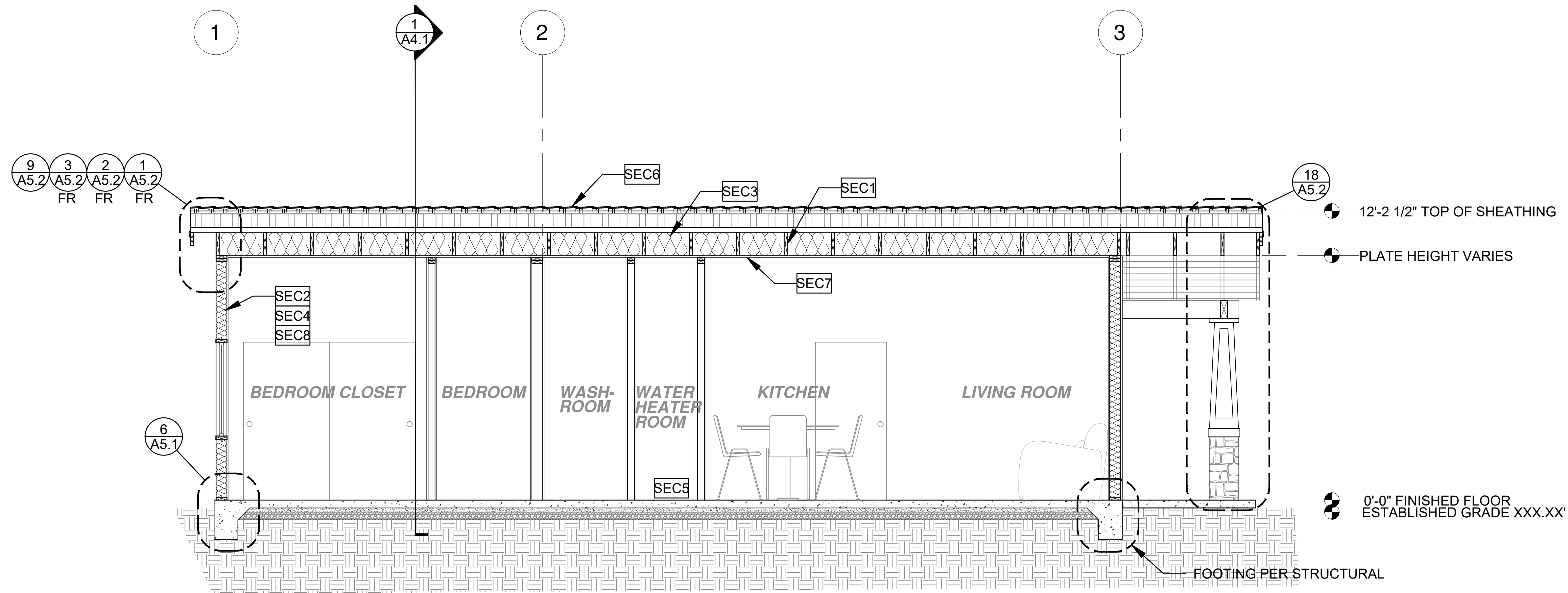
project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **A4.1**

SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p> <p><b>SEC7</b> 5/8" GYPSUM WALLBOARD MOUNTED ON RESILIENT CHANNELS WHEN THE BUILDING IS IN AREA IMPACTED BY A CNEL NOISE LEVEL OF 60DBA OR ABOVE</p> <p><b>SEC8</b> 5/8" GYPSUM WALLBOARD</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 1/4" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED</p> <p>5. INSULATION THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTERS FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, &amp; STRUCTURAL PLANS. "KEYNOTES ONLY APPLY IF REFERENCED ON PLANS"</p> <p>1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION</p> <p>2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2022 CRC SECTION R302.11: A. SECTION R302.11-1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT CEILING AND FLOOR LEVELS B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT</p> <p>9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES. SEE SECTION R1003.19 FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL NUMBER 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE HALF-INCH GYPSUM BOARD 6. ONE FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p>	<p><b>SECTION CUT</b></p> <p><b>ELEVATION CALLOUT</b></p> <p><b>DETAIL DRAWING REF.</b></p> <p><b>ELEVATION MARKER</b></p>





2 SECTION - 1 BEDROOM  
3/8"=1'-0"  
CRAFTSMAN

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project

City of Riverside  
Pre-Approved  
ADU Program

revisions

- △
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- △

description

Building  
Sections  
Craftsman

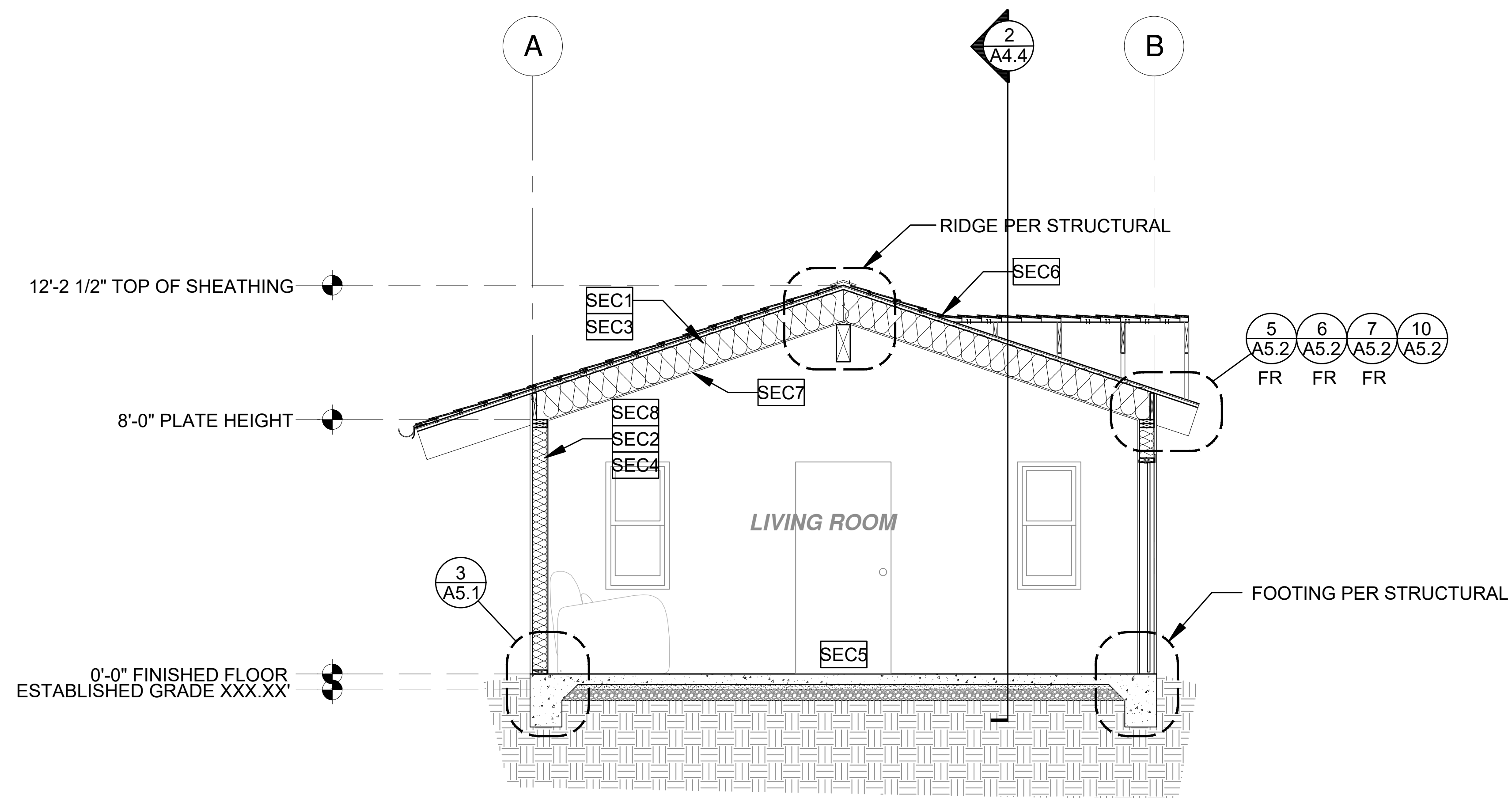
date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **A4.2**

SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p> <p><b>SEC7</b> 5/8" GYPSUM WALLBOARD MOUNTED ON RESILIENT CHANNELS WHEN THE BUILDING IS IN AREA IMPACTED BY A CNEL NOISE LEVEL OF 60DBA OR ABOVE</p> <p><b>SEC8</b> 5/8" GYPSUM WALLBOARD</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 1/8" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED</p> <p>5. INSULATION THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, &amp; STRUCTURAL PLANS. "KEYNOTES ONLY APPLY IF REFERENCED ON PLANS" 1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION 2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2022 CRC SECTION R302.11: A. SECTION R302.11-1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT CEILING AND FLOOR LEVELS B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT</p> <p>9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E158 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES. SEE SECTION R1003.19</p> <p>FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL LUMBER 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE HALF-INCH GYPSUM BOARD 6. ONE FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p>	<p><b>LEGEND</b></p> <p>SECTION CUT</p> <p>ELEVATION CALLOUT</p> <p>DETAIL DRAWING REF.</p> <p>ELEVATION MARKER</p>



1 SECTION - 1 BEDROOM RANCH  
3/8"=1'-0"

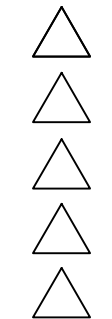
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project

City of Riverside  
Pre-Approved  
ADU Program

revisions



description

Building  
Sections  
Ranch

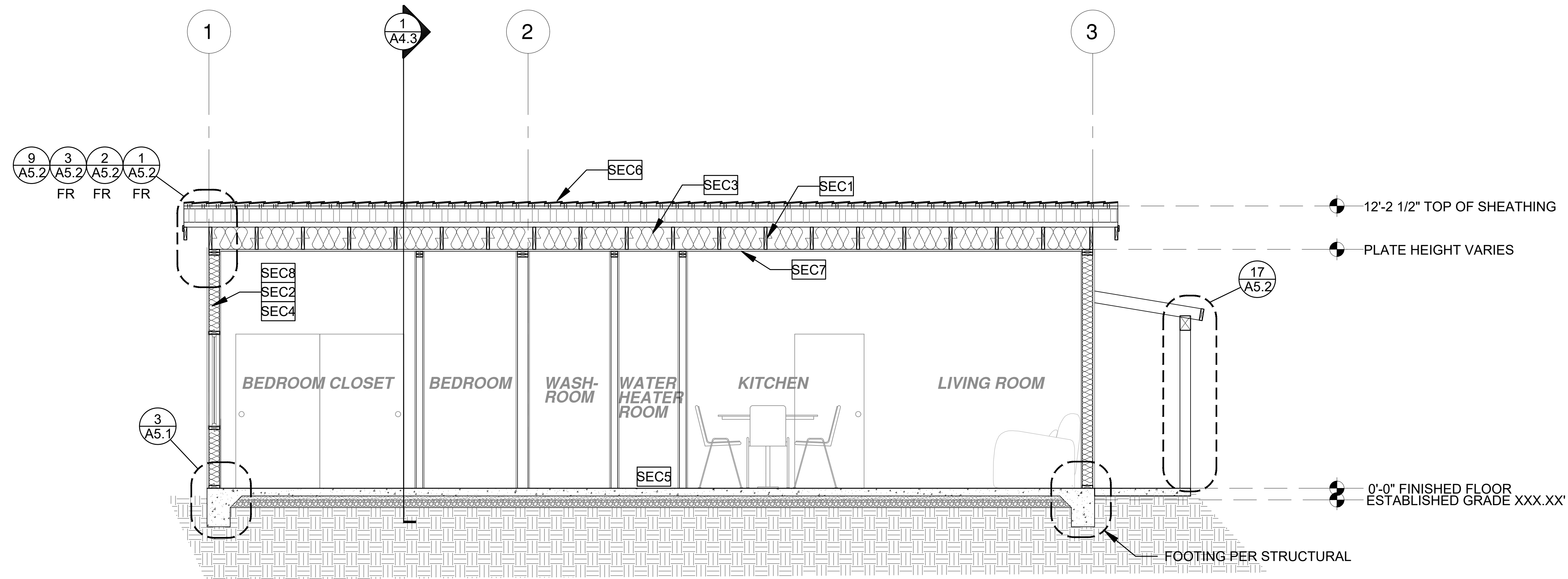
date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **A4.3**

SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
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SECTION - 1 BEDROOM  
3/8"=1'-0"  
RANCH

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City of Riverside  
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revisions  
description  
**Building  
Sections  
Ranch**

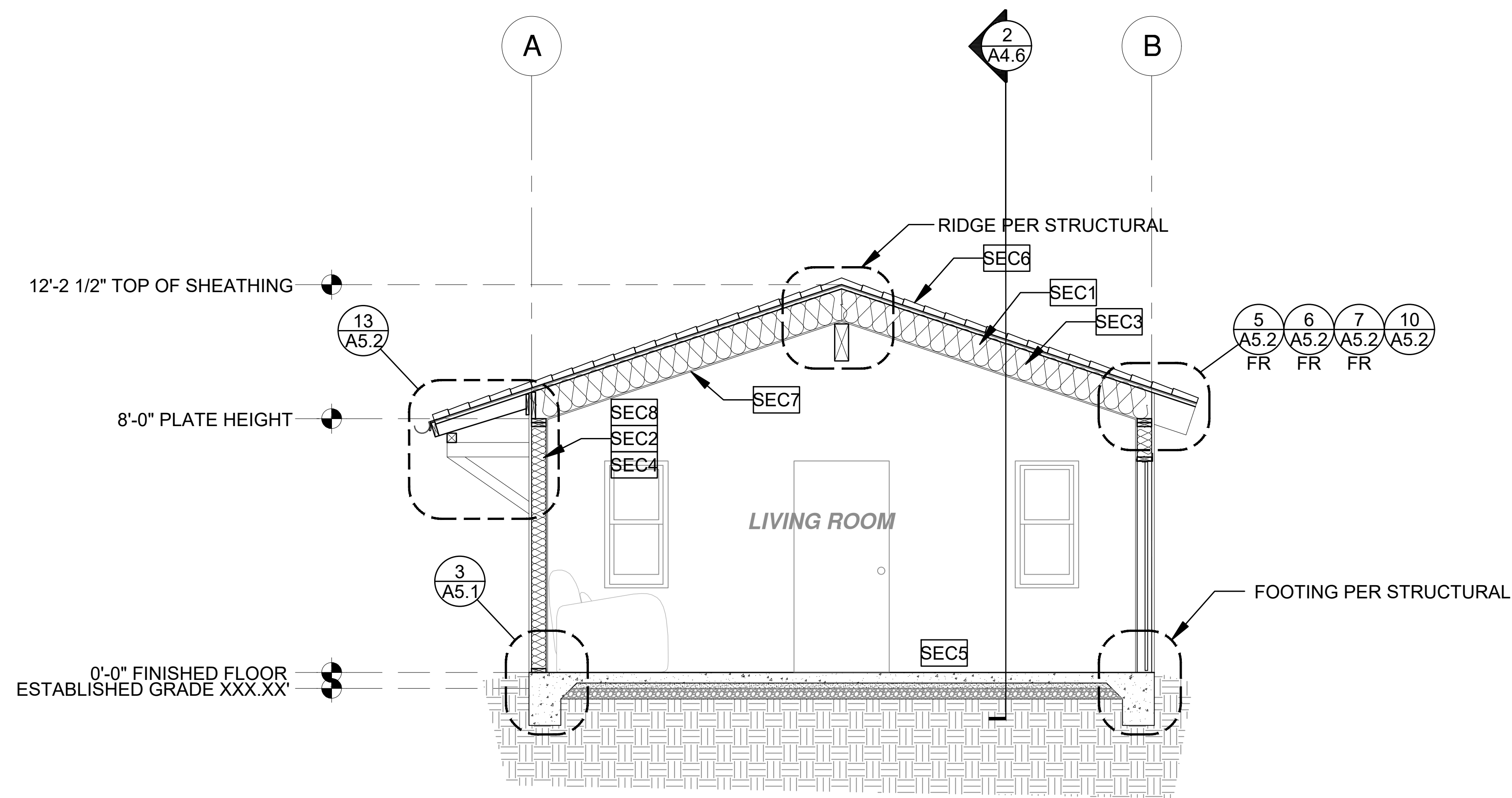
date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **A4.4**

SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p> <p><b>SEC7</b> 5/8" GYPSUM WALLBOARD MOUNTED ON RESILIENT CHANNELS WHEN THE BUILDING IS IN AREA IMPACTED BY A CNEL NOISE LEVEL OF 60DBA OR ABOVE</p> <p><b>SEC8</b> 5/8" GYPSUM WALLBOARD</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS, ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 1/2" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED</p> <p>5. INSULATION THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, &amp; STRUCTURAL PLANS. "KEYNOTES ONLY APPLY IF REFERENCED ON PLANS" 1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION 2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2022 CRC SECTION R302.11: A. SECTION R302.11-1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT CEILING AND FLOOR LEVELS B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT</p> <p>9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES. SEE SECTION R1003.19</p> <p>FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL LUMBER 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE HALF-INCH GYPSUM BOARD 6. ONE FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p>	<p><b>LEGEND</b></p> <p>SECTION CUT</p> <p>ELEVATION CALLOUT</p> <p>DETAIL DRAWING REF.</p> <p>ELEVATION MARKER</p>



1 SECTION - 1 BEDROOM  
3/8"=1'-0" SPANISH

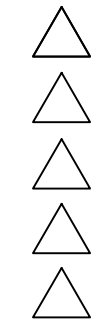
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project

City of Riverside  
Pre-Approved  
ADU Program

revisions



description

Building  
Sections  
Spanish

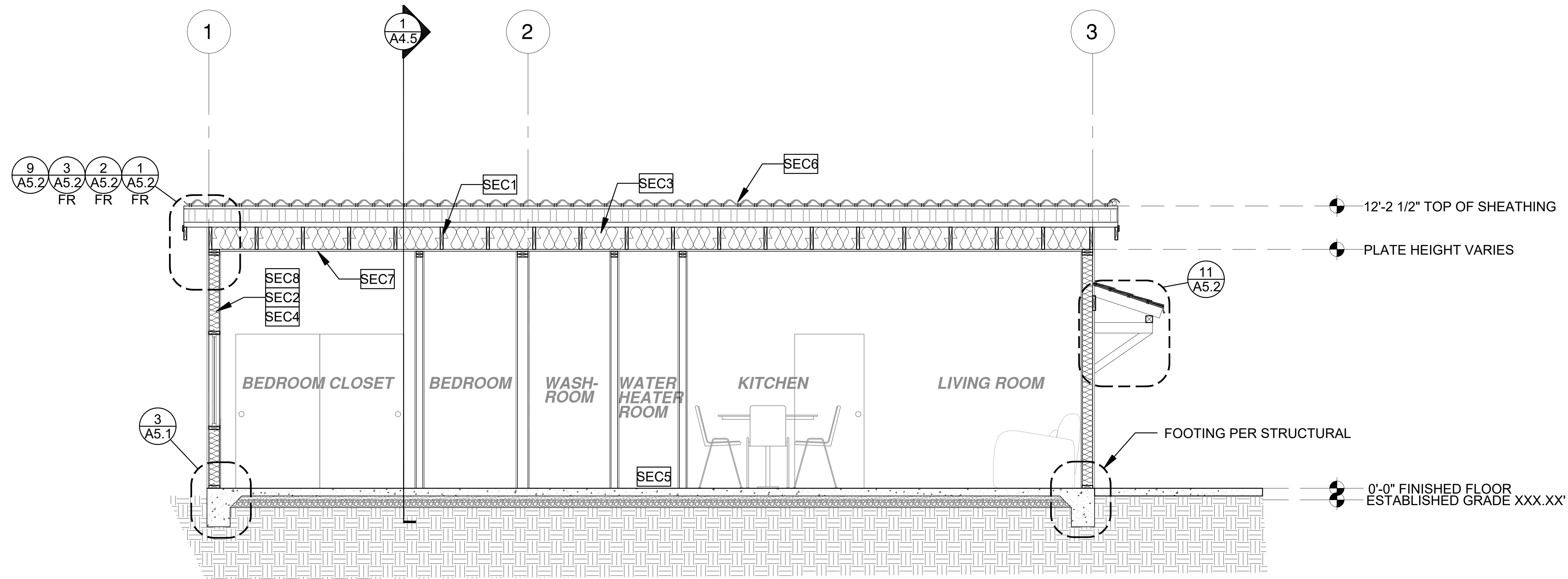
date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **A4.5**

SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p> <p><b>SEC7</b> 5/8" GYPSUM WALLBOARD MOUNTED ON RESILIENT CHANNELS WHEN THE BUILDING IS IN AREA IMPACTED BY A CNEL NOISE LEVEL OF 60DBA OR ABOVE</p> <p><b>SEC8</b> 5/8" GYPSUM WALLBOARD</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS, ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 1/8" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED</p> <p>5. INSULATION THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTERS FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, &amp; STRUCTURAL PLANS. "KEYNOTES ONLY APPLY IF REFERENCED ON PLANS" 1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION 2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2022 CRC SECTION R302.11: A. SECTION R302.11-1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT CEILING AND FLOOR LEVELS B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT</p> <p>9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES. SEE SECTION R1003.19 FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE HALF-INCH GYPSUM BOARD 6. ONE FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p>	<p><b>LEGEND</b></p> <p> SECTION CUT</p> <p> ELEVATION CALLOUT</p> <p> DETAIL DRAWING REF.</p> <p> ELEVATION MARKER</p>



2 SECTION - 1 BEDROOM  
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SPANISH

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project  
City of Riverside  
Pre-Approved  
ADU Program

revisions  
description  
Building  
Sections  
Spanish

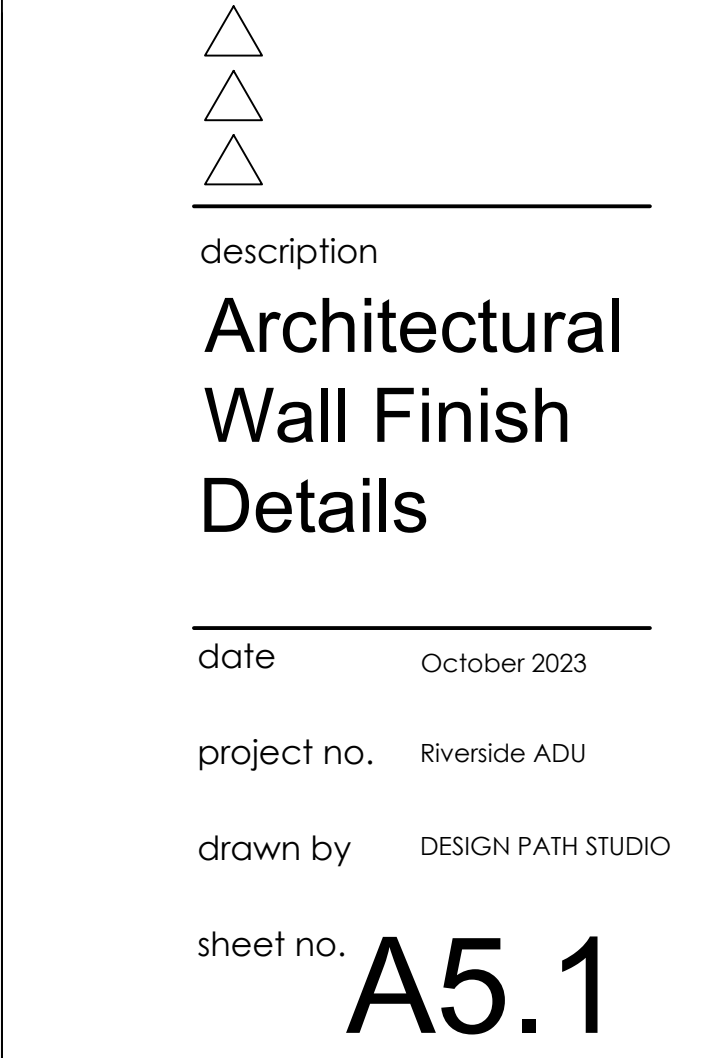
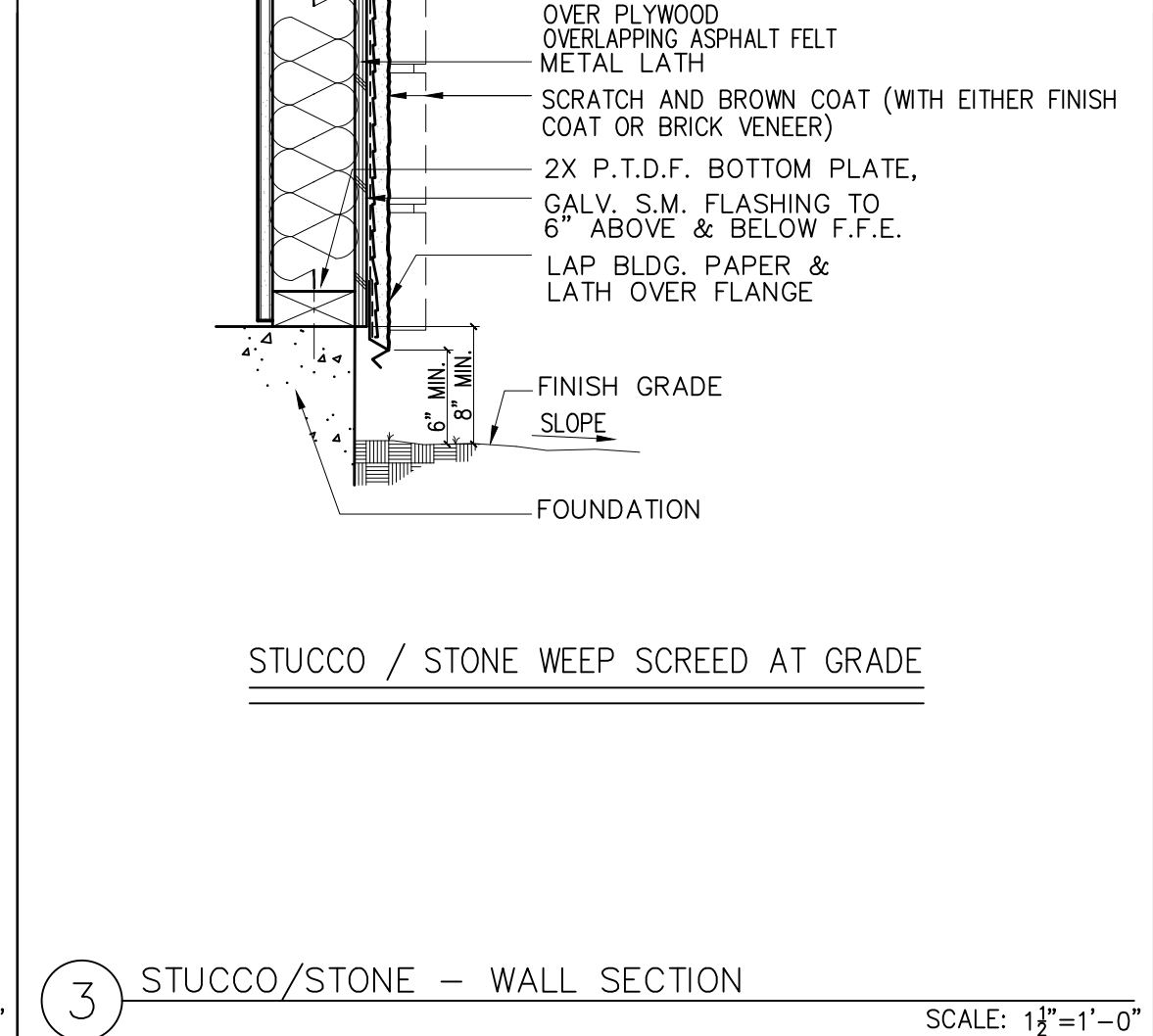
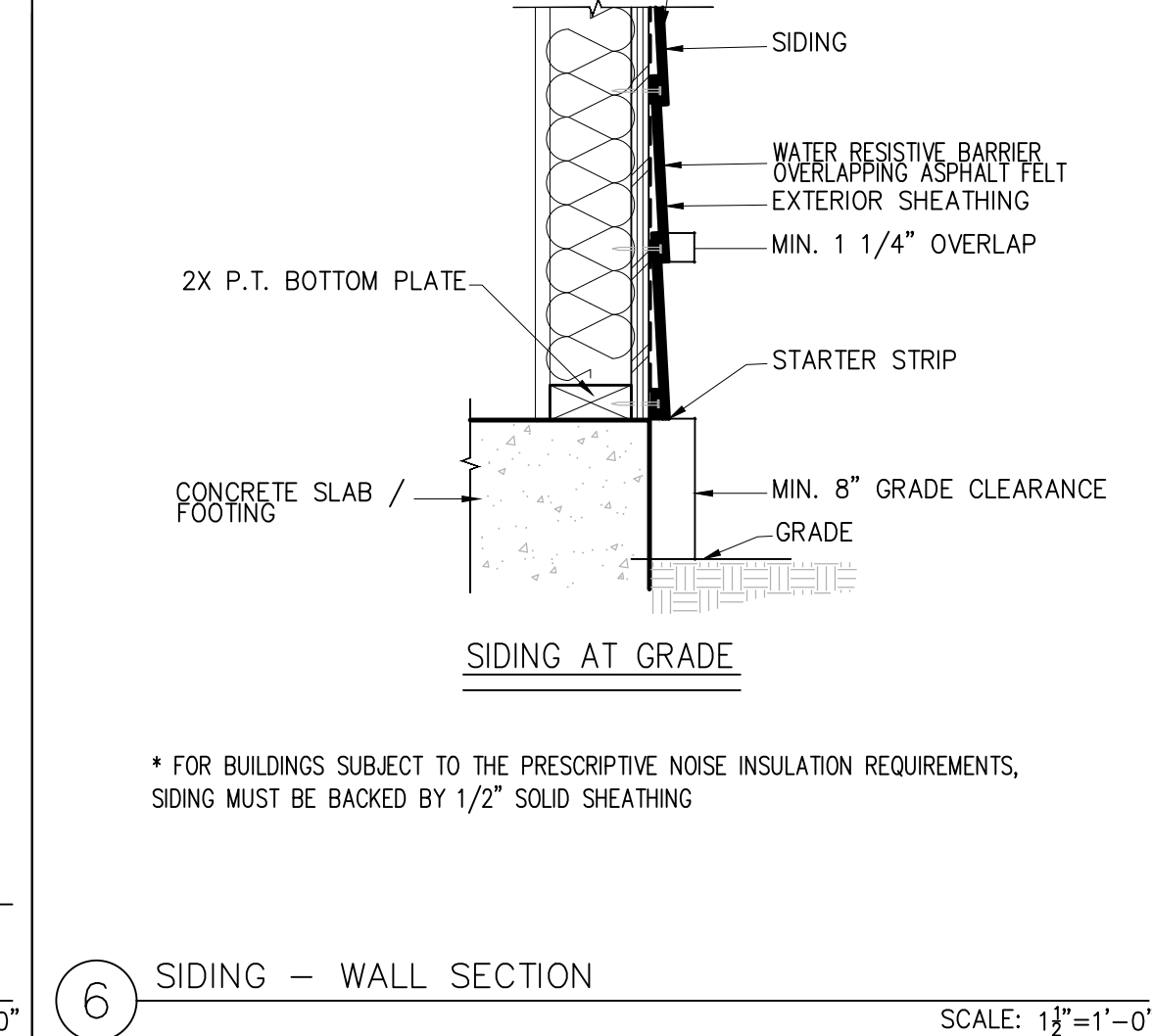
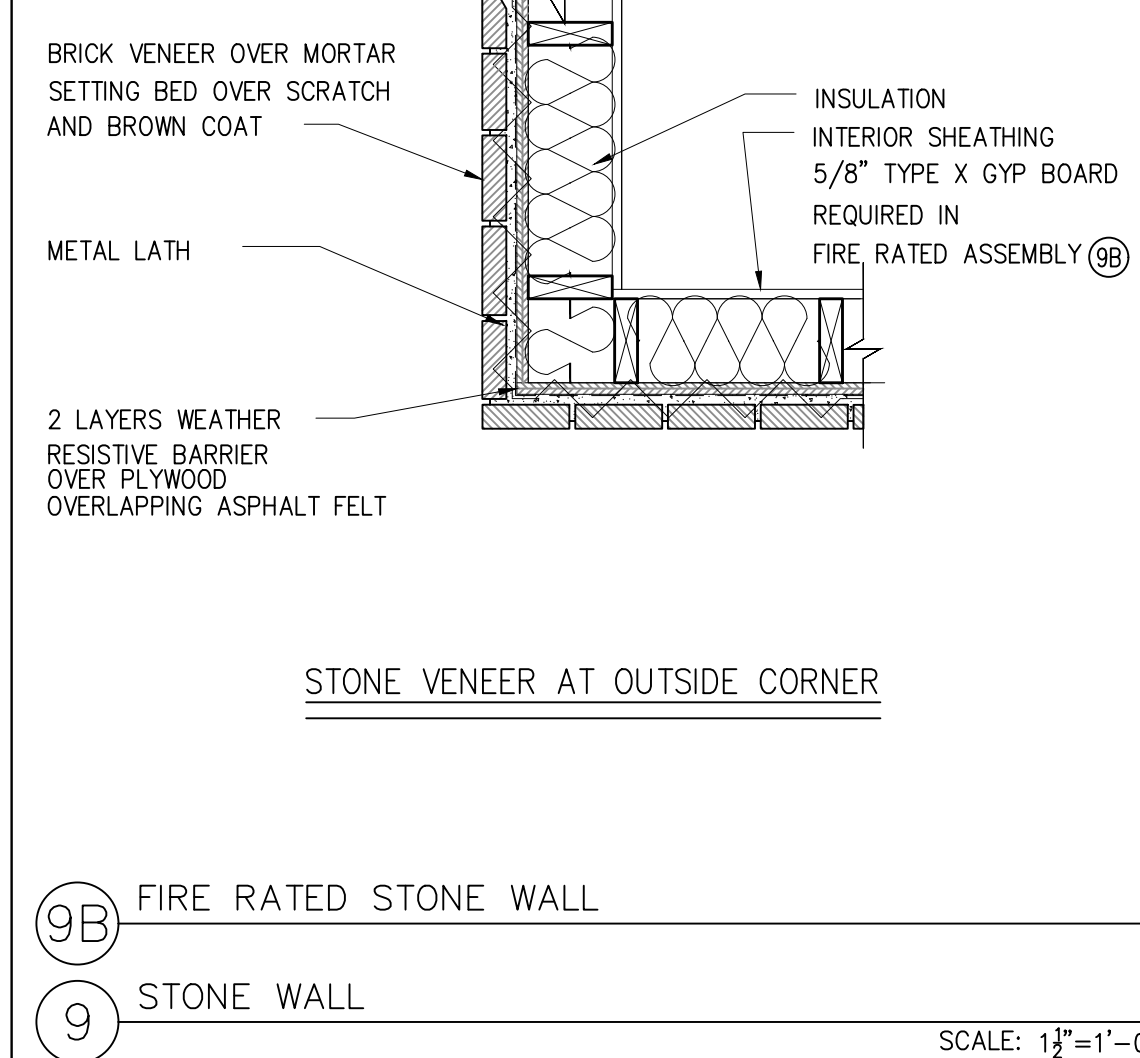
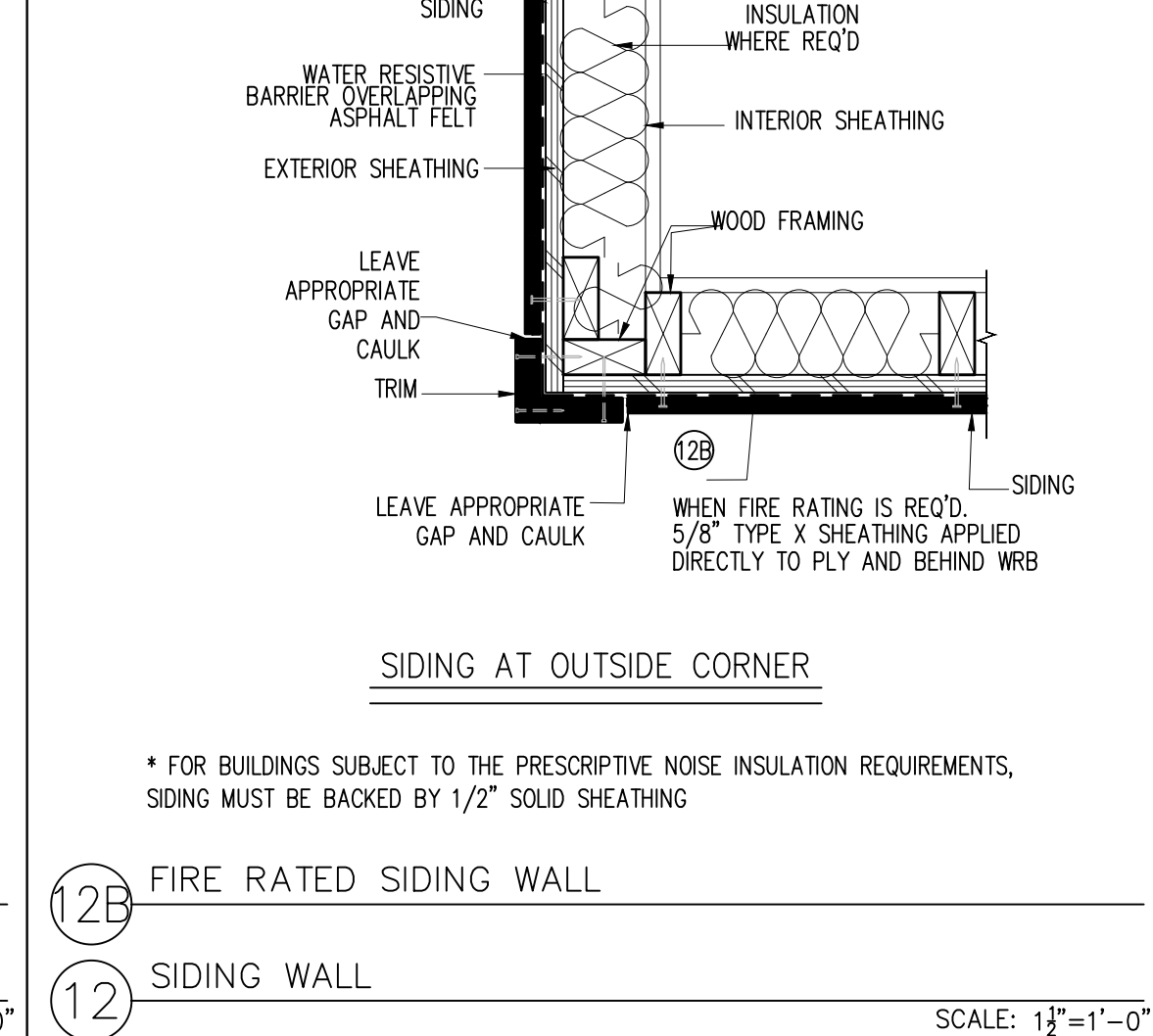
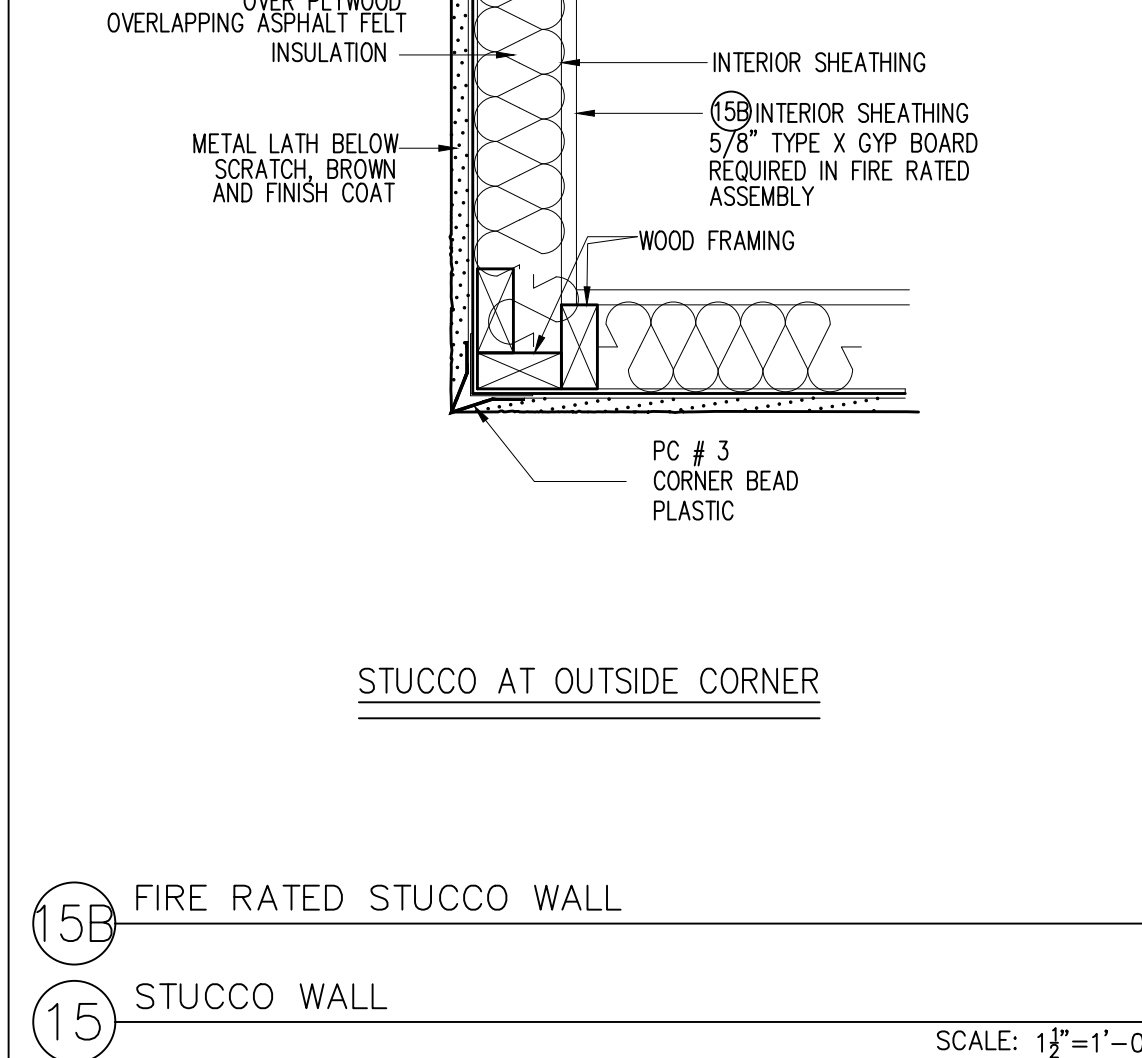
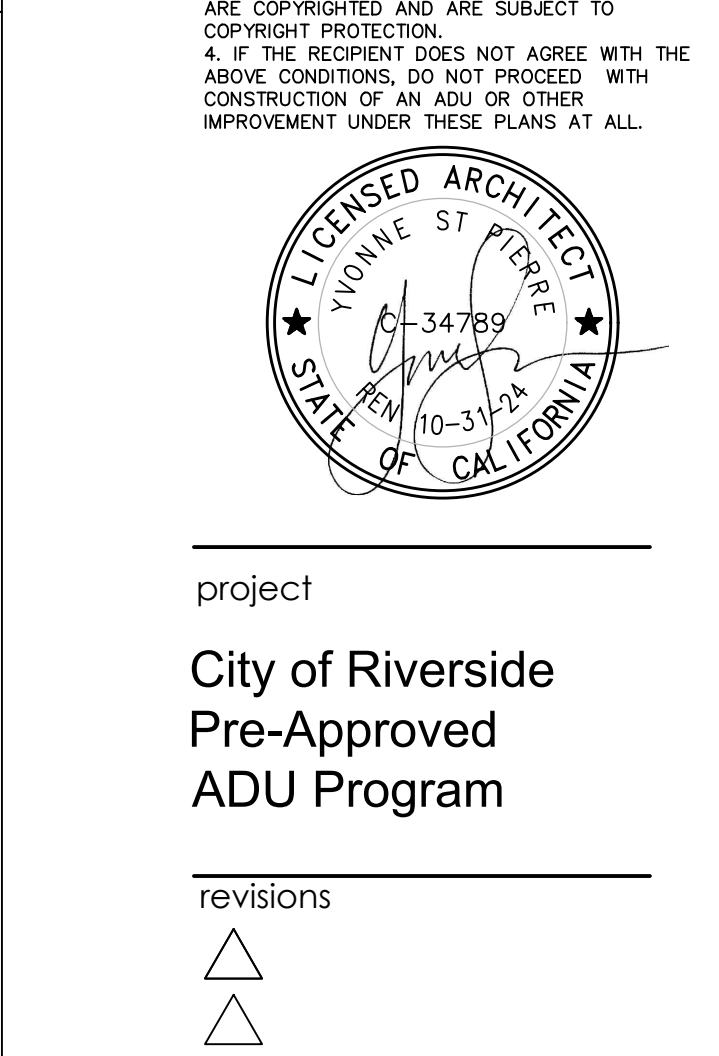
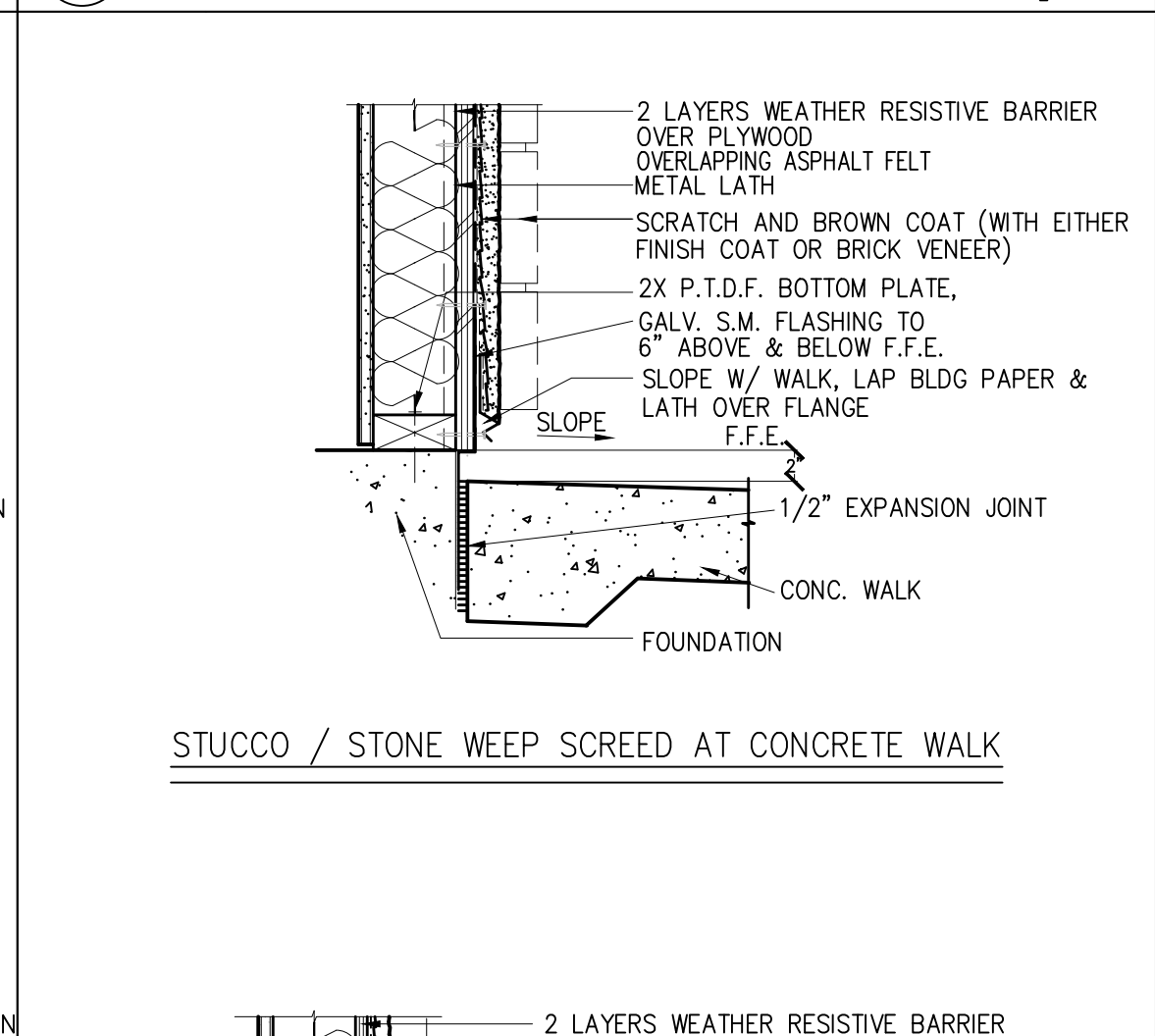
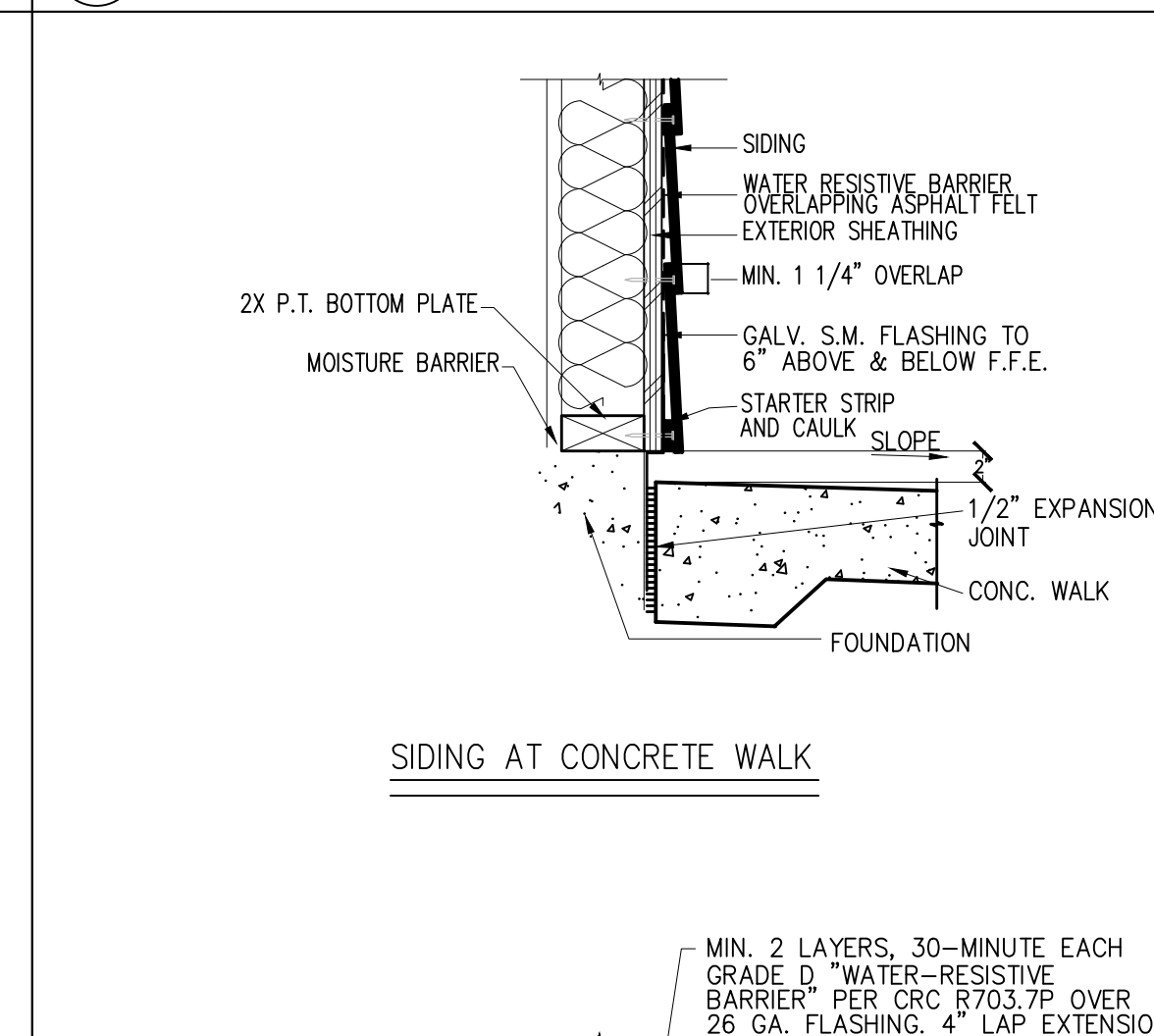
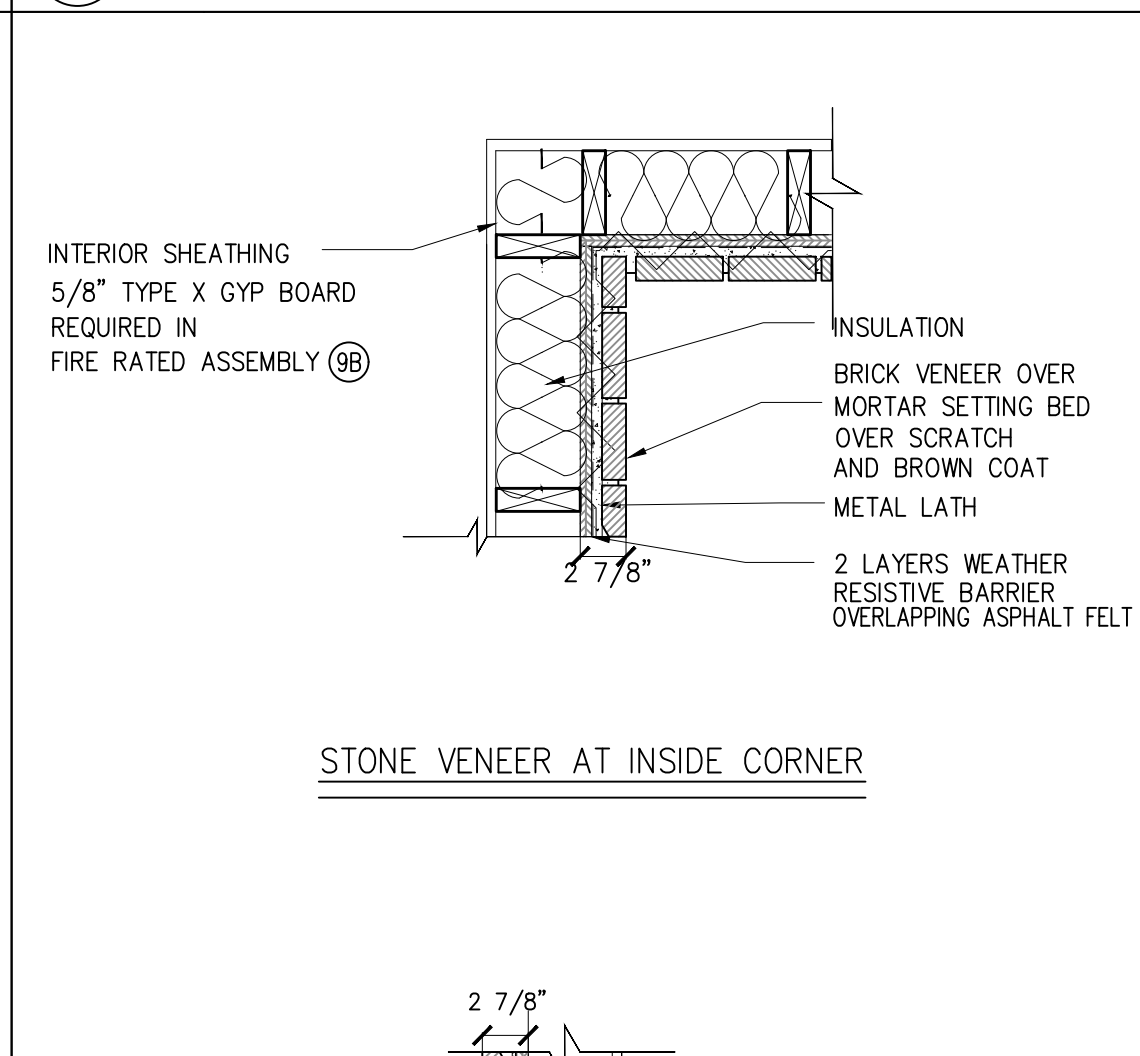
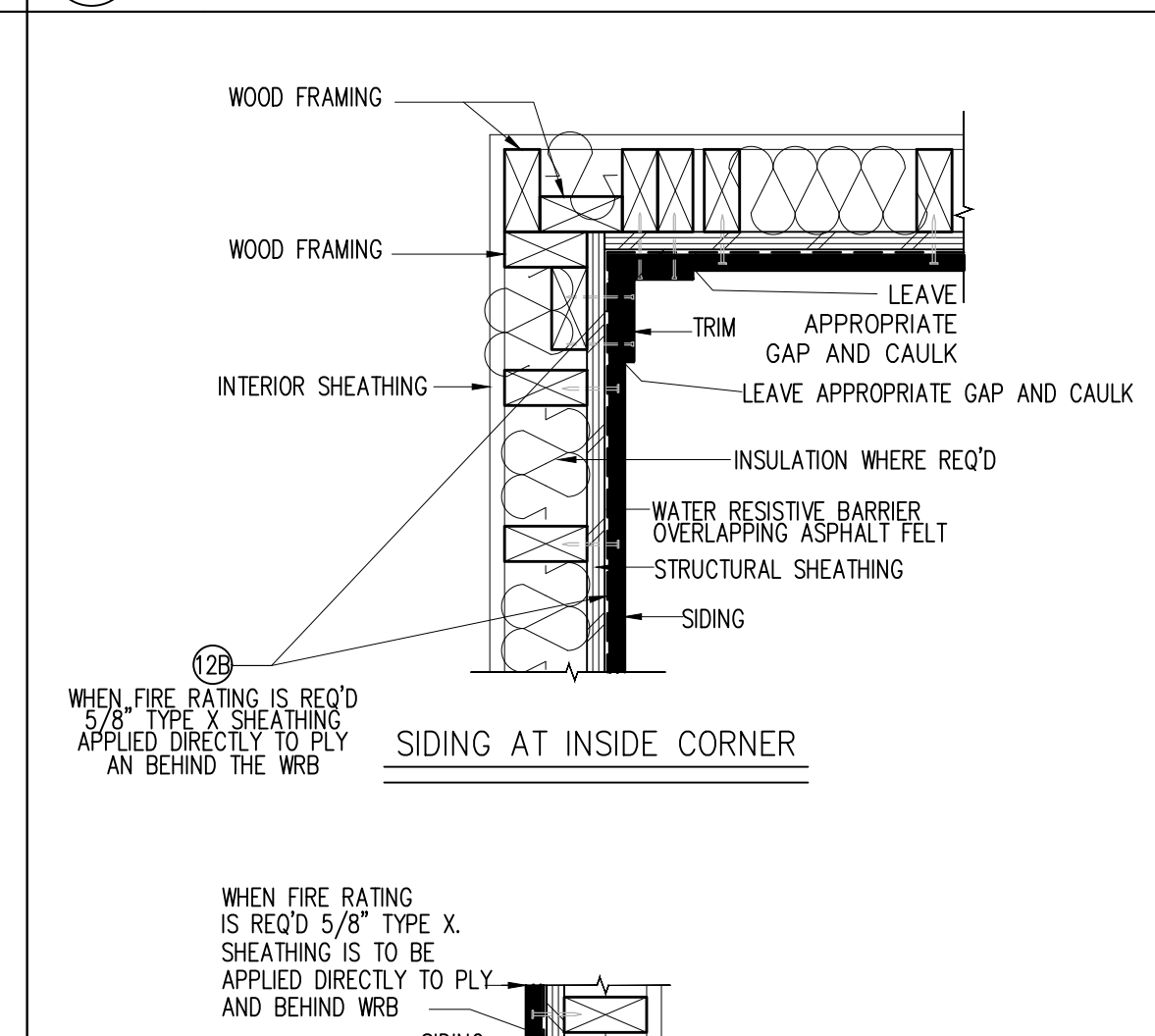
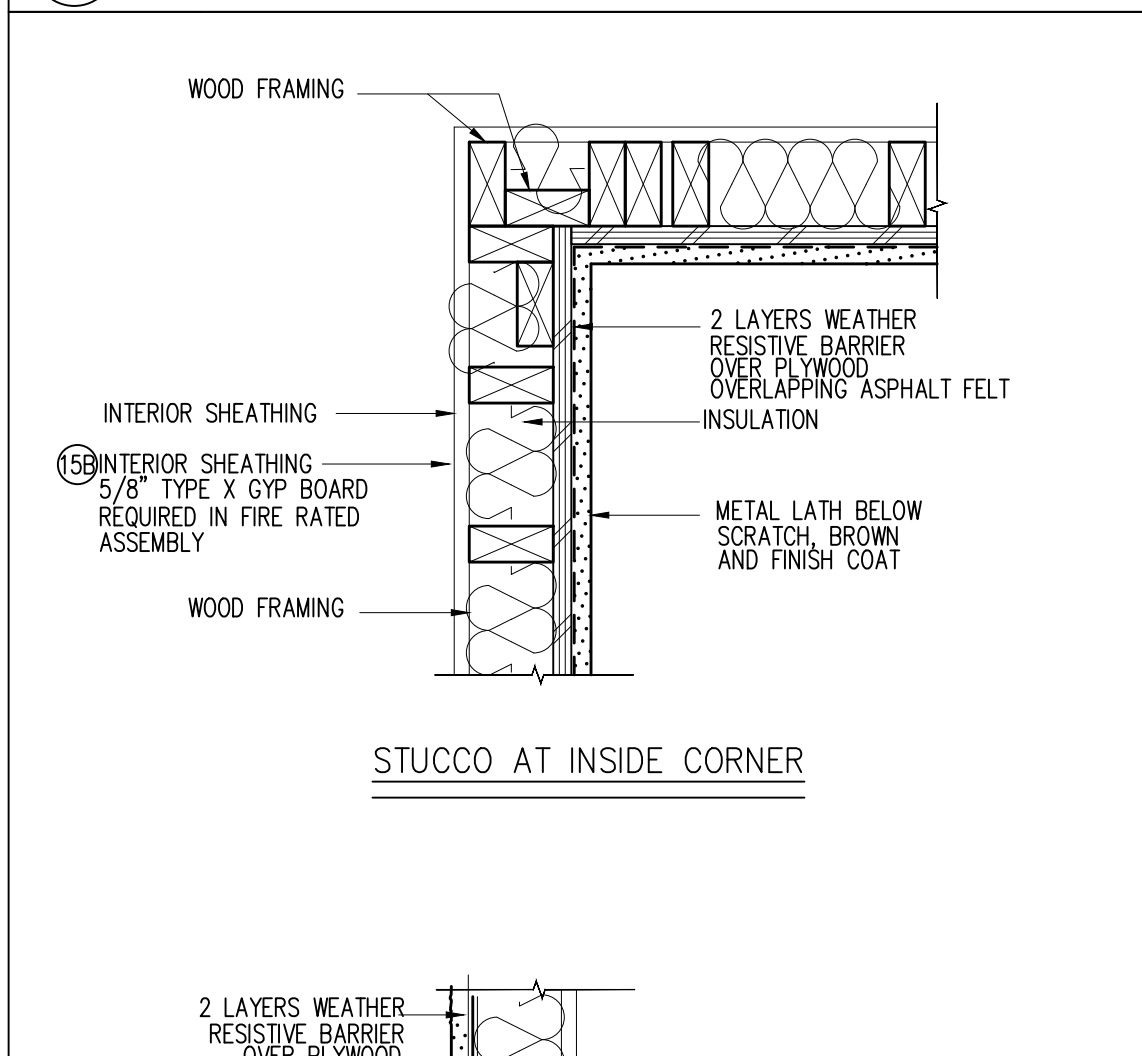
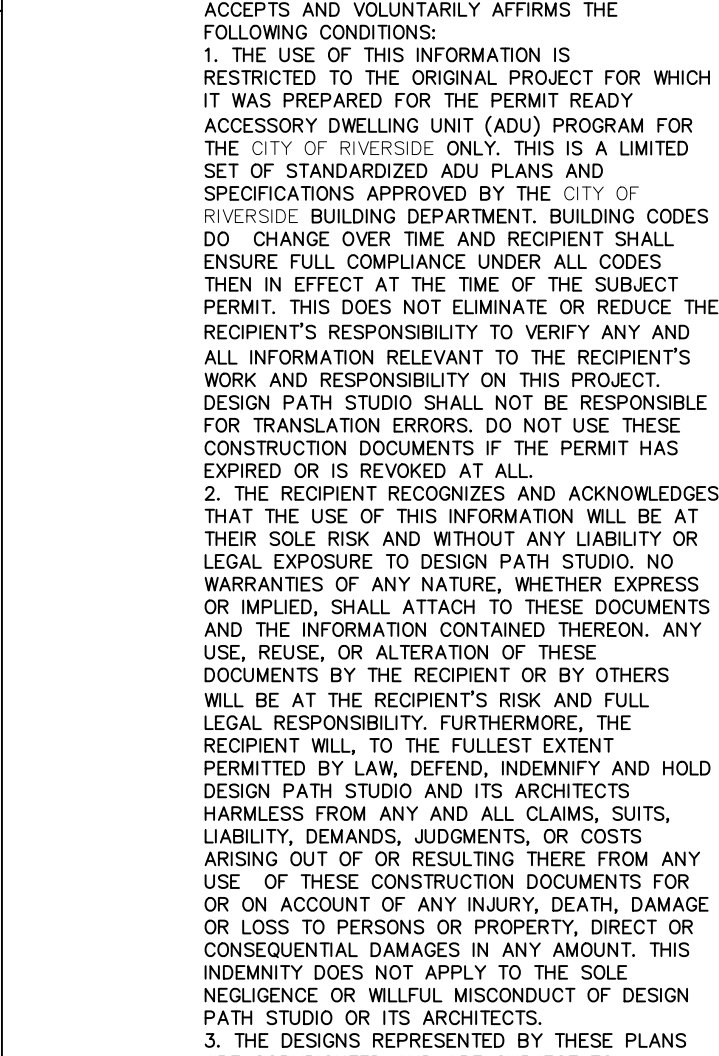
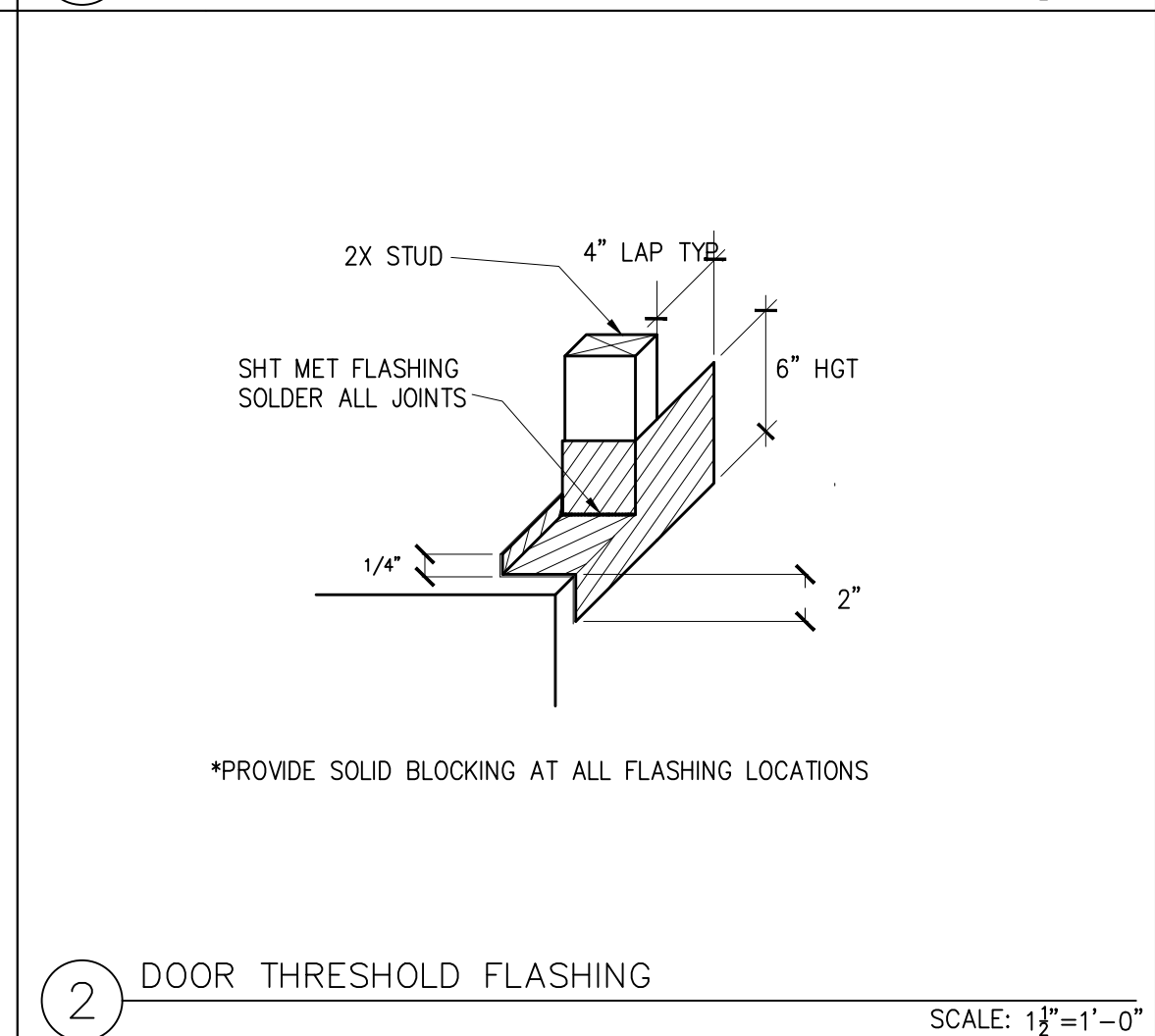
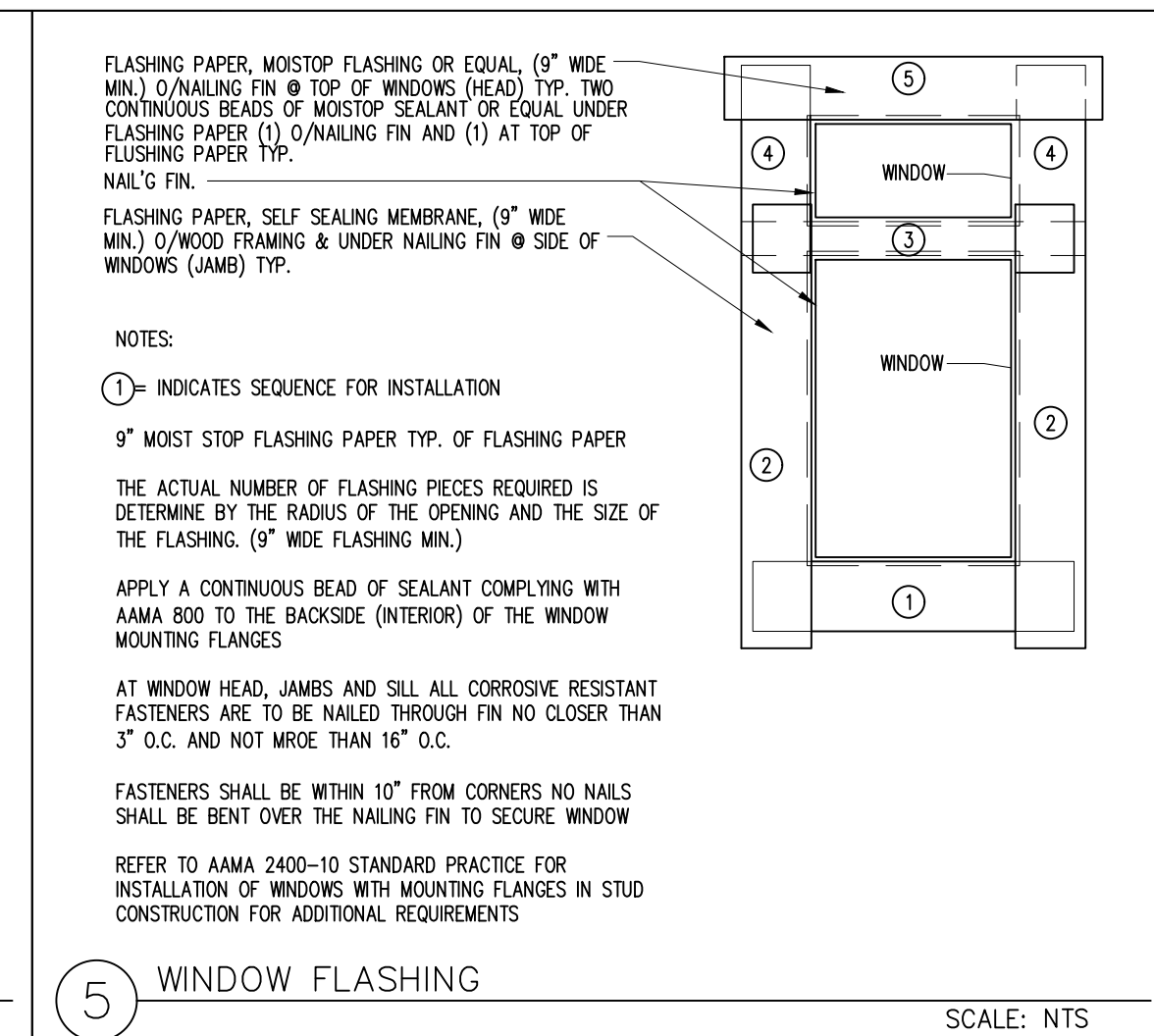
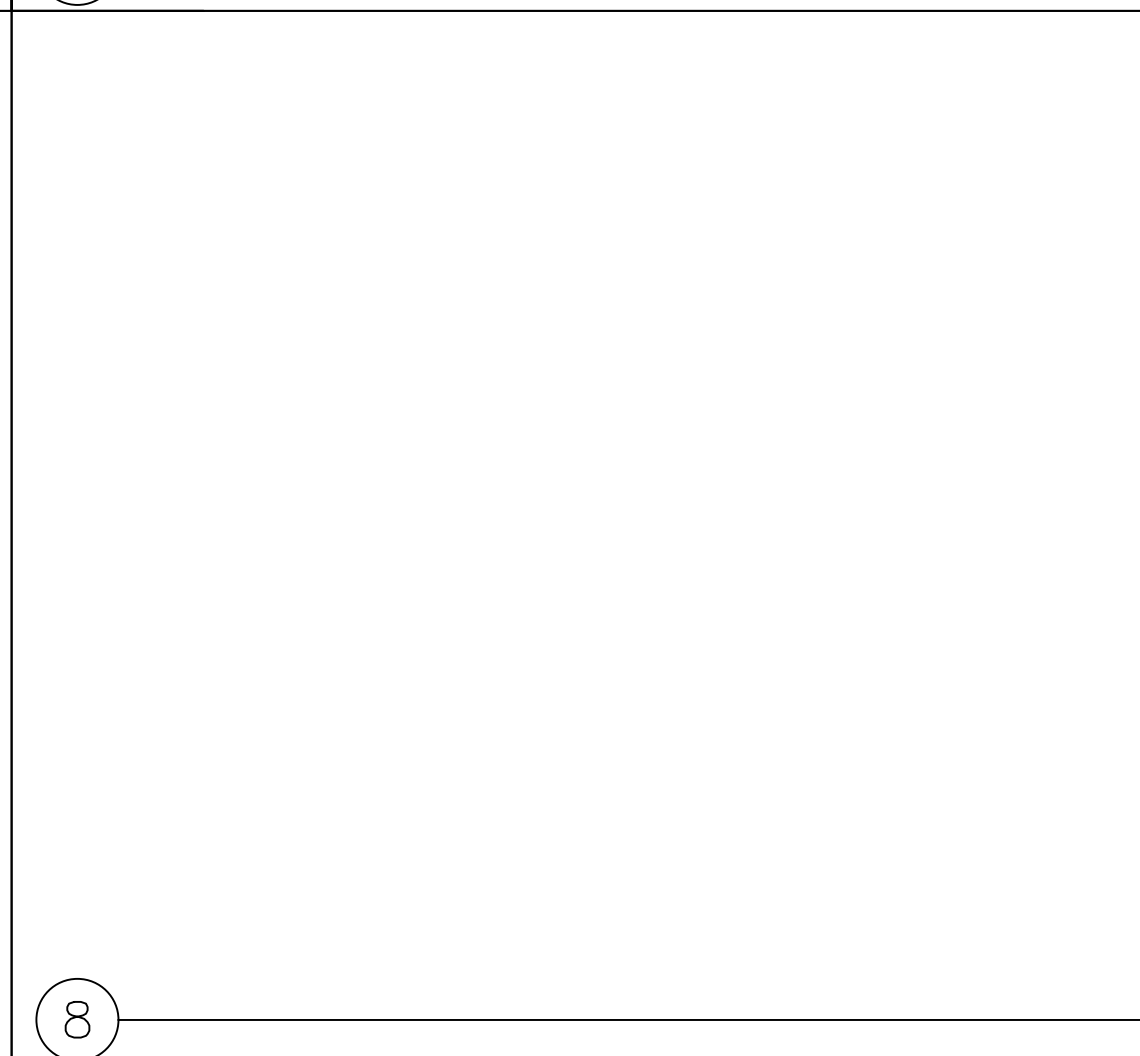
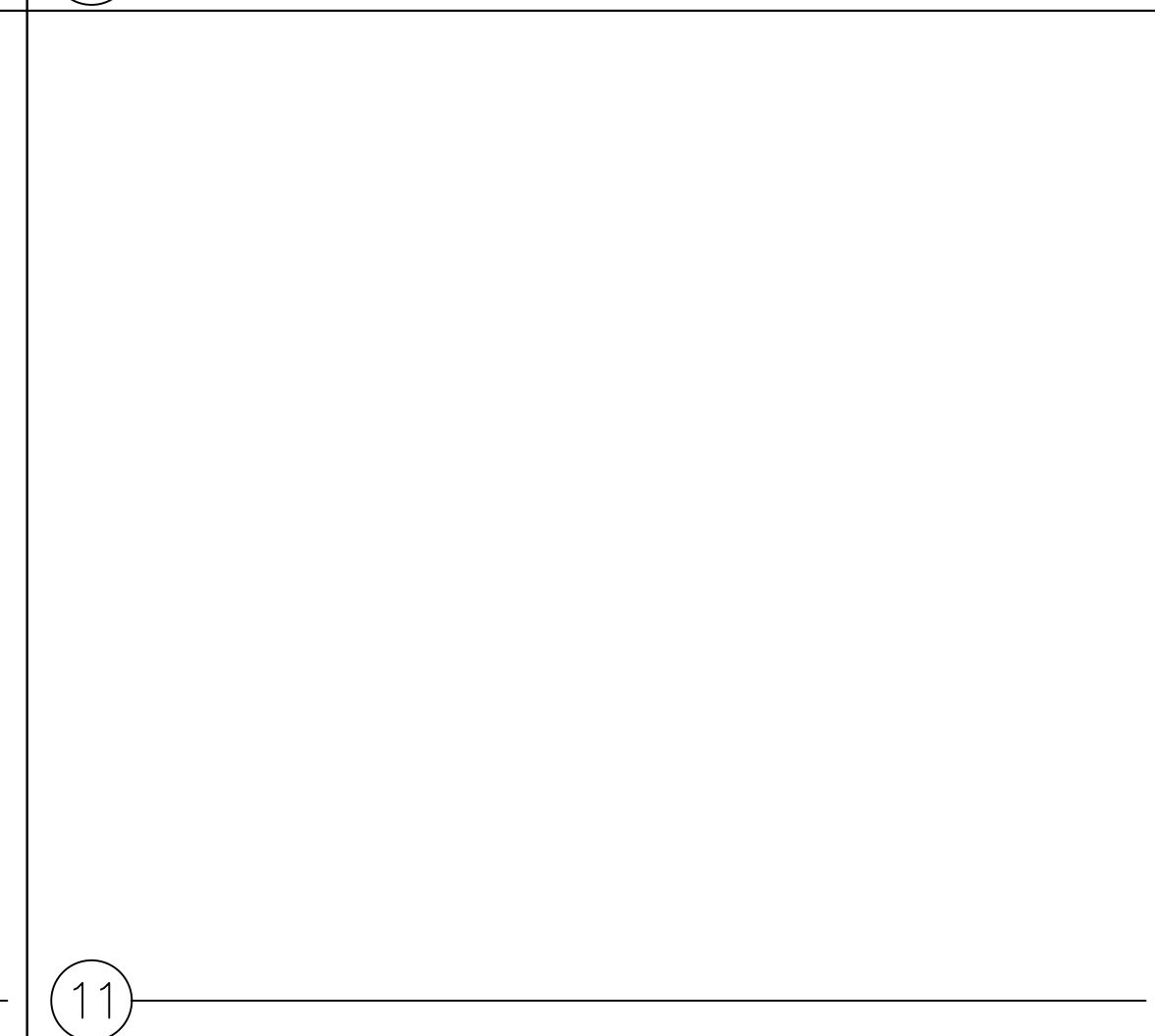
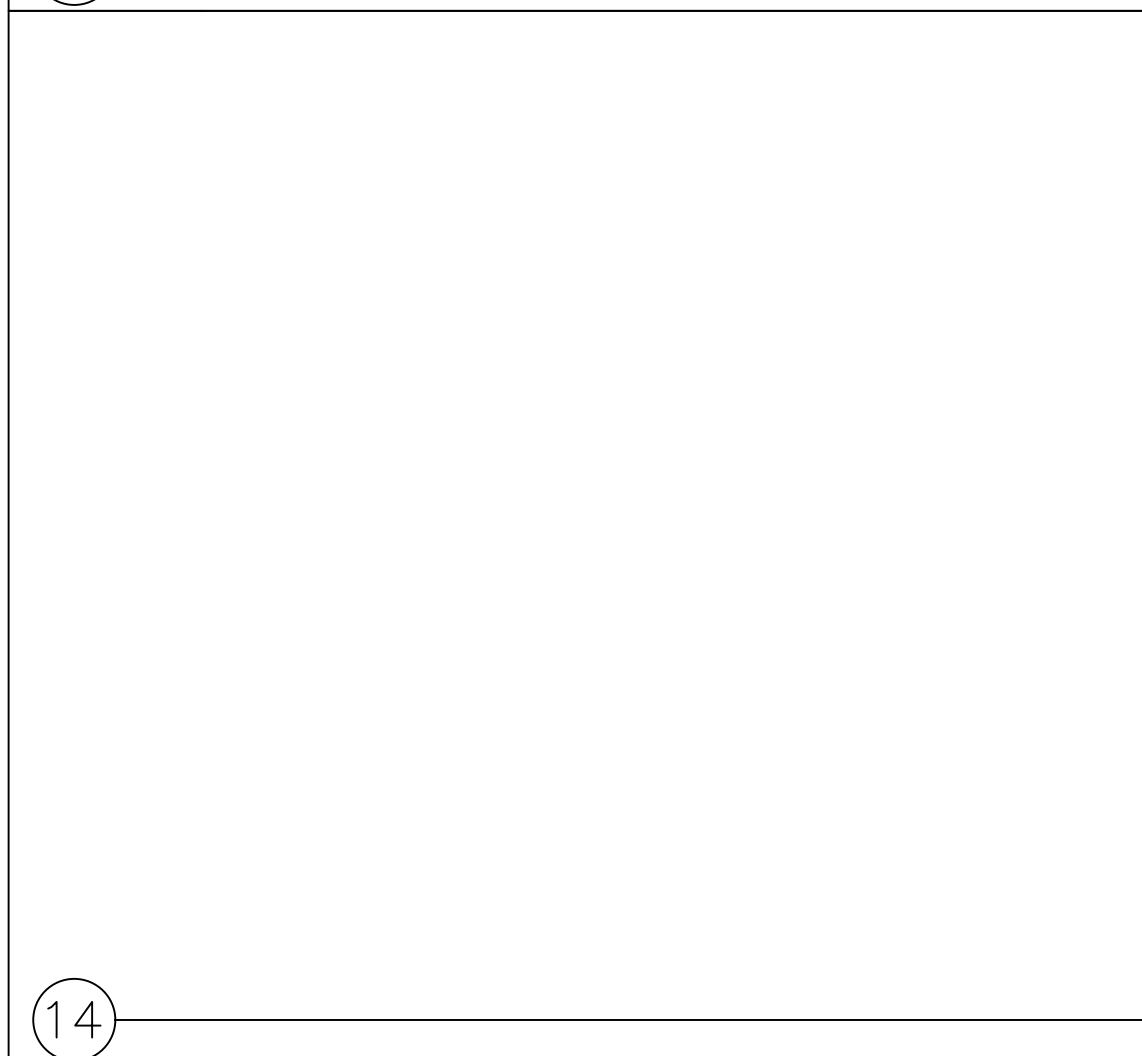
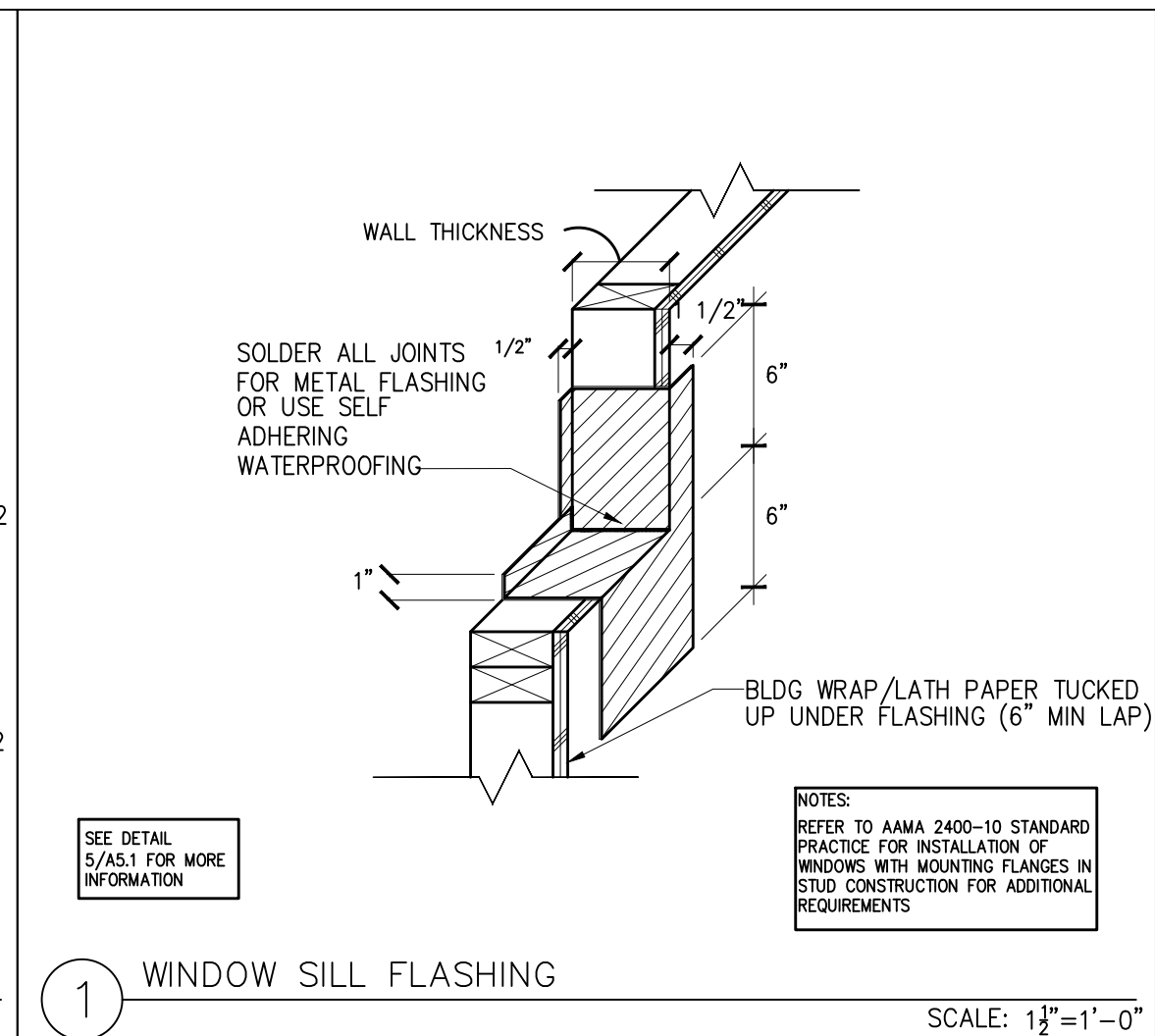
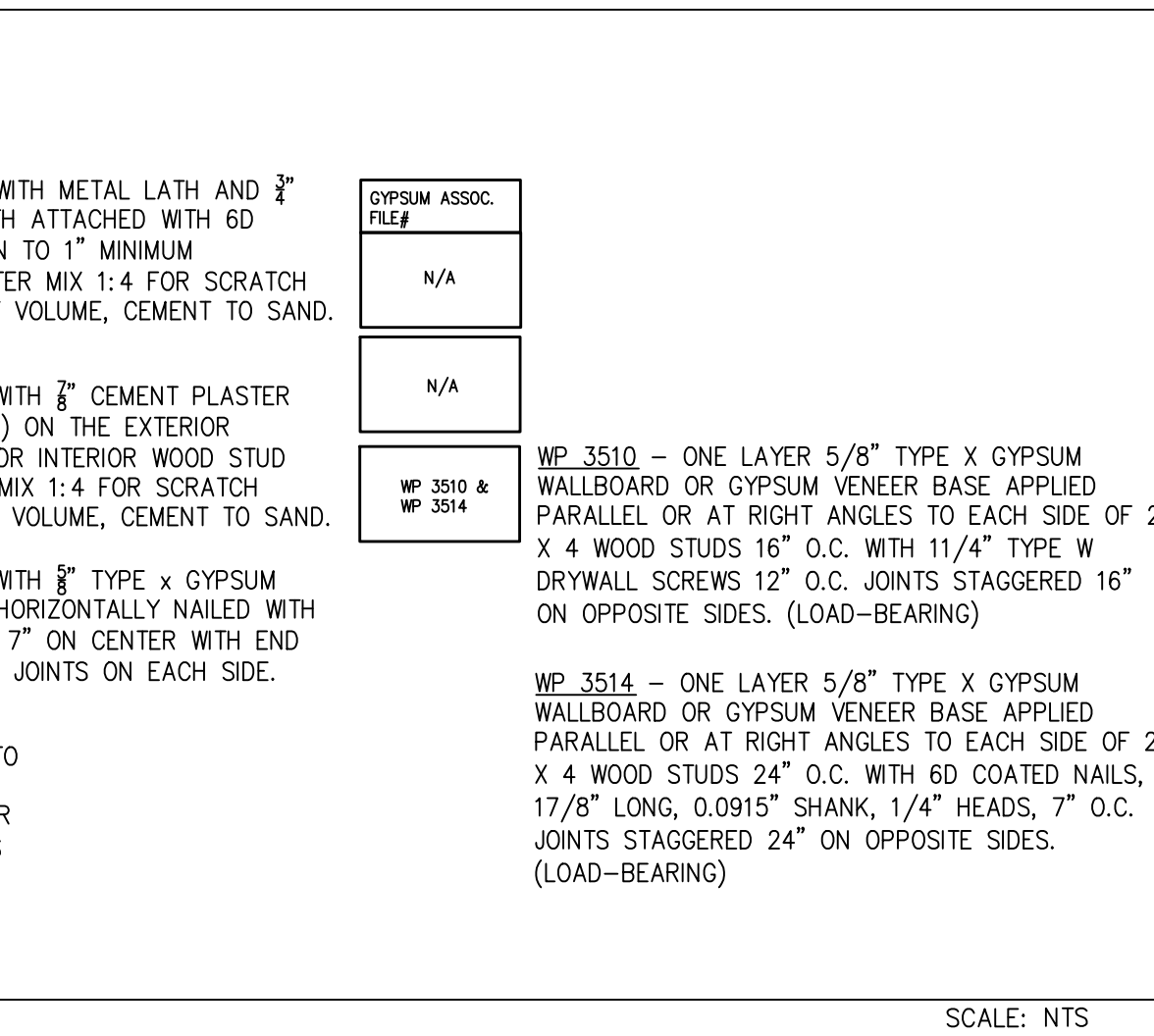
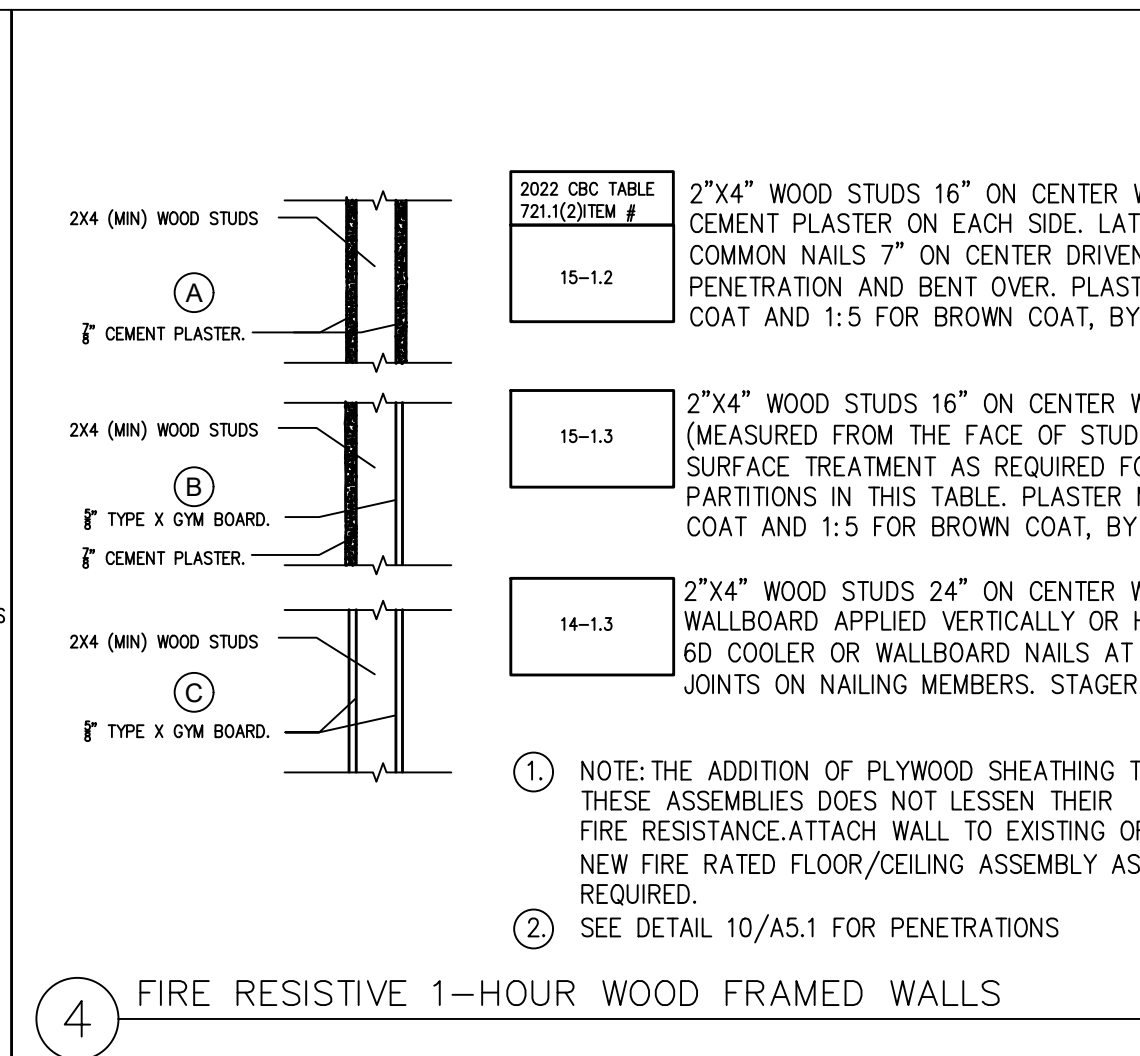
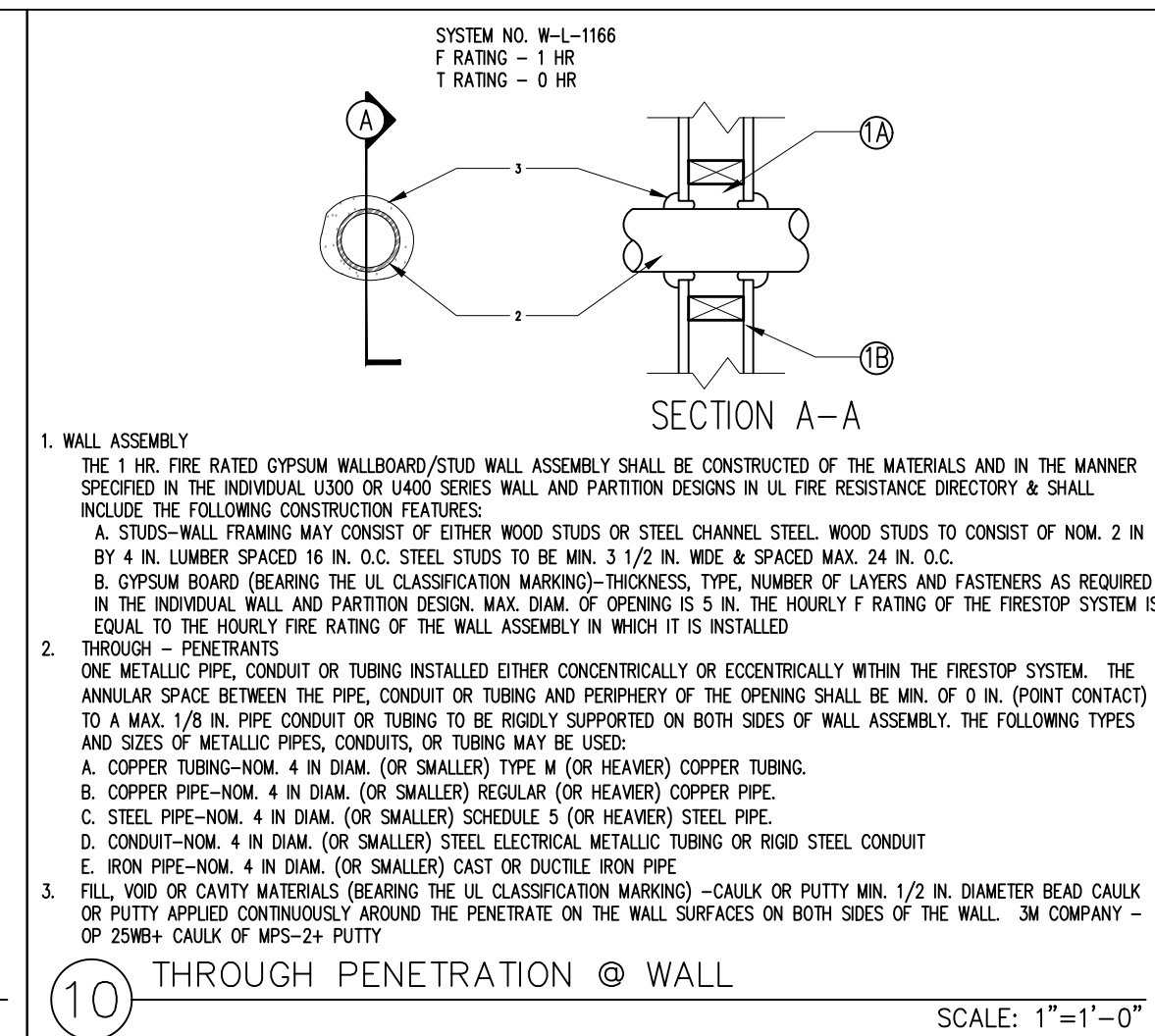
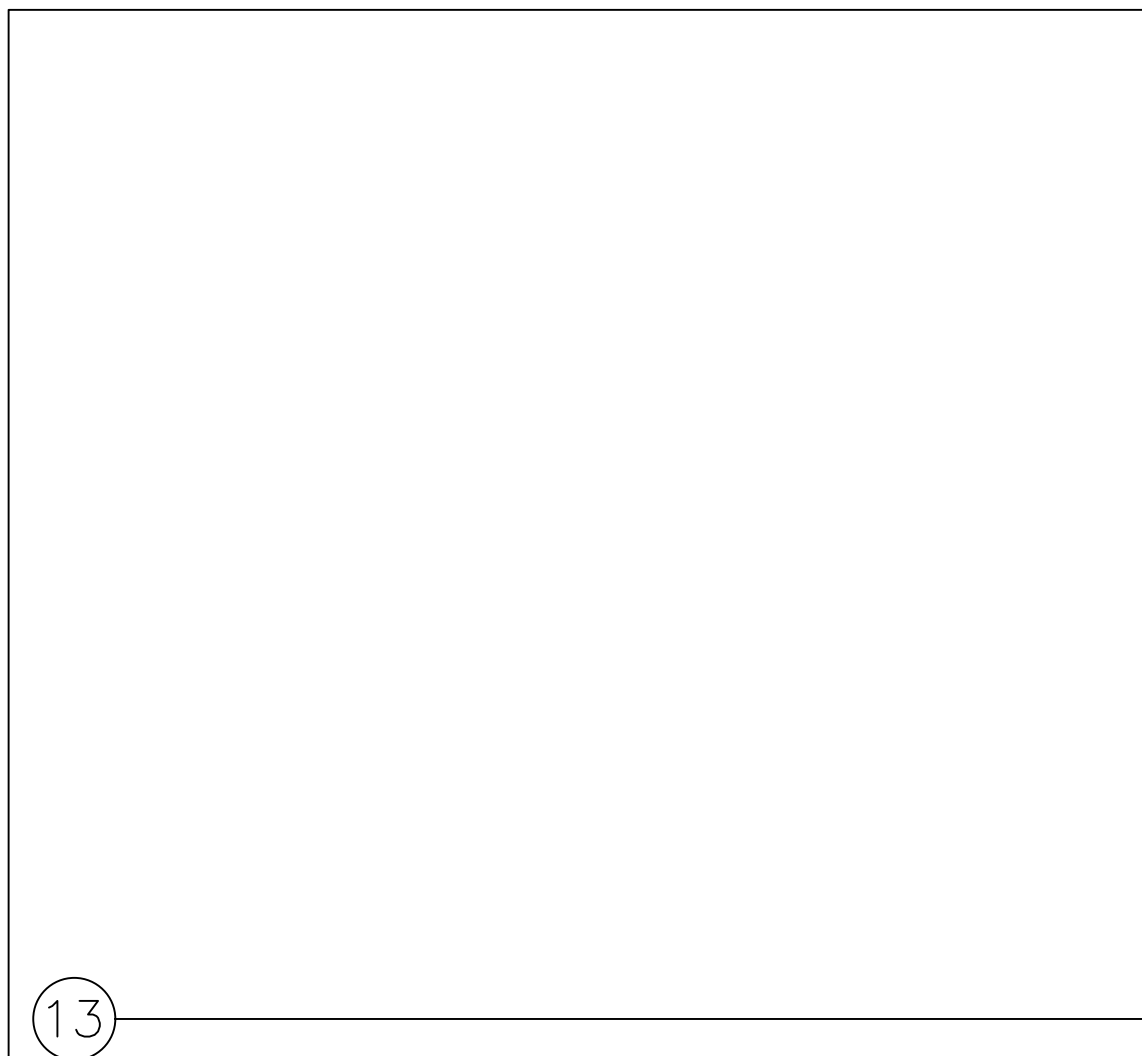
date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

sheet no. **A4.6**

SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p> <p><b>SEC7</b> 5/8" GYPSUM WALLBOARD MOUNTED ON RESILIENT CHANNELS WHEN THE BUILDING IS IN AREA IMPACTED BY A CNEL NOISE LEVEL OF 60DBA OR ABOVE</p> <p><b>SEC8</b> 5/8" GYPSUM WALLBOARD</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS, ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 1/2" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED</p> <p>5. INSULATION THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, &amp; STRUCTURAL PLANS. "KEYNOTES ONLY APPLY IF REFERENCED ON PLANS" 1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION 2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2022 CRC SECTION R302.11: A. SECTION R302.11-1 1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT CEILING AND FLOOR LEVELS B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT</p> <p>9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E158 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19 FIREBLOCKING OF CORNICICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL LUMBER 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE HALF-INCH GYPSUM BOARD 6. ONE FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p>	<p><b>LEGEND</b></p> <p>SECTION CUT</p> <p>ELEVATION CALLOUT</p> <p>DETAIL DRAWING REF.</p> <p>ELEVATION MARKER</p>



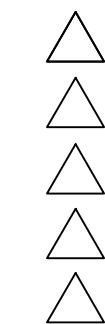
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description

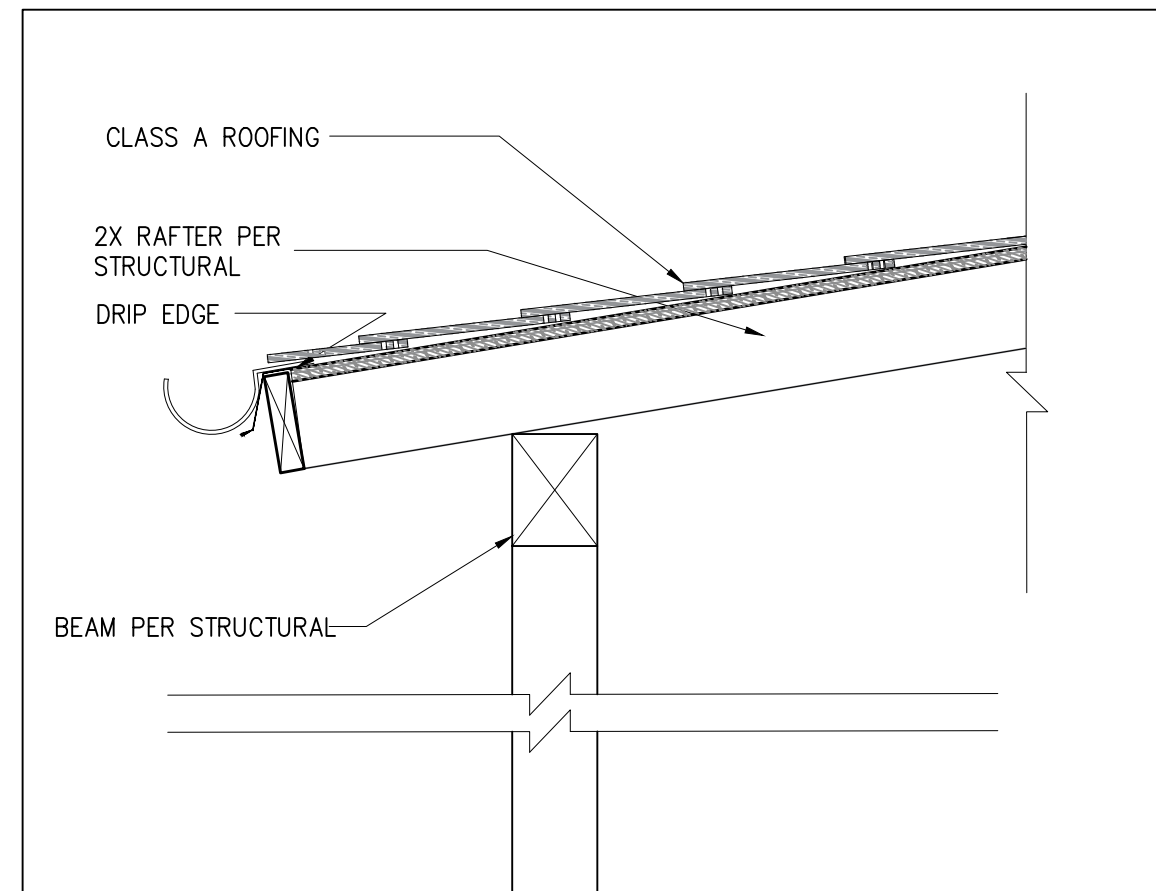
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Details

date October 2023

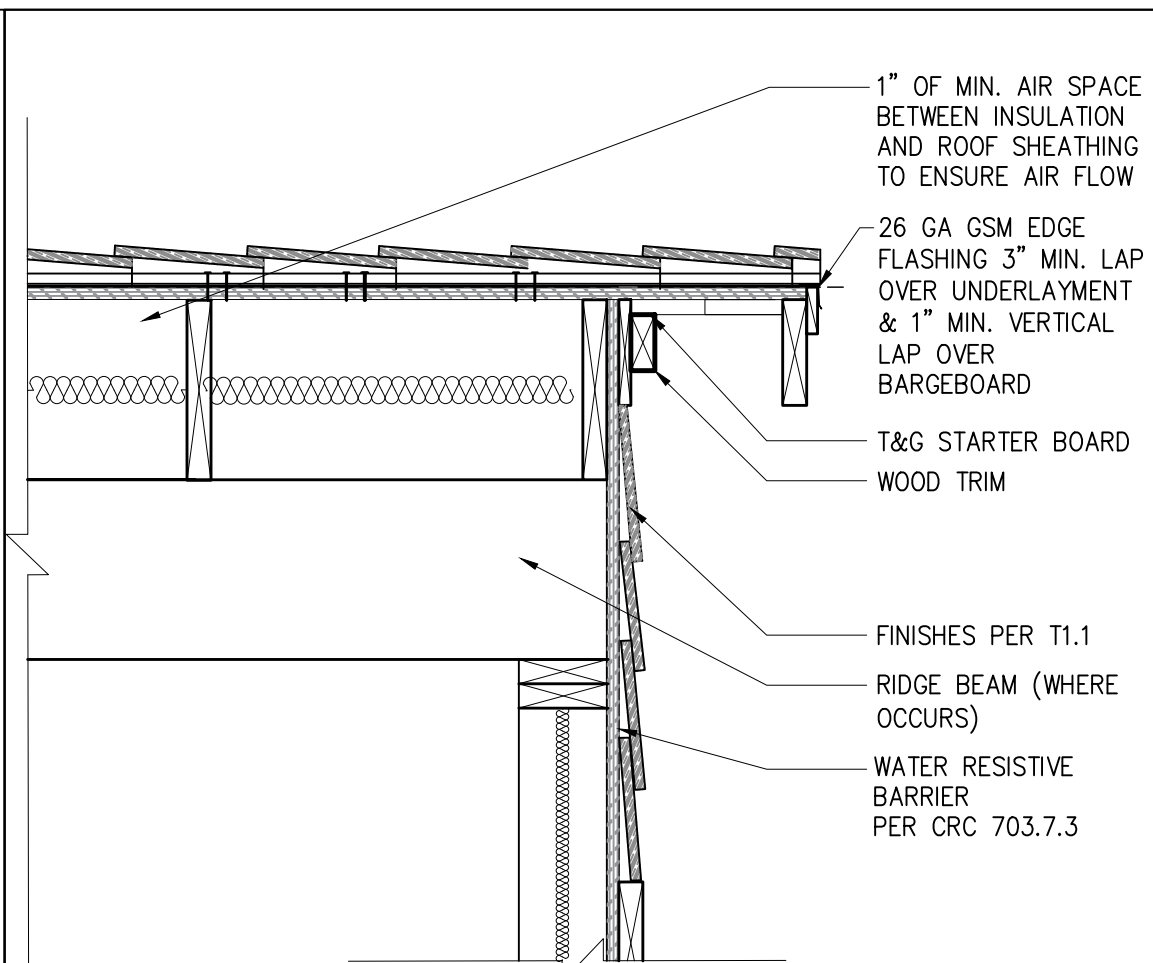
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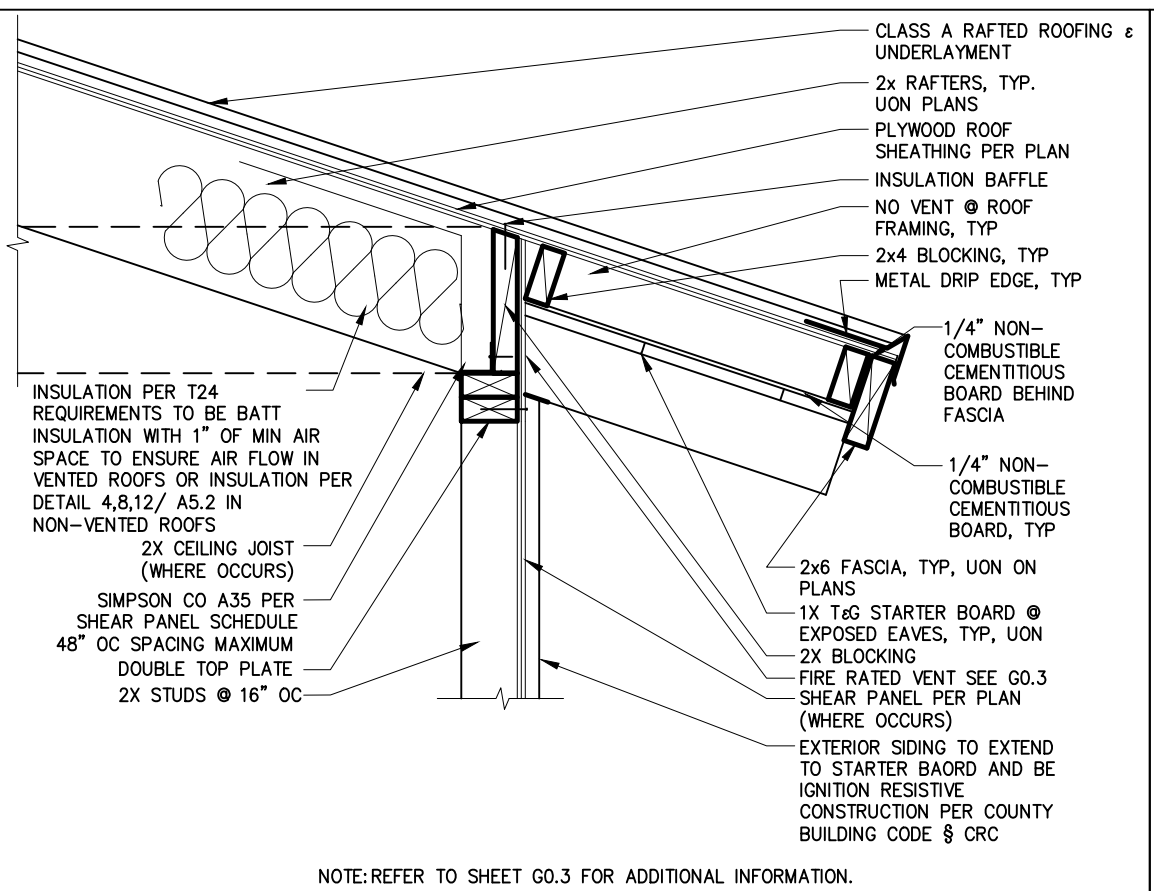
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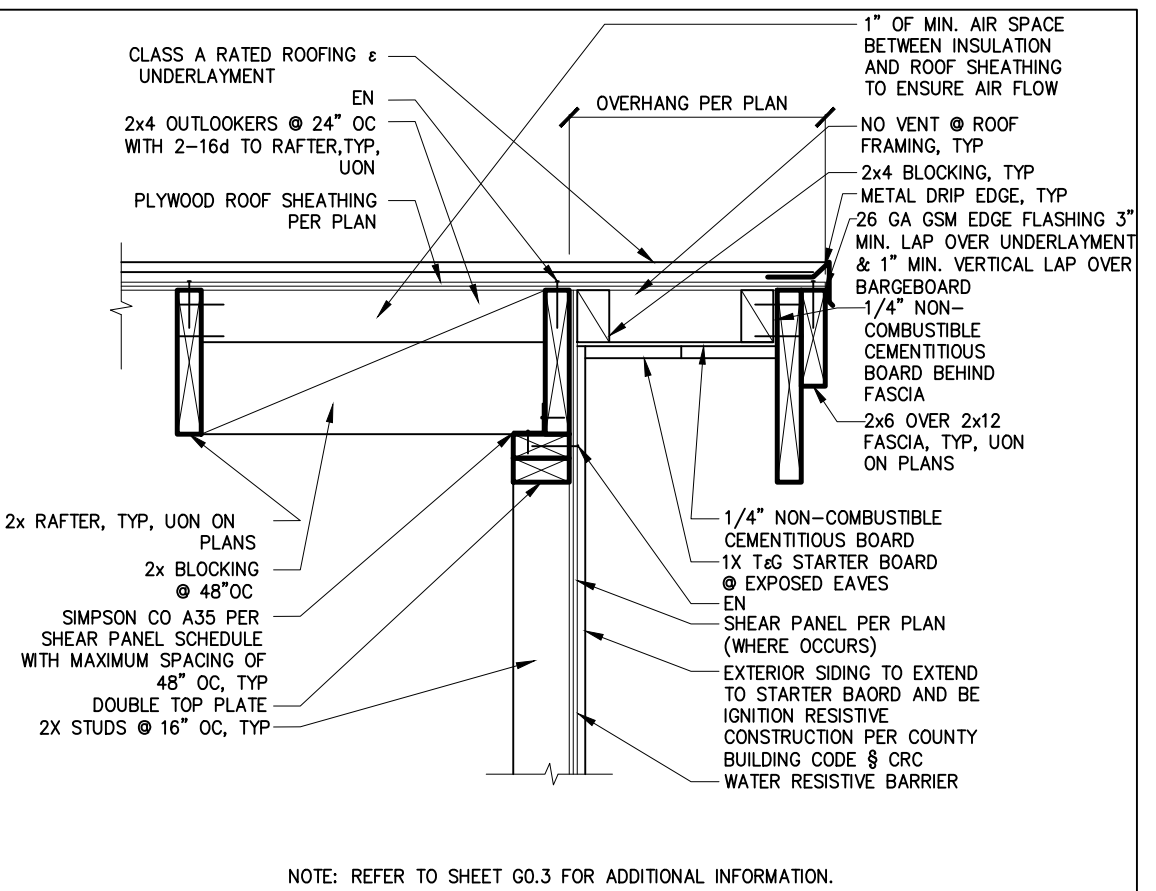
13 AWNING - AT RAFTER END SCALE: 1"=1'-0"



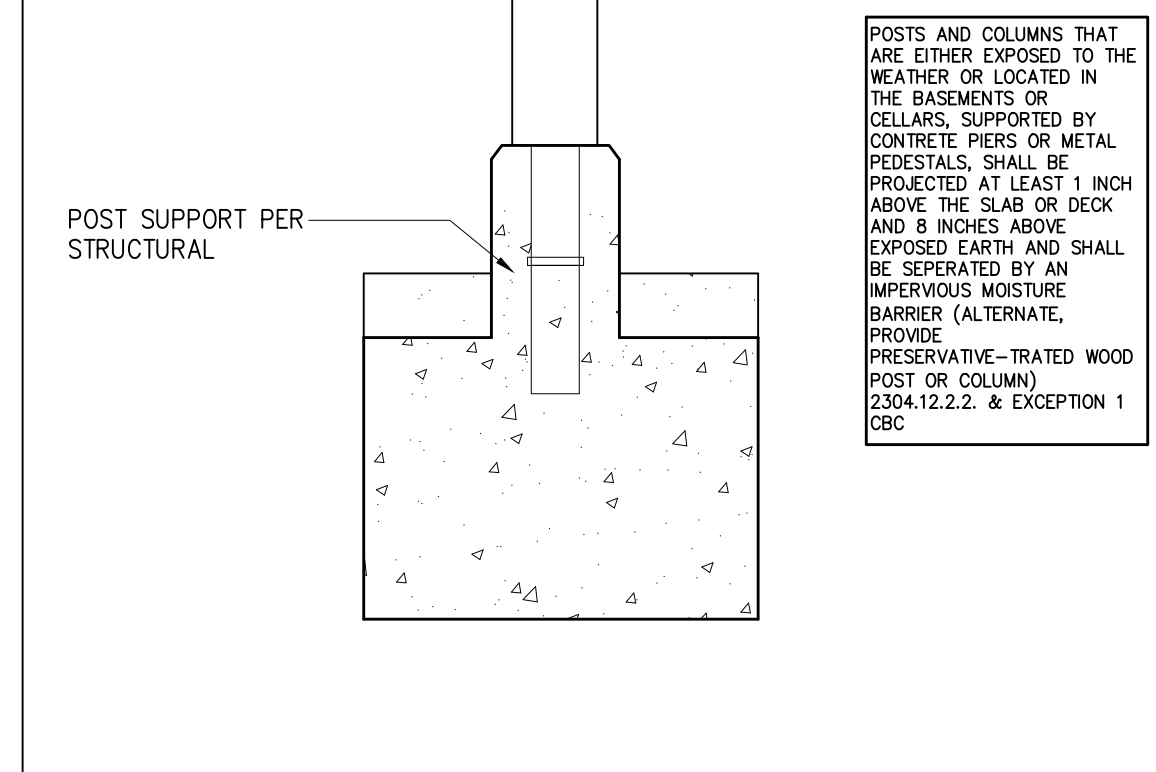
9 GABLE END, TYP. SCALE: 1"=1'-0"



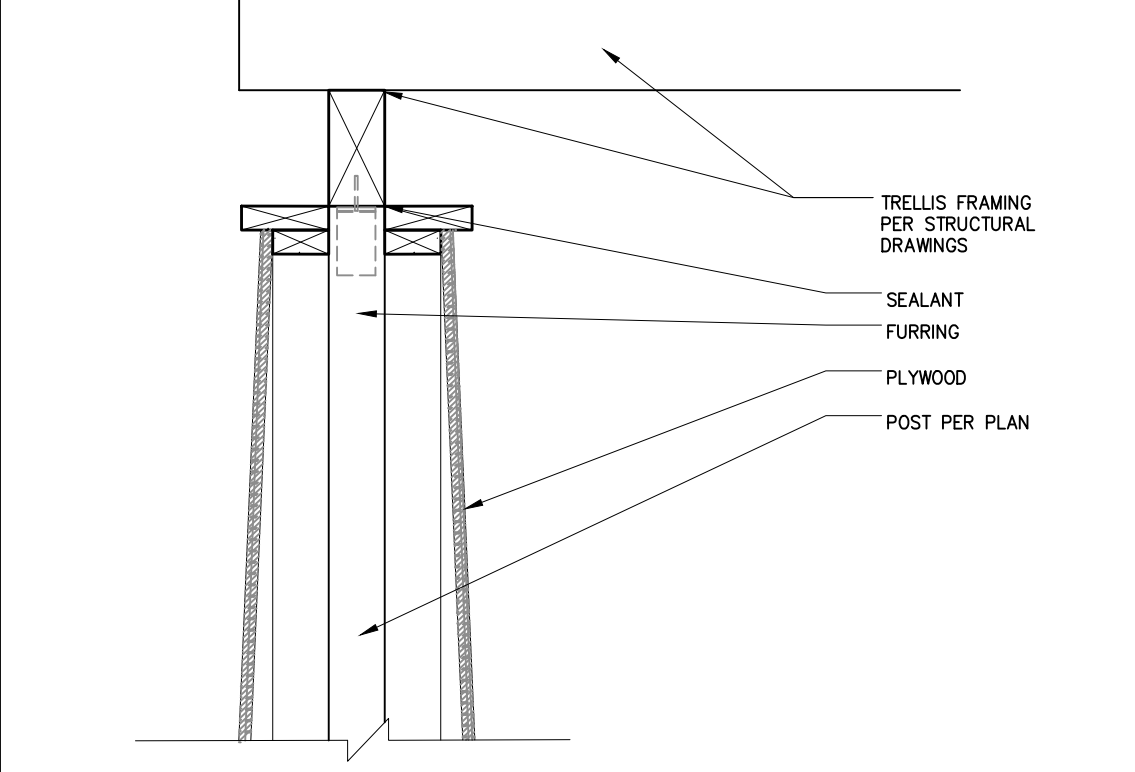
5 IGNITION RESISTIVE EXPOSED RAFTER EAVE SCALE: 1"=1'-0"



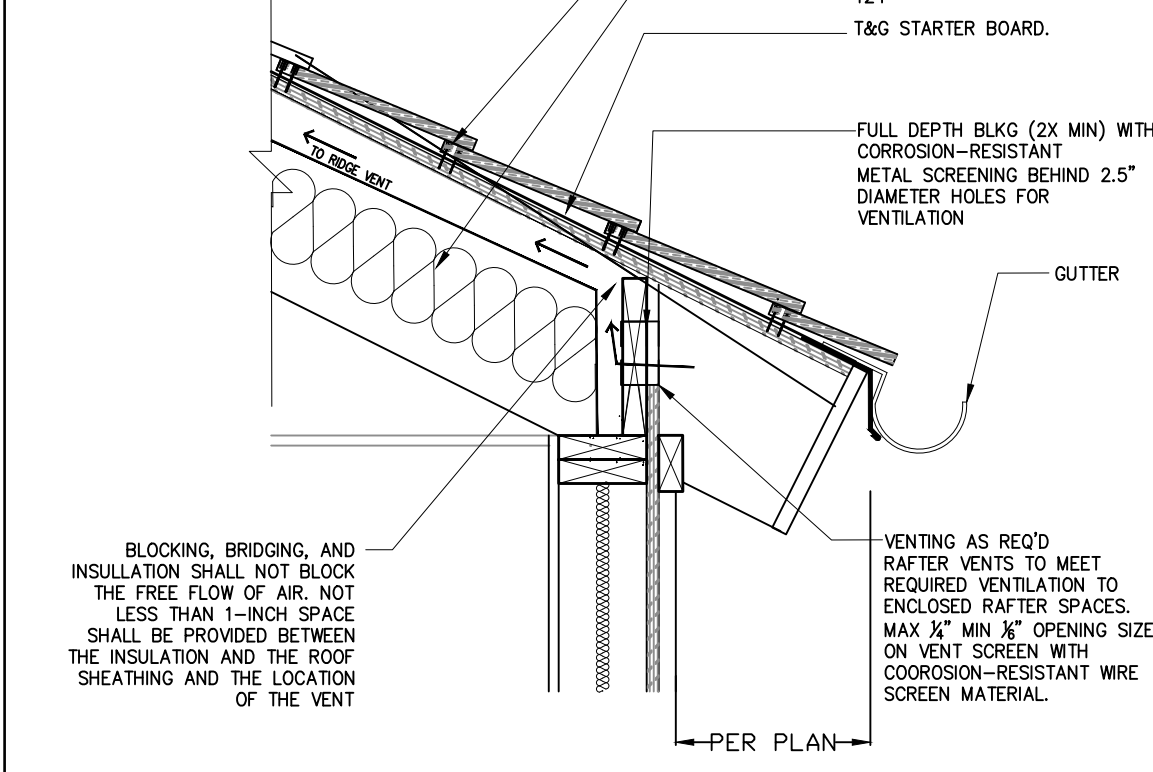
1 IGNITION RESISTIVE GABLE WITH 2x6 & 2x12 FASCIA SCALE: 1"=1'-0"



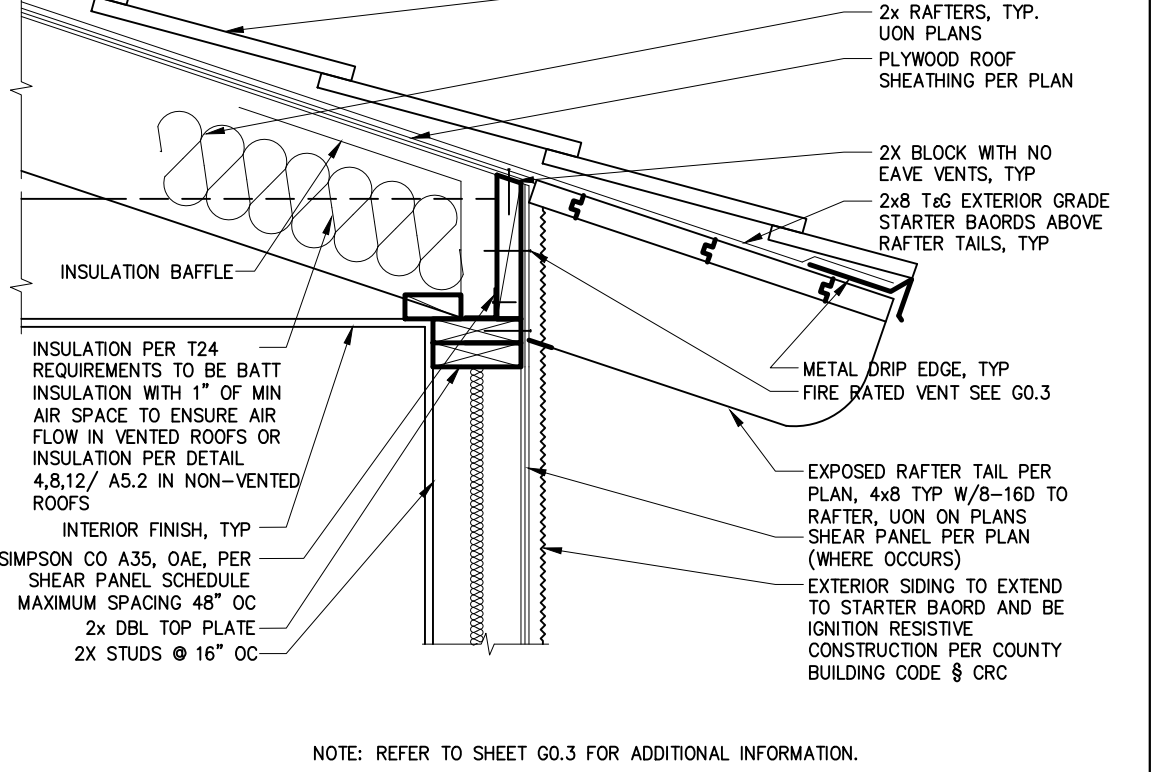
17 POST & RAFTER DETAIL AT RANCH PORCH SCALE: 1"=1'-0"



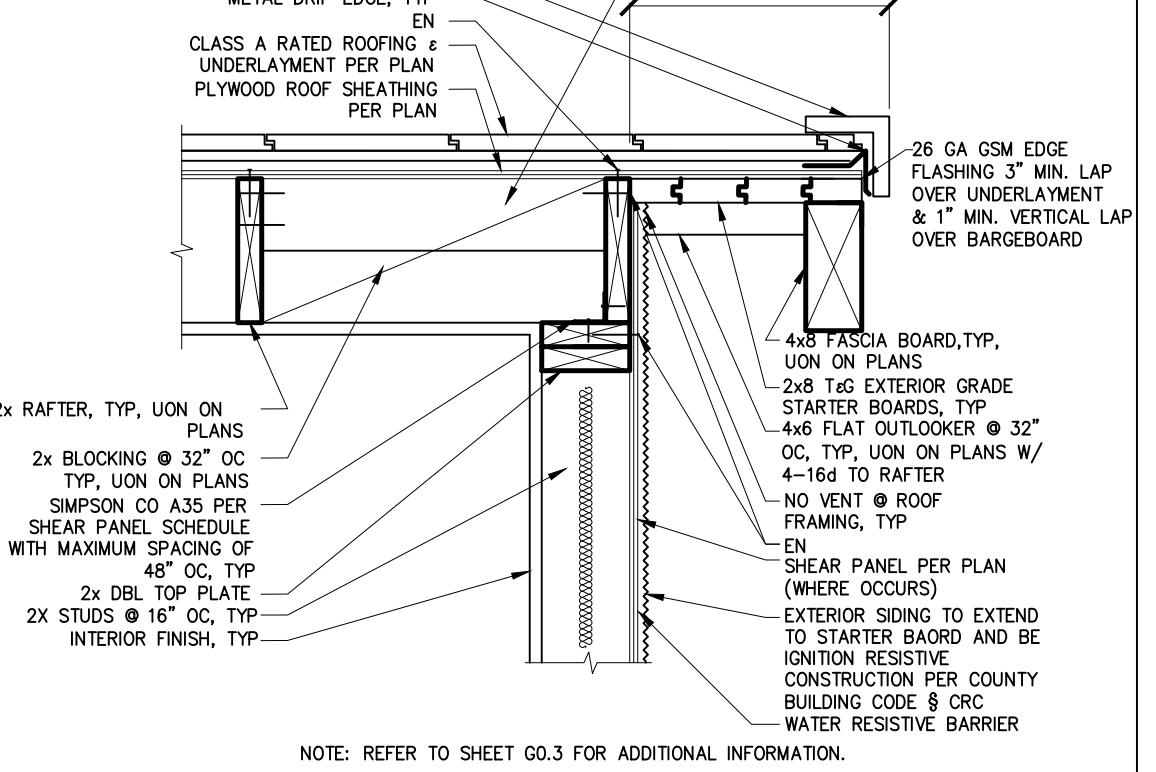
14 TRELLIS BEAM AT COLUMN - CRAFTSMAN SCALE: 1"=1'-0"



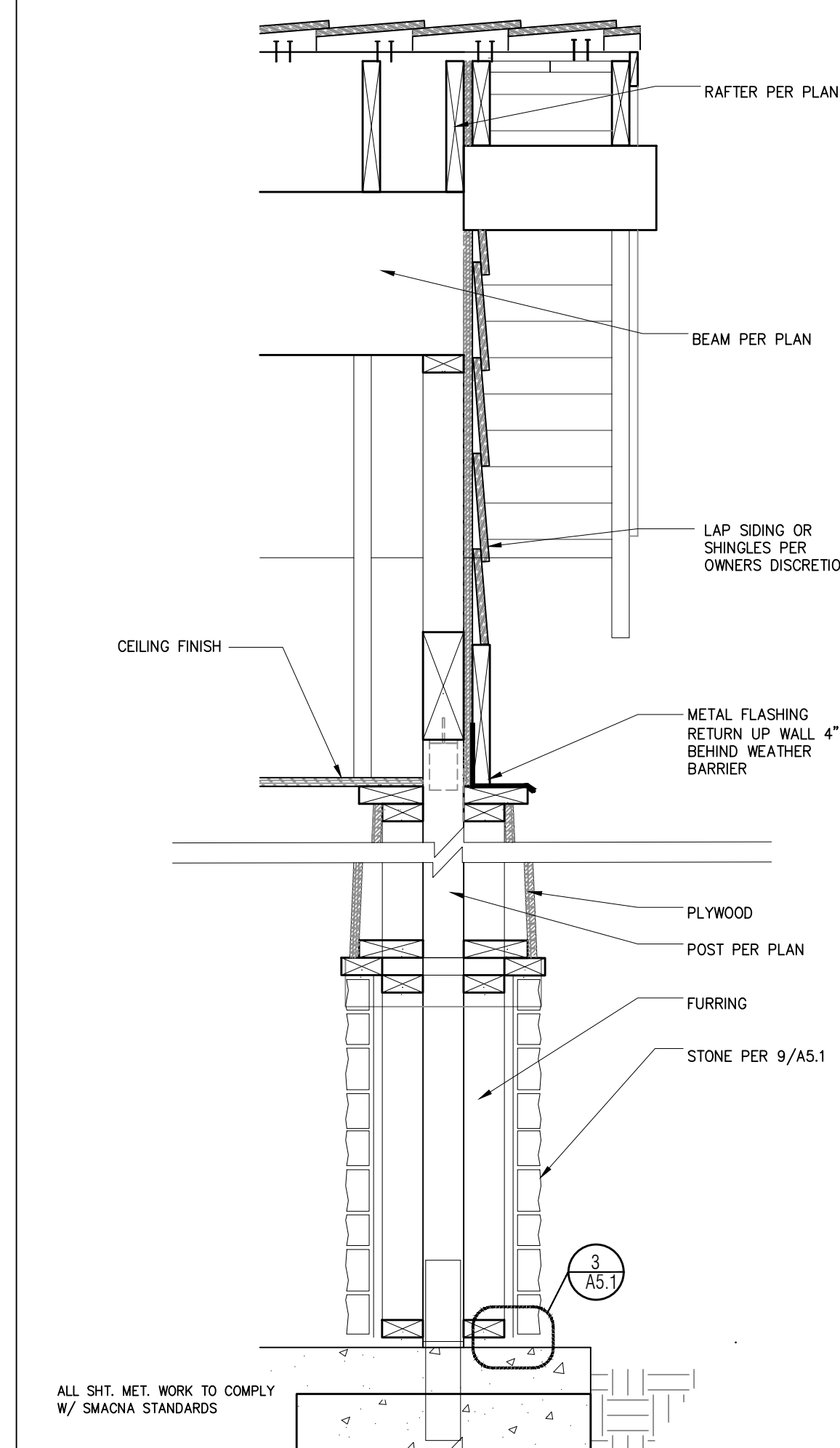
10 RAFTER EAVE CONNECTION SCALE: 1"=1'-0"



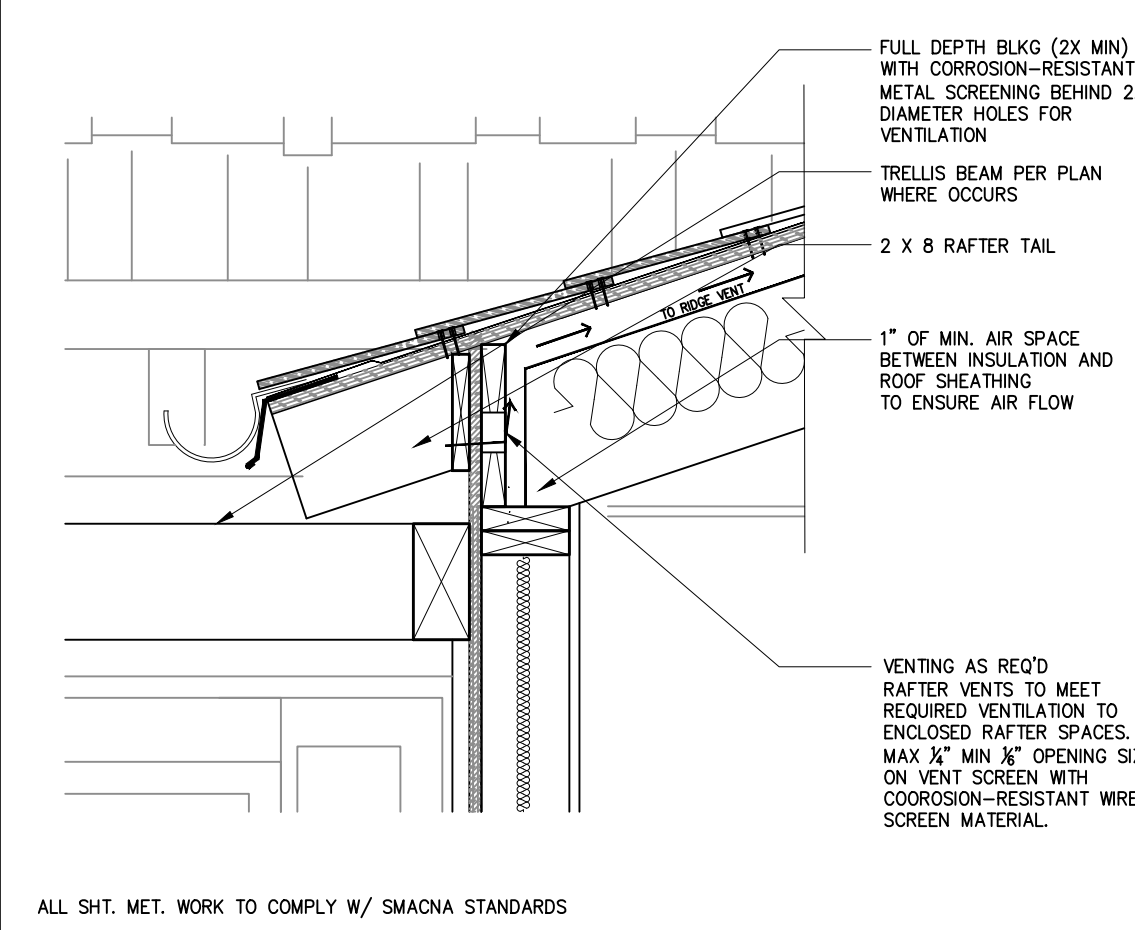
6 IGNITION RESISTIVE RAFTER EAVE HEAVY TIMBER SCALE: 1"=1'-0"



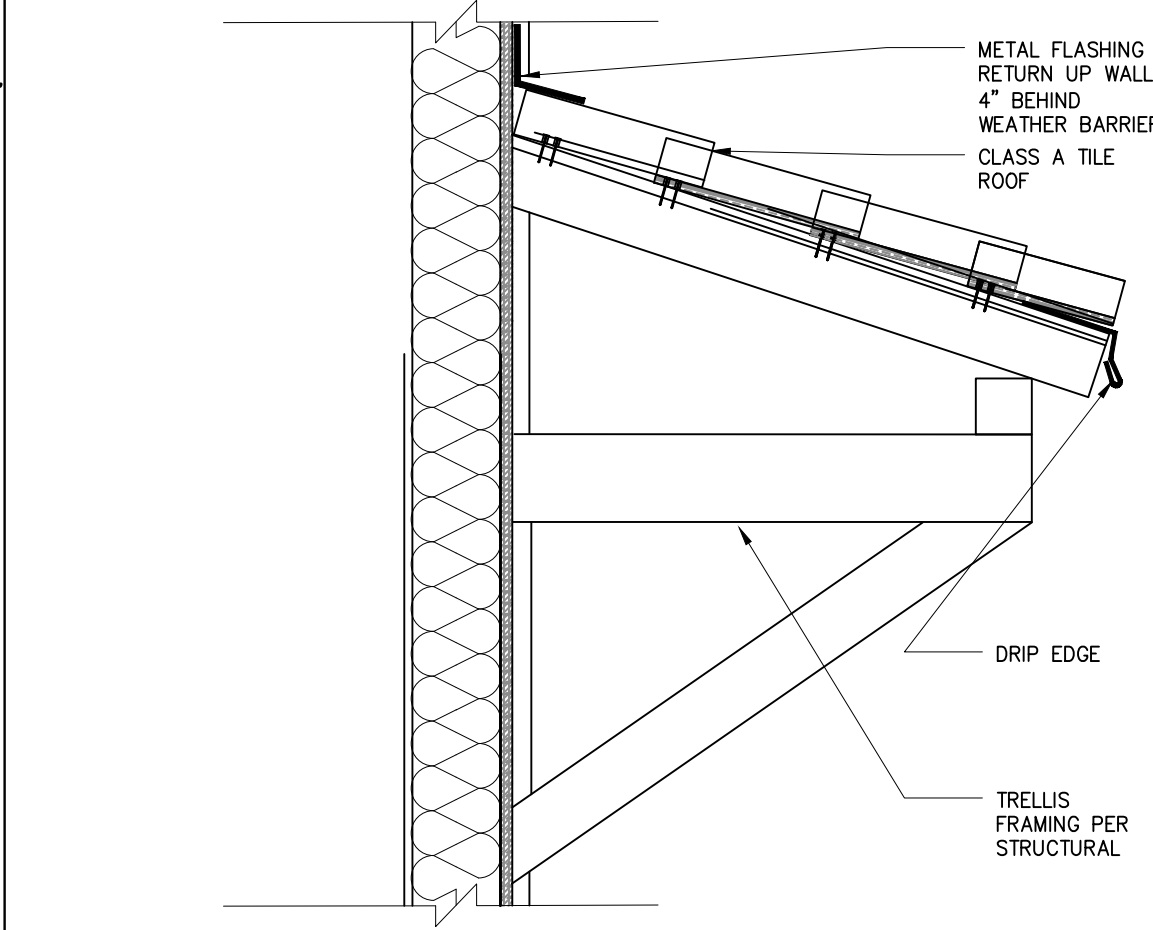
2 IGNITION RESISTIVE GABLE HEAVY TIMBER SCALE: 1"=1'-0"



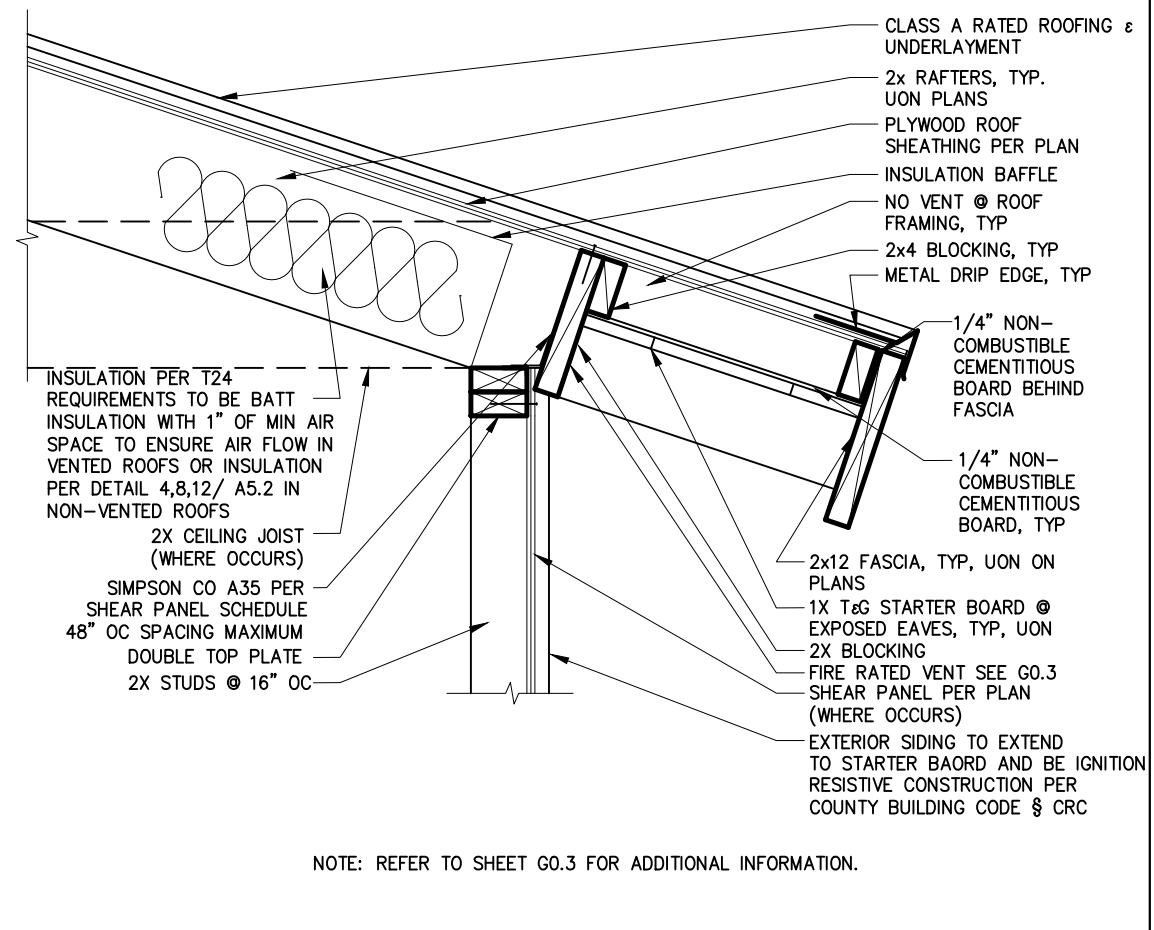
18 RIDGE BEAM/OVERHANG/COLUMN - CRAFTSMAN SCALE: 1"=1'-0"



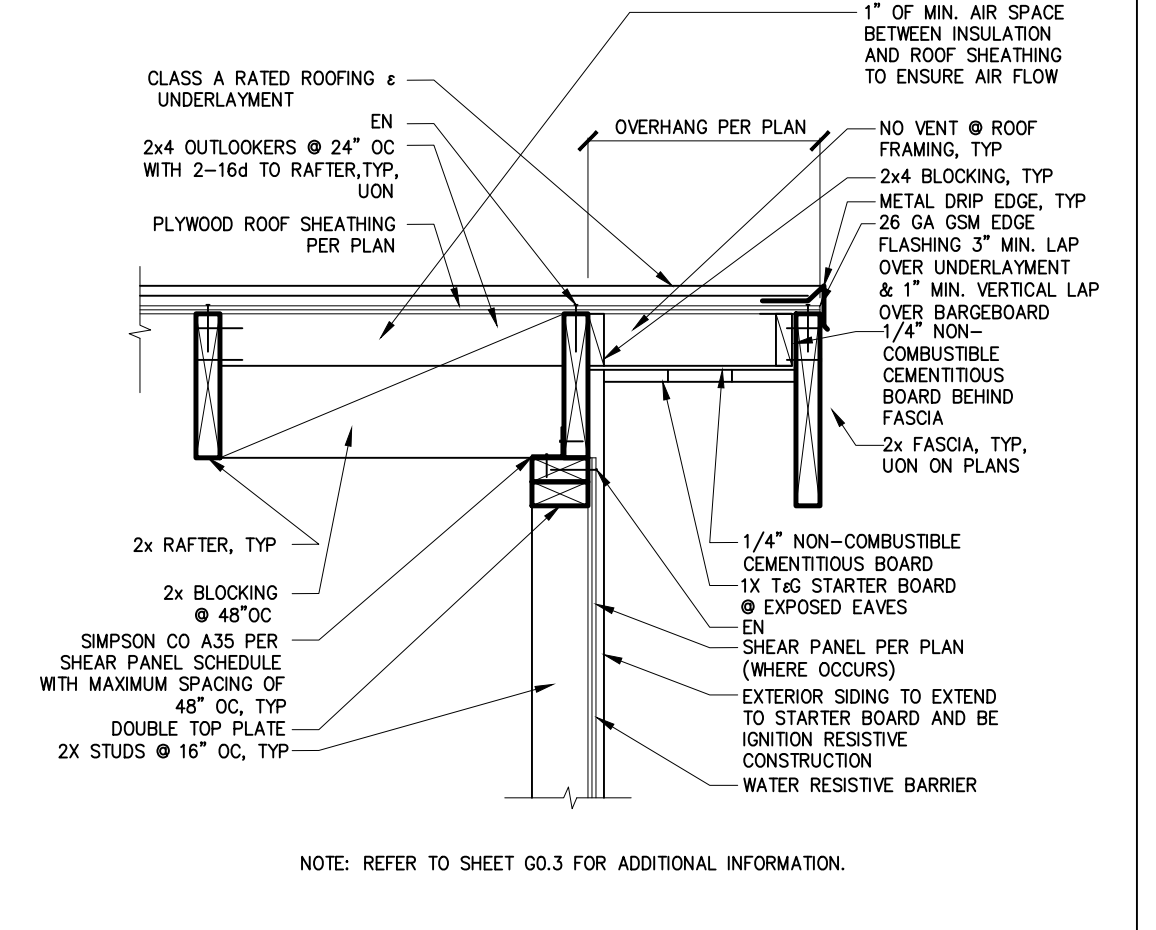
15 EAVE DETAIL WITH VENTING/TRELLIS SCALE: 1"=1'-0"



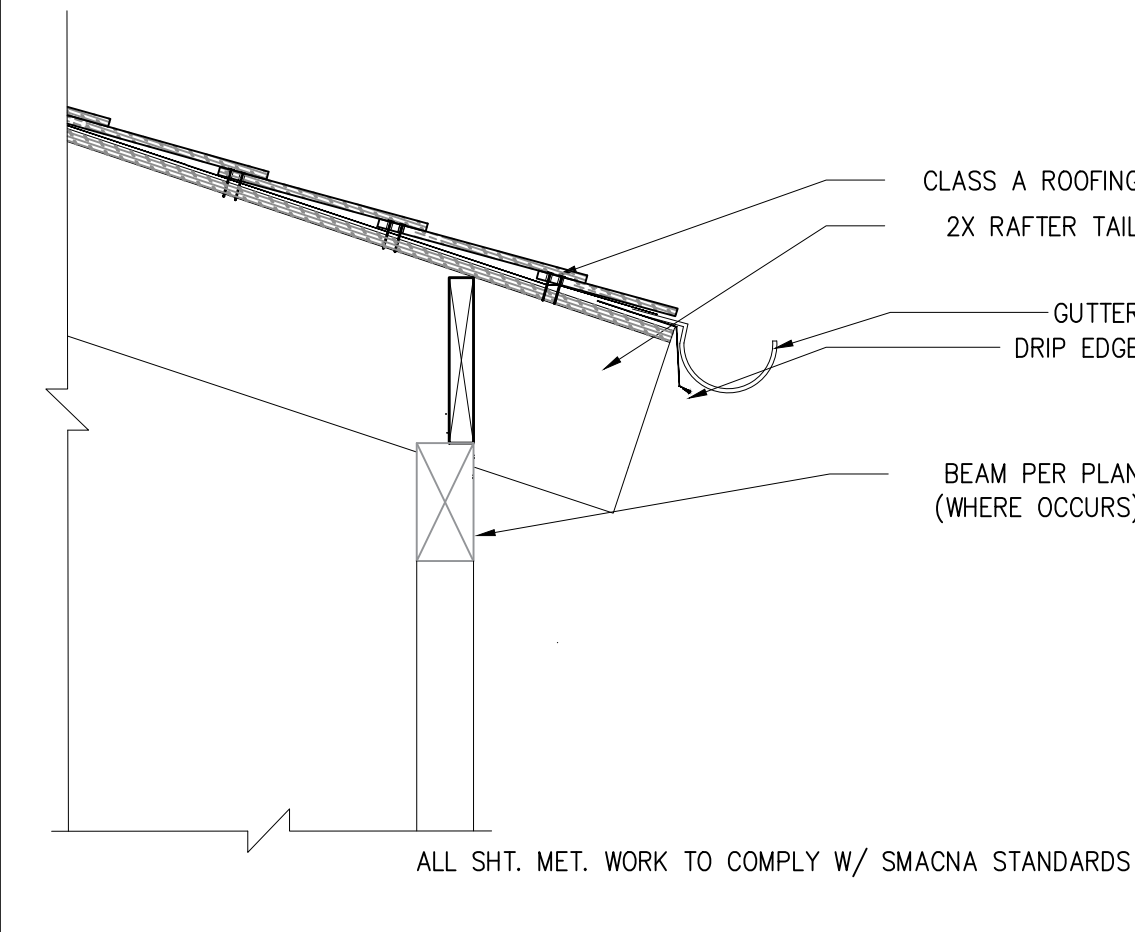
11 AWNING - AT GABLE END SCALE: 1"=1'-0"



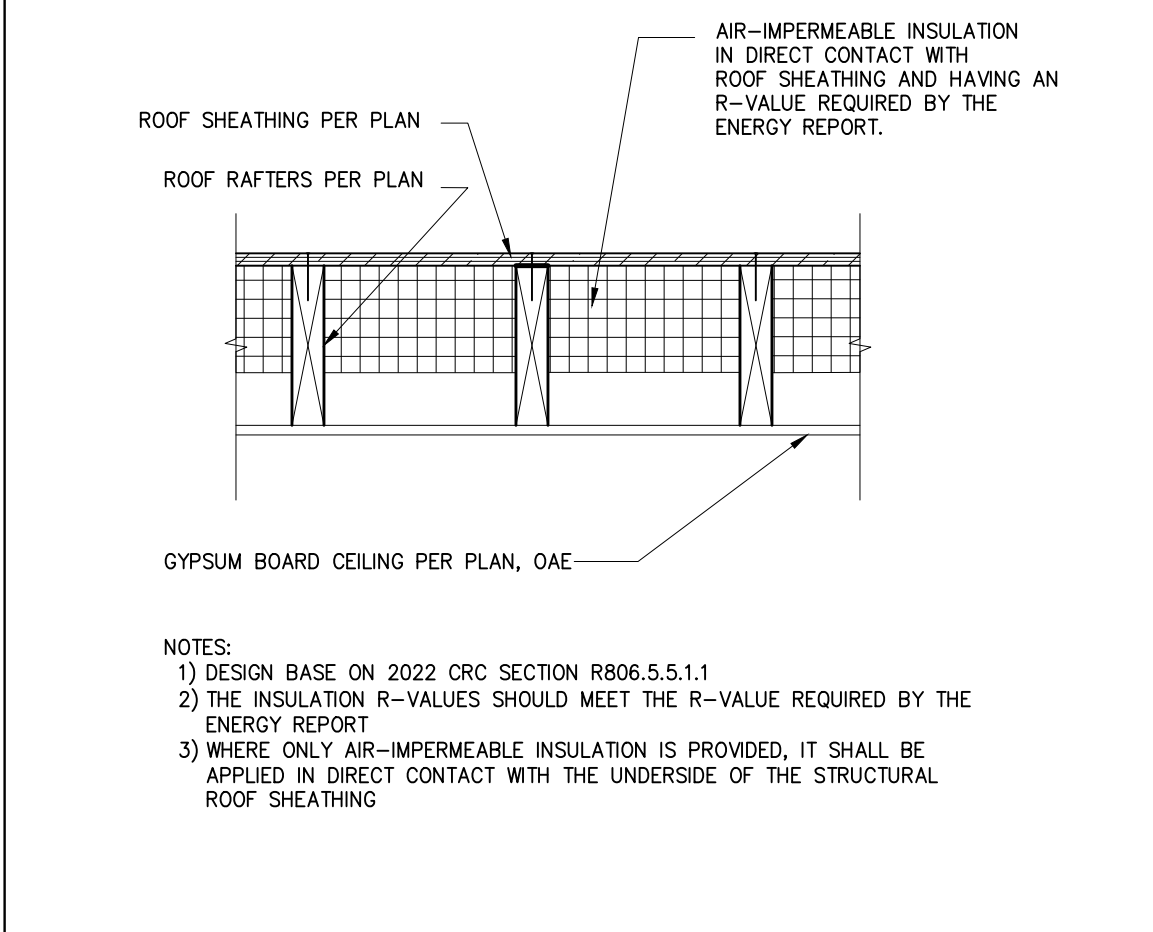
7 IGNITION RESISTIVE RAFTER EAVE WITH 2x FASCIA SCALE: 1"=1'-0"



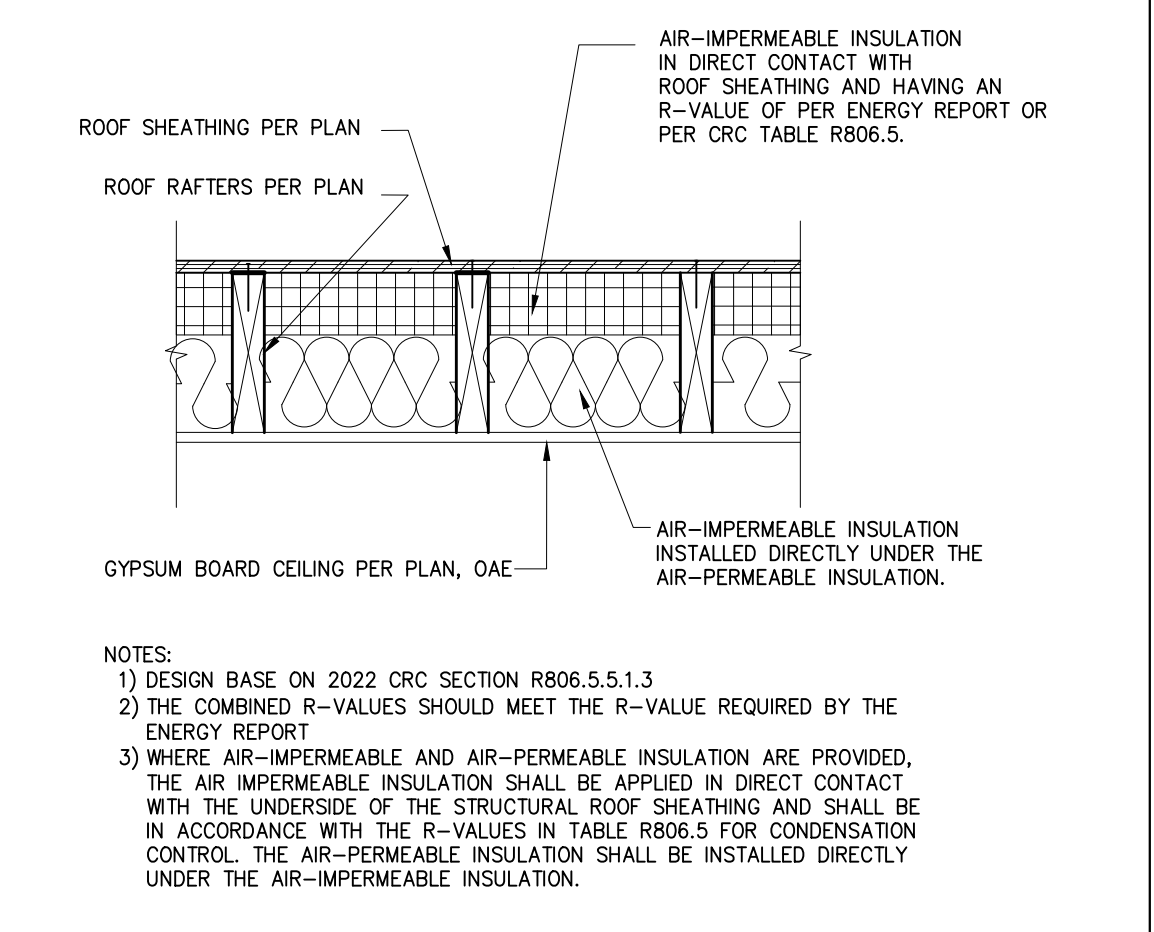
3 IGNITION RESISTIVE GABLE WITH 2x FASCIA SCALE: 1"=1'-0"



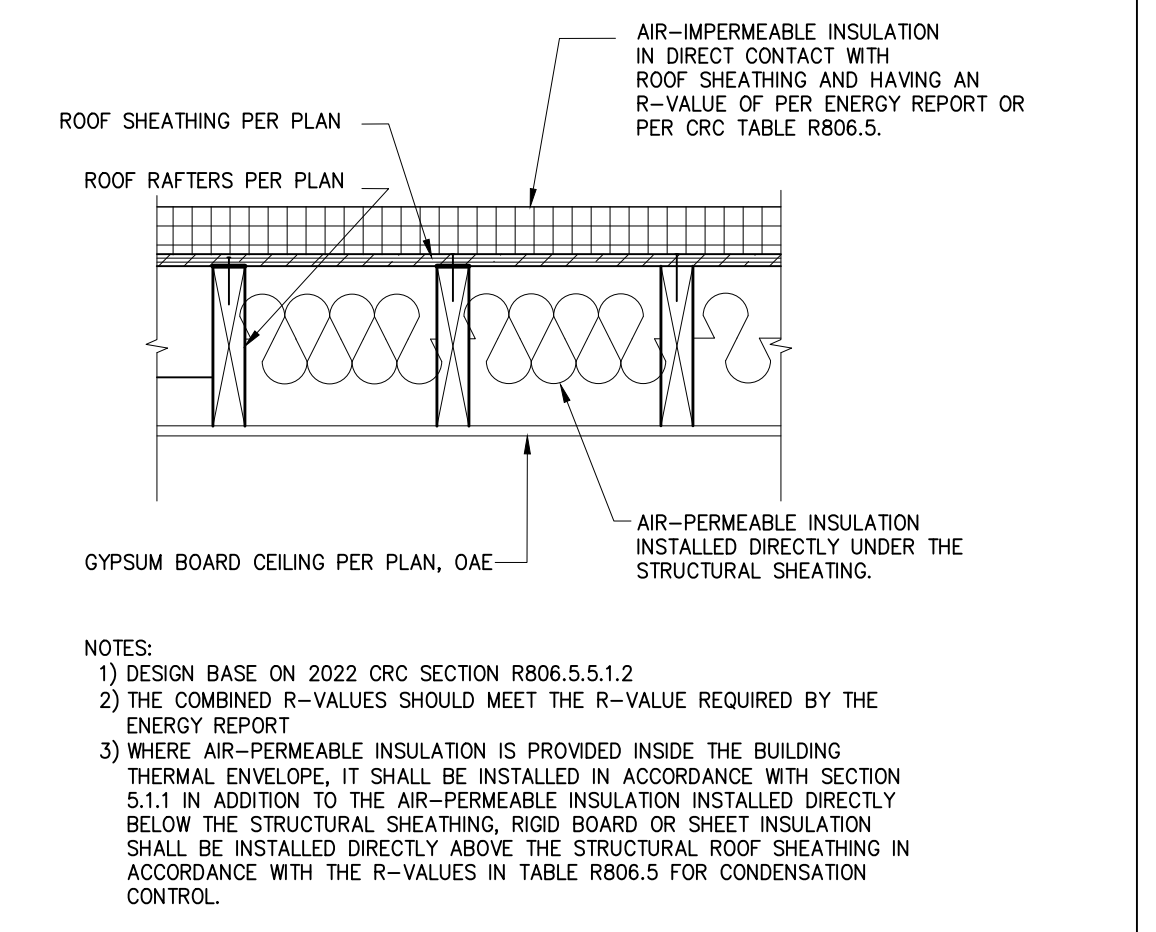
16 EAVE AT RANCH PORCH SCALE: 1"=1'-0"



12 INSULATION @ UNVENTED ROOF ASSEMBLY IMPERMEABLE ONLY SCALE: 1"=1'-0"



8 INSULATION @ UNVENTED ROOF ASSEMBLY BOTH TYPES SCALE: 1"=1'-0"



4 INSULATION AT UNVENTED ROOF ASSEMBLY-OVER/UNDER SCALE: 1"=1'-0"

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description  
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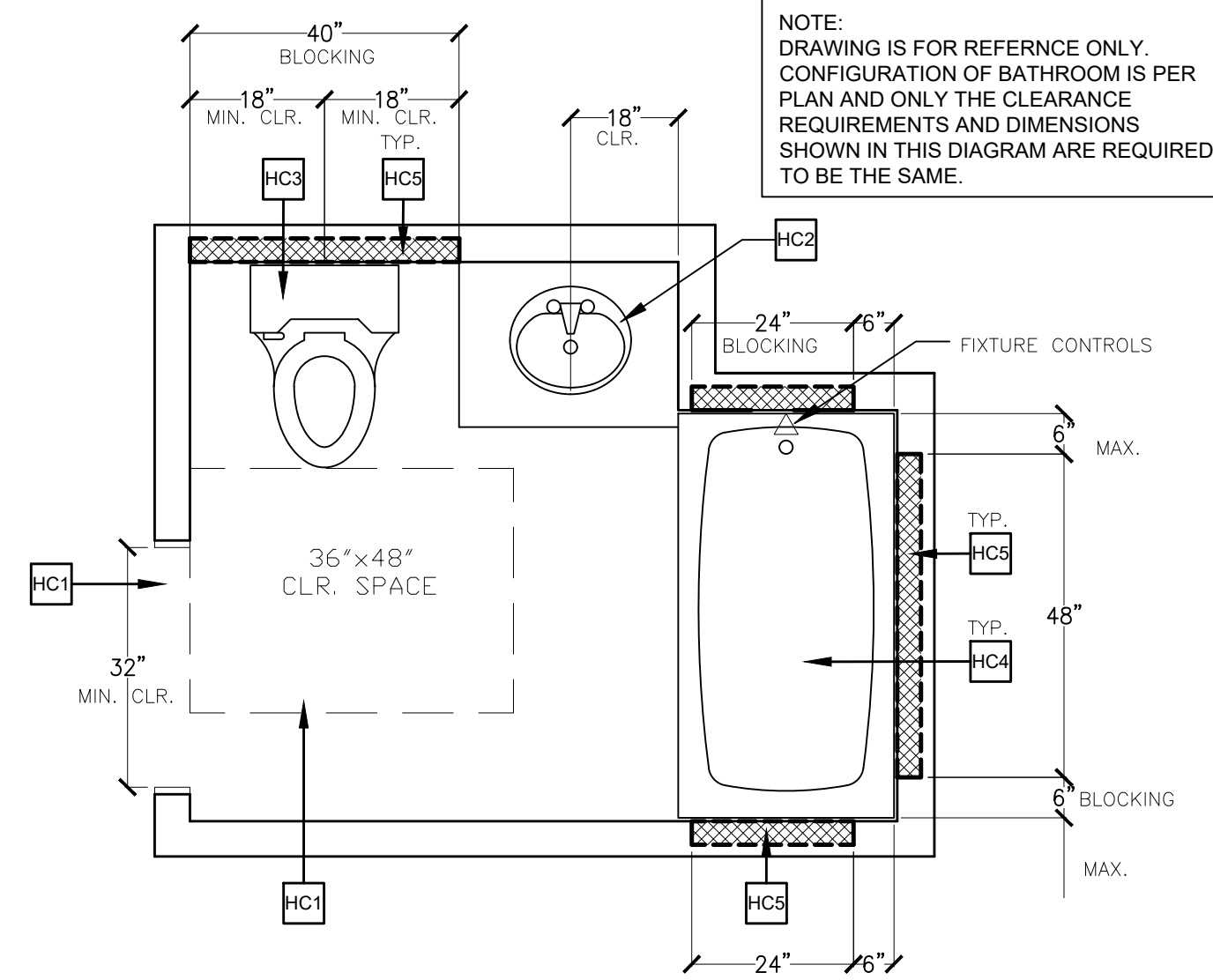
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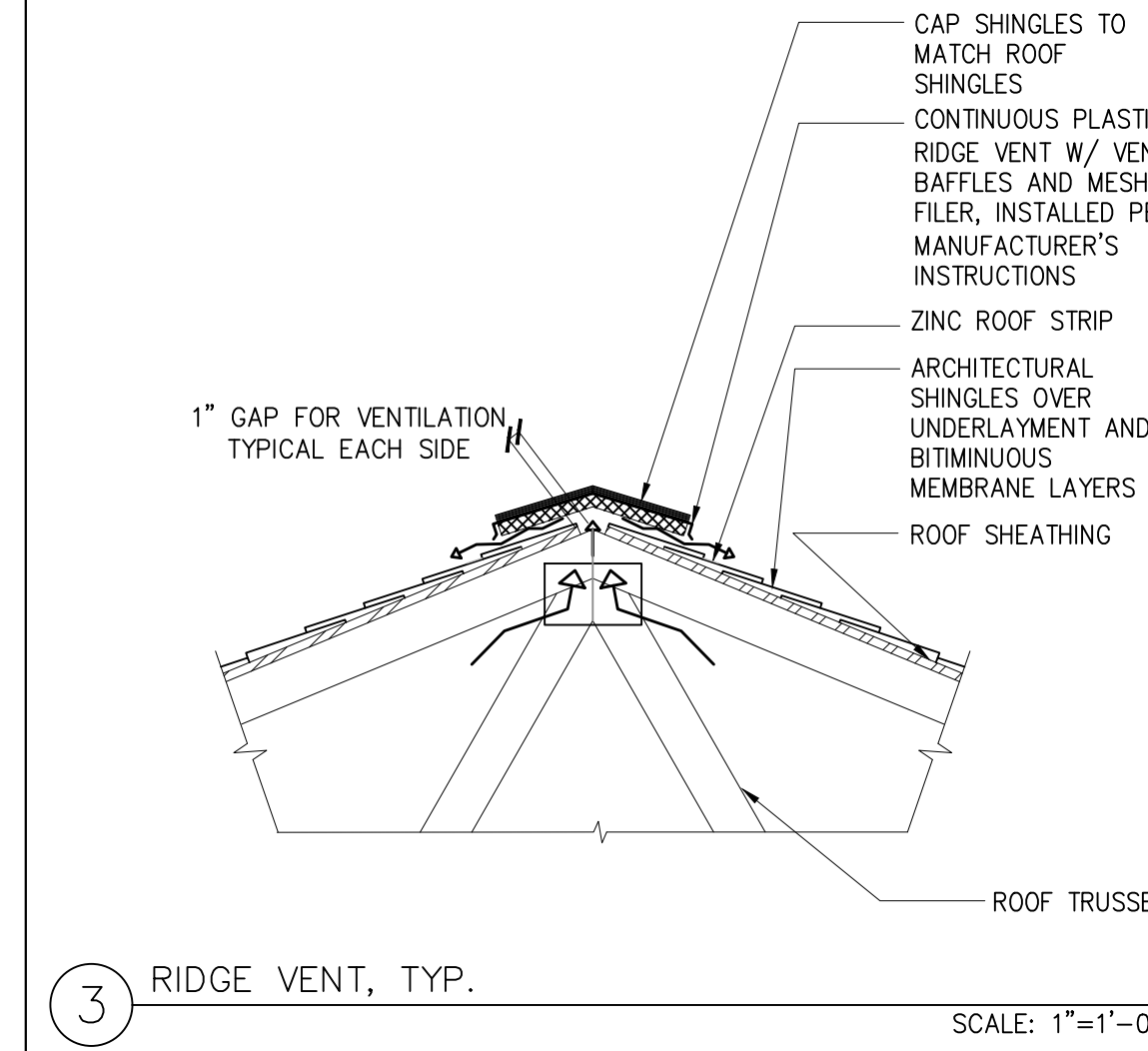
**R806.5 UNVENTED ATTIC AND UNVENTED ENCLOSED RAFTER ASSEMBLIES**

- 5.2 In Climate Zones 1, 2 and 3, air-permeable insulation installed in unvented attics shall meet the following requirements:
- 5.2.1 An approved vapor diffusion port shall be installed not more than 12 inches (305 mm) from the highest point of the roof, measured vertically from the highest point of the roof to the lower edge of the port.
- 5.2.2 The port area shall be greater than or equal to 1:600 of the ceiling area. Where there are multiple ports in the attic, the sum of the port areas shall be greater than or equal to the area requirement.
- 5.2.3 The vapor-permeable membrane in the vapor diffusion port shall have a vapor permeance rating of greater than or equal to 20 perms when tested in accordance with Procedure A of ASTM E96.
- 5.2.4 The vapor diffusion port shall serve as an air barrier between the attic and the exterior of the building.
- 5.2.5 The vapor diffusion port shall protect the attic against the entrance of rain and snow.
- 5.2.6 Framing members and blocking shall not block the free flow of water vapor to the port. Not less than a 2-inch (51 mm) space shall be provided between any blocking and the roof sheathing. Air-permeable insulation shall be permitted within that space.
- 5.2.7 The roof slope shall be greater than or equal to 3:12 (vertical/horizontal).
- 5.2.8 Where only air-permeable insulation is used, it shall be installed directly below the structural roof sheathing, on top of the attic floor, or on top of the ceiling.
- 5.2.9 Air-impermeable insulation, where used in conjunction with air-permeable insulation, shall be directly above or below the structural roof sheathing and is not required to meet the R-value in Table R806.5. Where directly below the structural roof sheathing, there shall be no space between the air-impermeable insulation and air-permeable insulation.
- 5.2.10 Where air-permeable insulation is used and is installed directly below the roof structural sheathing, air shall be supplied at a flow rate greater than or equal to 50 CFM (23.6 L/s) per 1,000 square feet (93 m<sup>2</sup>) of ceiling. The air shall be supplied from ductwork providing supply air to the occupiable space when the conditioning system is operating. Alternatively, the air shall be supplied by a supply fan when the conditioning system is operating.

**UNVENTED ROOF ASSEMBLY (CRC R806.5.2)**



**EXAMPLE ACCESSIBLE BATHROOM (CBC 11A)**



**RESIDENTIAL UNIT BATHROOM AGING IN PLACE REQUIREMENTS (SINGLE BATHROOM OPTION)**

- CRC R327.1.1 - REINFORCEMENT FOR GRAB BARS
- AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION. WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH THIS SECTION.
1. REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
  2. REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH NOMINAL LUMBER OR OTHER MATERIAL PROVIDING EQUAL HEIGHT AND LOAD CAPACITY. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES AND 39 1/2 INCHES ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.
  3. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL.
  4. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
  5. BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHTUB RIM.
- EXCEPTIONS:
1. WHERE THE WATER CLOSET IS NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR-MOUNTED, FOLDAWAY OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS APPROVED BY THE ENFORCING AGENCY.
  2. REINFORCEMENT SHALL NOT BE REQUIRED IN WALL FRAMING FOR PRE-FABRICATED SHOWER ENCLOSURES AND BATHTUB WALL PANELS WITH INTEGRAL FACTORY-INSTALLED GRAB BARS OR WHEN FACTORY-INSTALLED REINFORCEMENT FOR GRAB BARS IS PROVIDED.
  3. SHOWER ENCLOSURES THAT DO NOT PERMIT INSTALLATION OF REINFORCEMENT AND/OR GRAB BARS SHALL BE PERMITTED, PROVIDED REINFORCEMENT FOR INSTALLATION OF FLOOR-MOUNTED GRAB BARS OR AN ALTERNATE METHOD IS APPROVED BY THE ENFORCING AGENCY.
  4. BATHTUBS WITH NO SURROUNDING WALLS, OR WHERE WALL PANELS DO NOT PERMIT THE INSTALLATION OF REINFORCEMENT SHALL BE PERMITTED, PROVIDED REINFORCEMENT FOR INSTALLATION OF FLOOR-MOUNTED GRAB BARS ADJACENT TO THE BATHTUB OR AN ALTERNATE METHOD IS APPROVED BY THE ENFORCING AGENCY.
  5. REINFORCEMENT OF FLOORS SHALL NOT BE REQUIRED FOR BATHTUBS AND WATER CLOSETS INSTALLED ON CONCRETE SLAB FLOORS.

- CRC R327.1.1 - DOCUMENTATION FOR GRAB BAR REINFORCEMENT
- INFORMATION AND/OR DRAWINGS IDENTIFYING THE LOCATION OF GRAB BAR REINFORCEMENT SHALL BE PLACED IN THE OPERATION AND MAINTENANCE MANUAL IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.4.
- ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS**
- CRC R327.1.2
- ELECTRICAL RECEPTACLE OUTLETS, SWITCH, AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION, AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR
- EXCEPTIONS:
1. DEDICATED RECEPTACLE OUTLETS; FLOOR RECEPTACLE OUTLETS; CONTROLS MOUNTED ON CEILING FANS AND CEILING LIGHTS; AND CONTROLS LOCATED ON APPLIANCES.
  2. RECEPTACLE OUTLETS REQUIRED BY THE CALIFORNIA ELECTRICAL CODE ON A WALL SPACE WHERE THE DISTANCE BETWEEN THE FINISHED FLOOR AND A BUILT-IN FEATURE ABOVE THE FINISH FLOOR, SUCH AS A WINDOW, IS LESS THAN 15 INCHES.

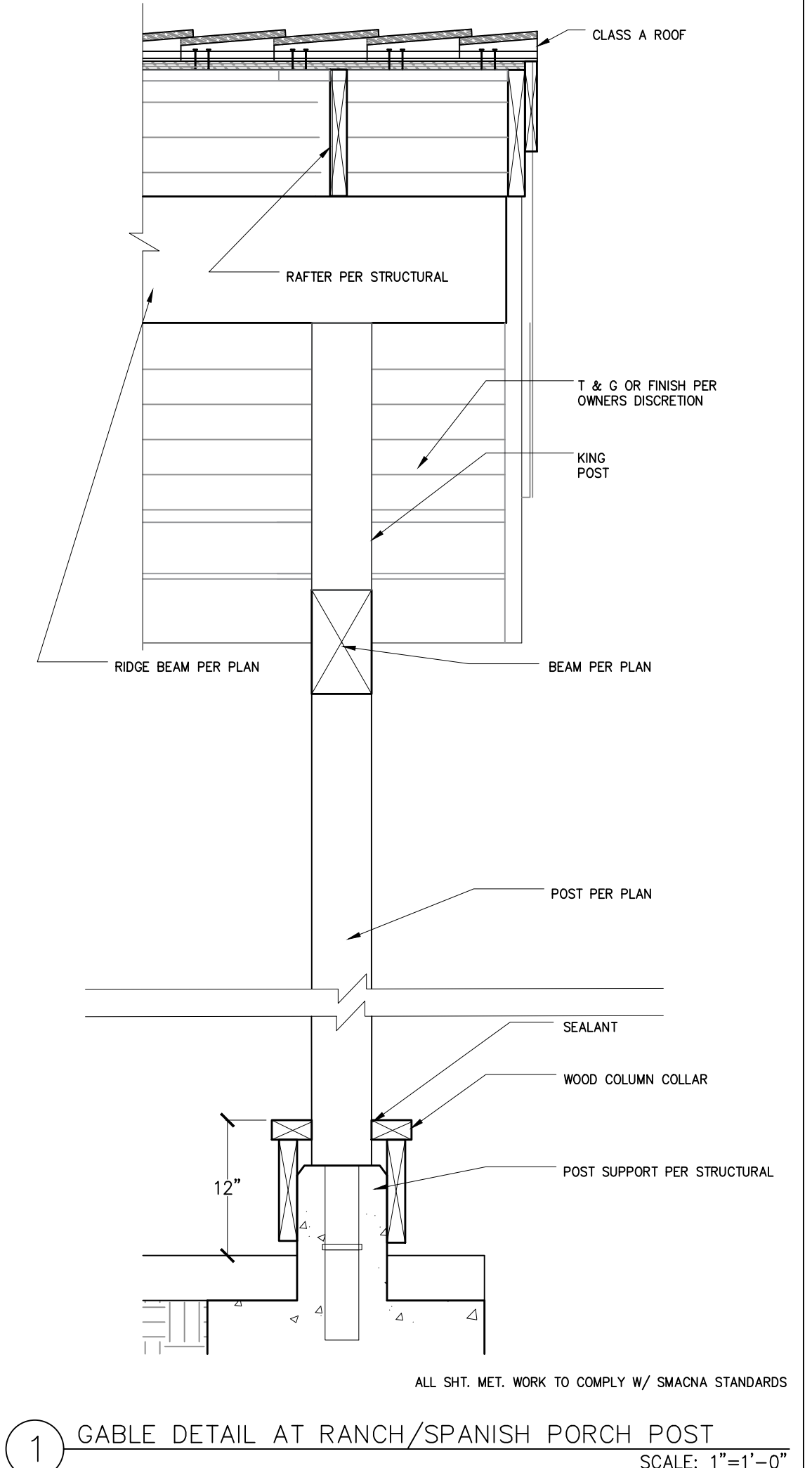
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**ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS**

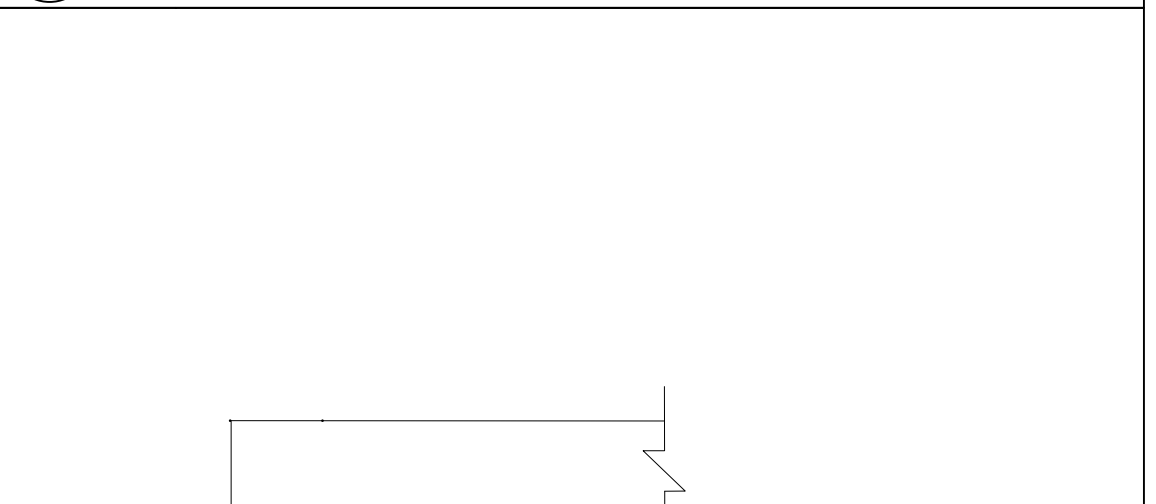
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**AGING IN PLACE KEYNOTES (CRC 327)**

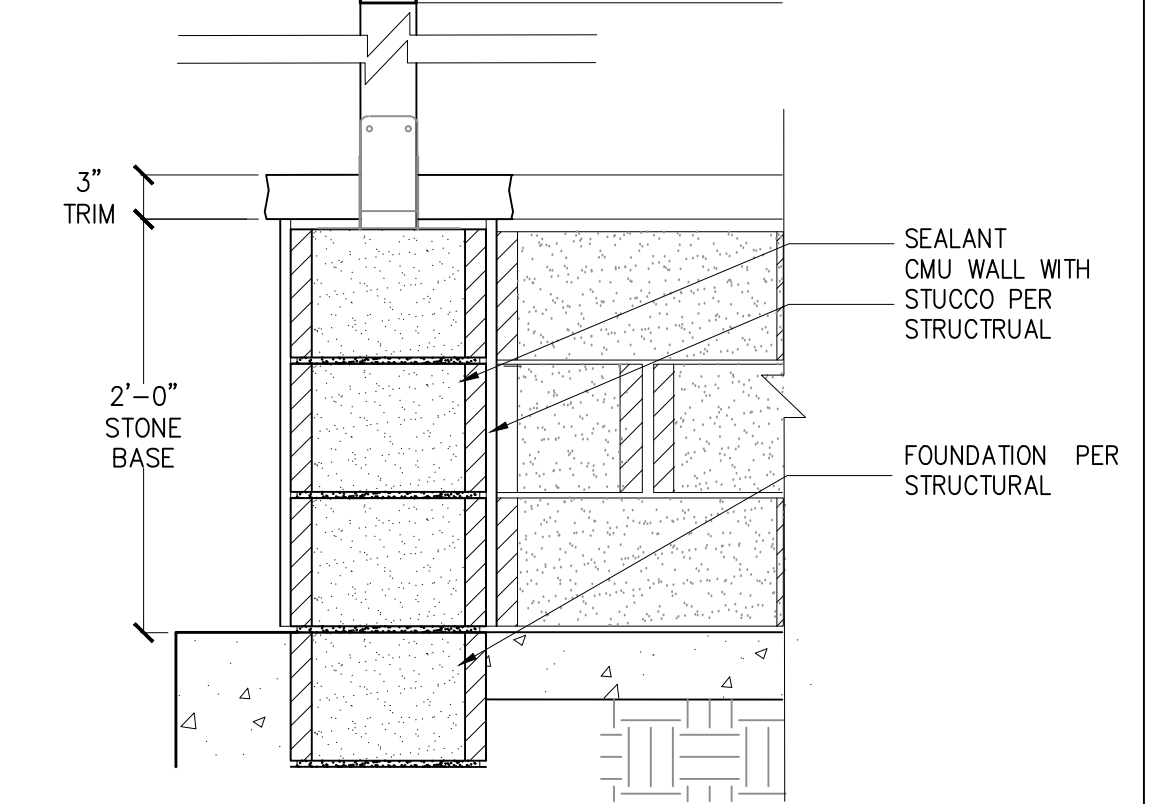
- HC1 AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32", MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION.
- HC2 ACCESSIBLE LAVATORY PER PLAN W/ A REMOVABLE BASE CABINET. FOR LAVATORY ACCESSIBILITY REQUIREMENTS SEE NOTES UNDER THE "RESIDENTIAL UNIT BATHROOM DISABLED ACCESS REQUIREMENT NOTES."
- HC3 ACCESSIBLE WATER CLOSET PER PLAN. FOR WATER CLOSET ACCESSIBILITY REQUIREMENTS SEE NOTES UNDER THE "RESIDENTIAL UNIT BATHROOM DISABLED ACCESS REQUIREMENT NOTES."
- HC4 ACCESSIBLE 60"L (MIN.) TUB/SHOWER COMBINATION PER PLAN. FOR TUB/SHOWER ACCESSIBILITY REQUIREMENTS SEE NOTES UNDER THE "RESIDENTIAL UNIT BATHROOM DISABLED ACCESS REQUIREMENT NOTES."
- HC5 REINFORCED 2x8 BLOCKING IN WALL FOR FUTURE GRAB BARS.



**GABLE DETAIL AT RANCH/SPANISH PORCH POST**



**TRELLIS POST AT CMU WALL - SPANISH**



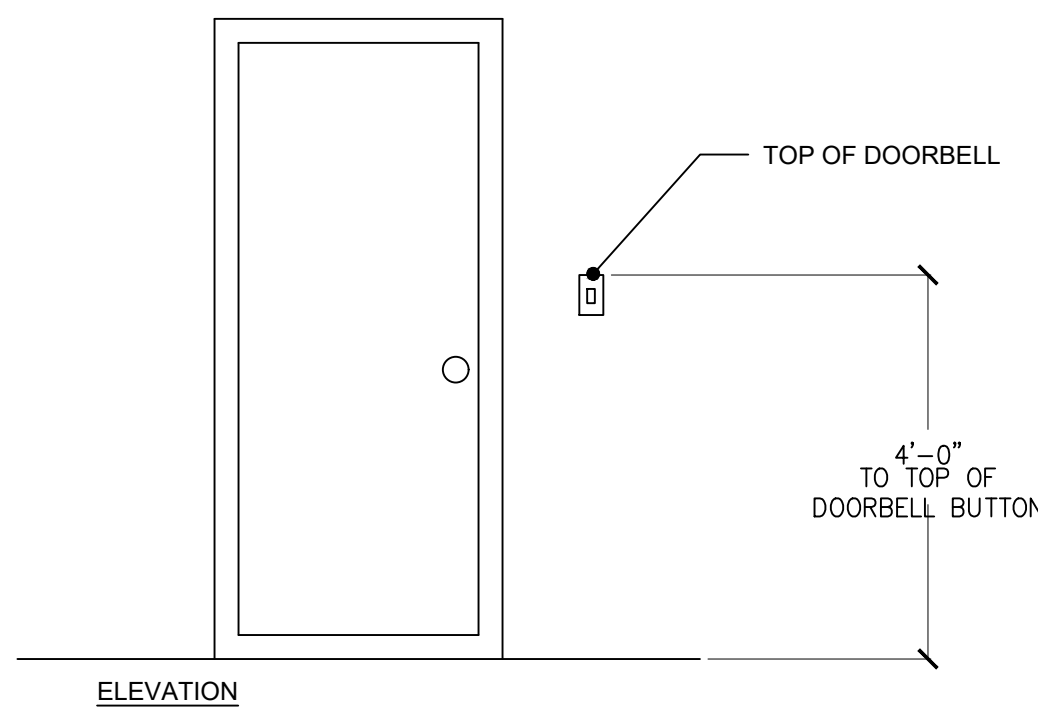
**TRELLIS POST AT CMU WALL - SPANISH**



**DOORBELL BUTTONS REQUIREMENTS**

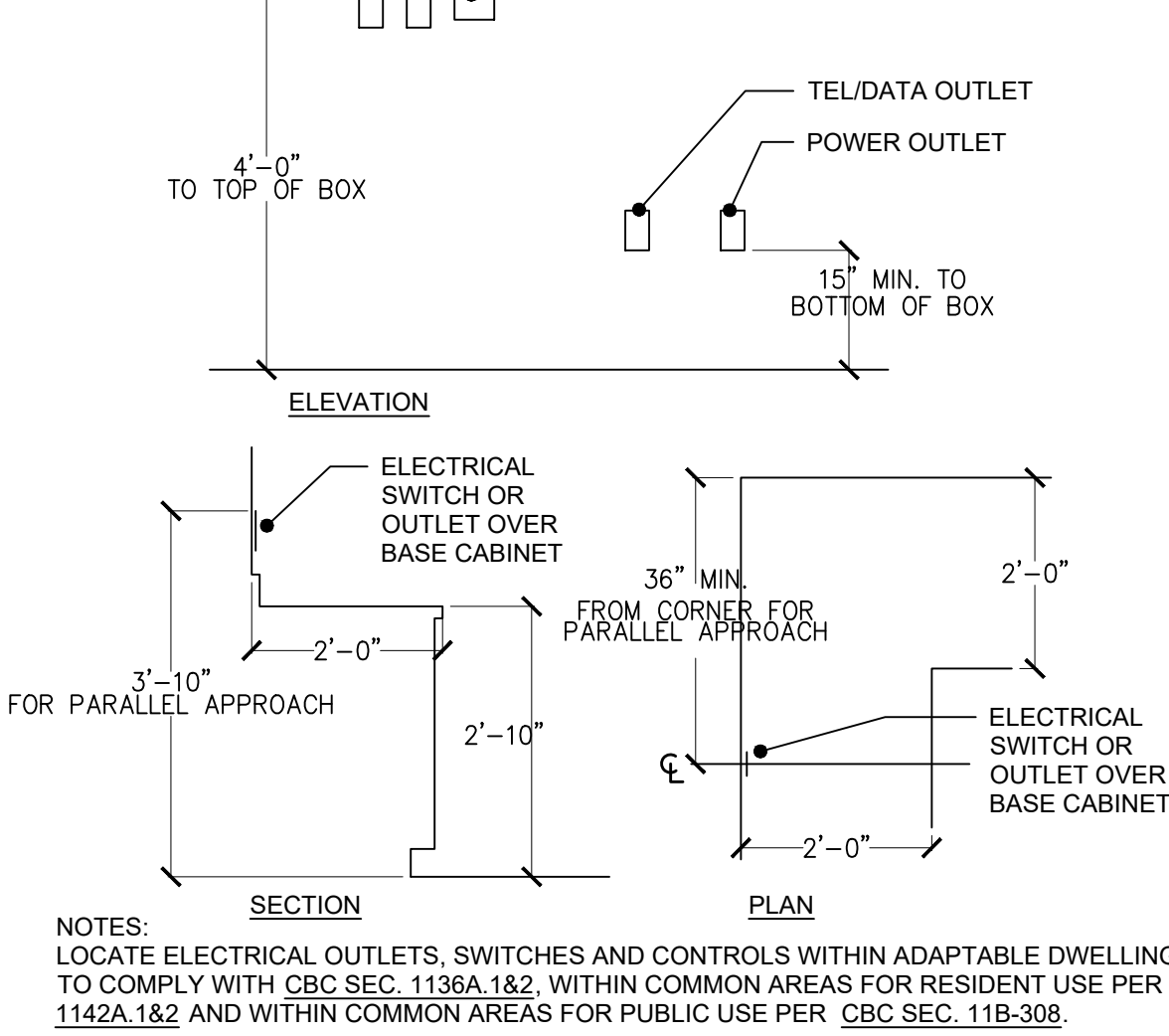
CRC R327.1.4

DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL.



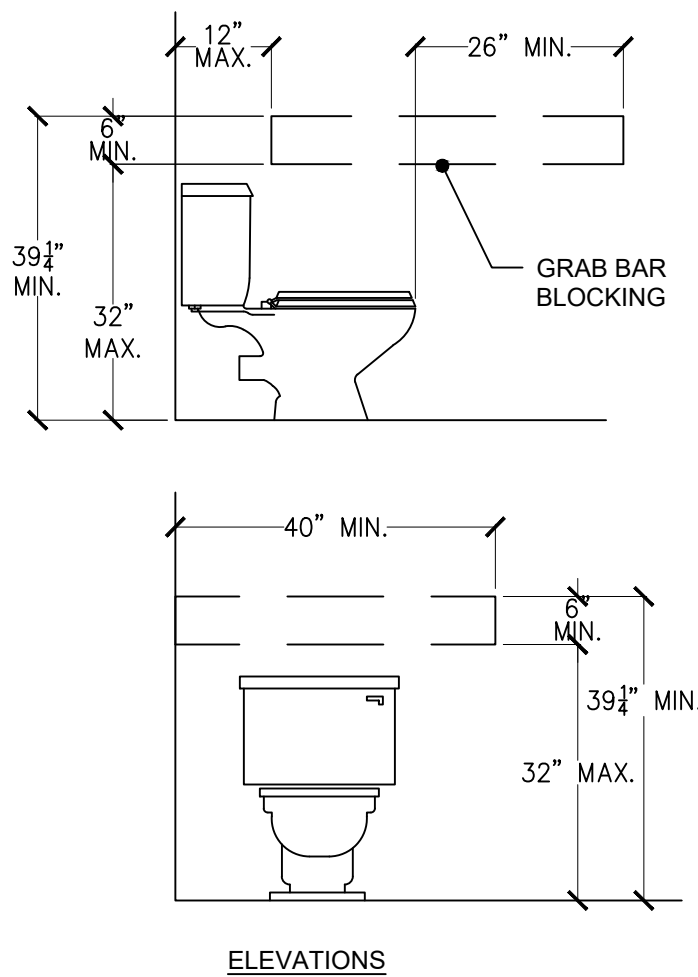
**DOORBELL BUTTONS (R327.1.4)**

**DWELLING UNIT SWITCH LOCATIONS (R327.1.2)**



**DWELLING UNIT SWITCH LOCATIONS (R327.1.2)**

**RESTROOM RES. WATER CLOSET (CBC 11A)**



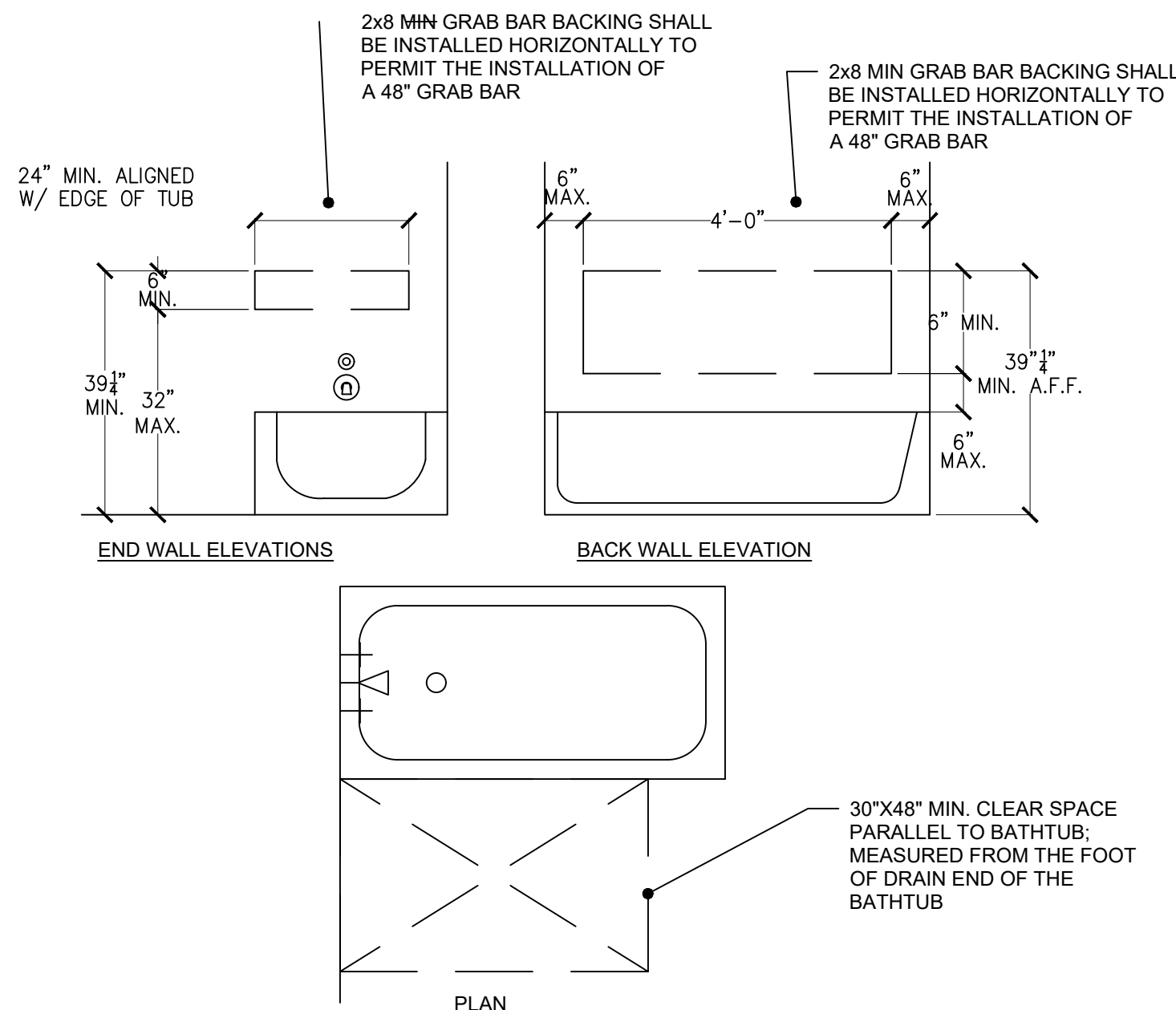
**RESTROOM RES. WATER CLOSET (CBC 11A)**

NOTES:  
WHERE WATER CLOSETS ARE NOT PLACED ADJACENT TO A SIDE WALL, PROVIDE FOR INSTALLATION OF FLOOR-MOUNTED, FOLDAWAY OR SIMILAR ALTERNATIVE GRAB BARS. (SEC. 1134A.7.2)

IN LOCATIONS WHERE WATER CLOSETS ARE ADJACENT TO NON-GRAB BAR WALLS, VANITIES, LAVATORIES OR BATHTUBS, THE CENTERLINE OF THE FIXTURE SHALL BE A MINIMUM OF 18 INCHES FROM THE OBSTACLE. (SEC. 1134A.7.1)

WATER CLOSET CONTROLS SHALL BE MOUNTED NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. (SEC. 1134A.7.4)

**RESTROOM RES. BATHTUB/SHOWER (R327.1.1)**



**RESTROOM RES. BATHTUB/SHOWER (R327.1.1)**

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project  
**City of Riverside Pre-Approved ADU Program**

revisions  
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description  
**Architectural Details**

date  
October 2023

project no.  
Riverside ADU

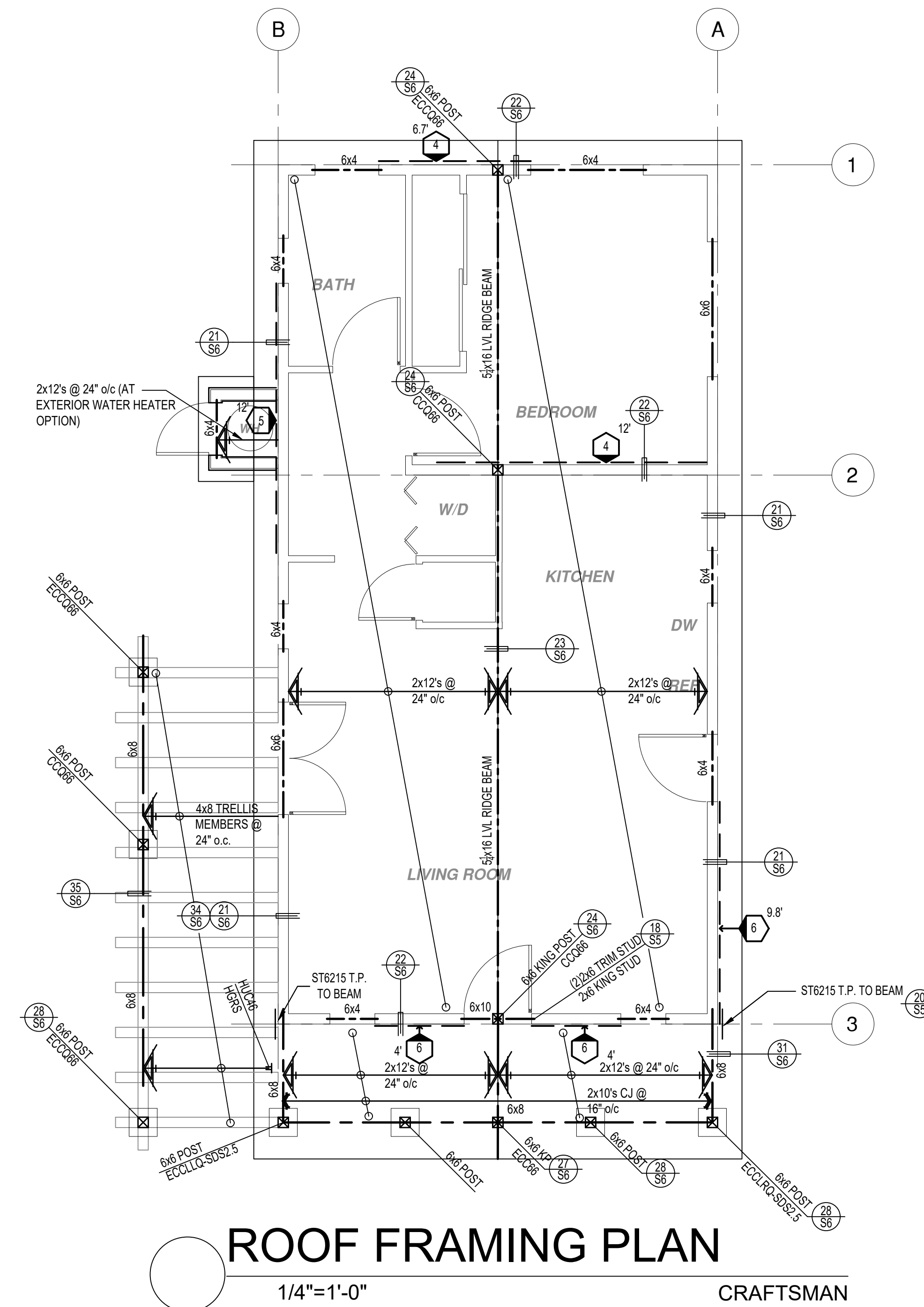
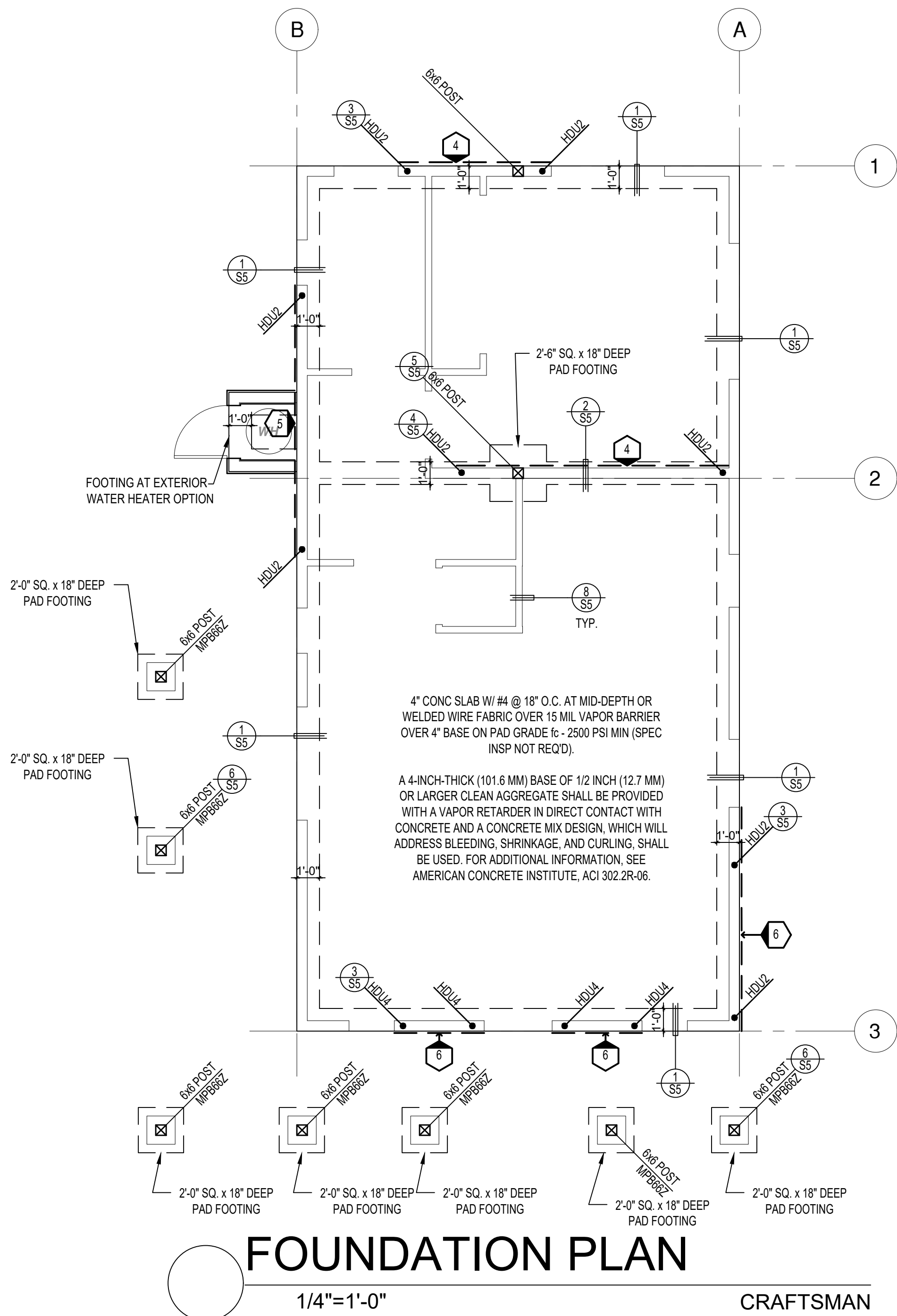
drawn by  
DESIGN PATH STUDIO

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**A5.3**





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**SHEAR WALL SCHEDULE (ASD VALUES)**

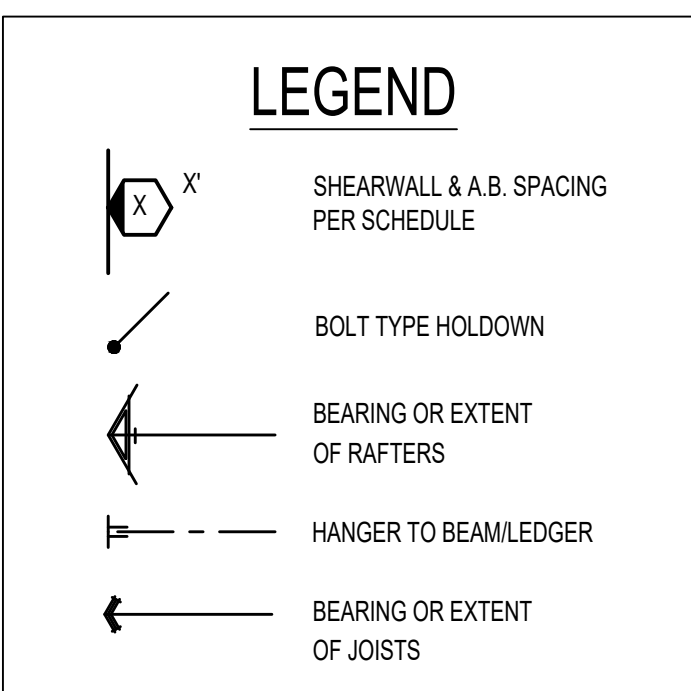
	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1 & 4)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnotes 3 & 6)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnotes 3 & 6)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 6)	3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 6)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, 5, & 6)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, 5, & 6)
SHEAR VALUE (PLF)	260*	375*	490*	550*	665*	870*
ANCHOR BOLT SPACING	3/4" @ 48" or 1/2" @ 32"	3/8" @ 32" or 1/2" @ 24"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 16" or 1/2" @ 12"	3/8" @ 12" or 1/2" @ 8"
16d (0.148") SILL NAILING	6"	4"	3 1/2"	3"	1 1/2" x 4 1/2" SDS screws @ 8"	1 1/2" x 4 1/2" SDS screws @ 8"
SPACING OF A35LTP4 FRAMING TO TOP PLATE	32" O.C.	16" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

**SHEAR WALL FOOTNOTES**

- AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARWALL SHALL BE APPLIED OVER STUDS @ 16" O.C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209, 307, 308, 309, ETC.)
- IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE 1/2" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE 3/8" MIN. FROM THE EDGE OF SHEATHING.
- WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- WHERE NOISE INSULATION IS REQUIRED, STRUCTURAL SHEAR PANELS TO BE UPGRADED TO 3/4" WSP. ALL OTHER EXTERIOR SURFACES TO BE SHEATH WITH GRADE D MIN. 3/4" SOLID SHEATHING WITH 6" O.C. EDGE NAILING, 12" O.C. FIELD NAILING.
- ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

**FOUNDATION NOTES**

- ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
- ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.
- THE MINIMUM NOMINAL ANCHOR BOLT DIAMETER SHALL BE 1/2 INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES TO BE 4" (AND A MAXIMUM OF 12")
- PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH ANCHOR BOLT.
- PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- SEE SHEET S5 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d I.N. EA. SIDE, TYP.
- FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.



\* PLEASE REFER TO NOTES 311 & 401 ON S1 FOR LUMBER GRADE SPECIFICATIONS.

project  
City of Riverside  
Pre-Approved  
ADU Program

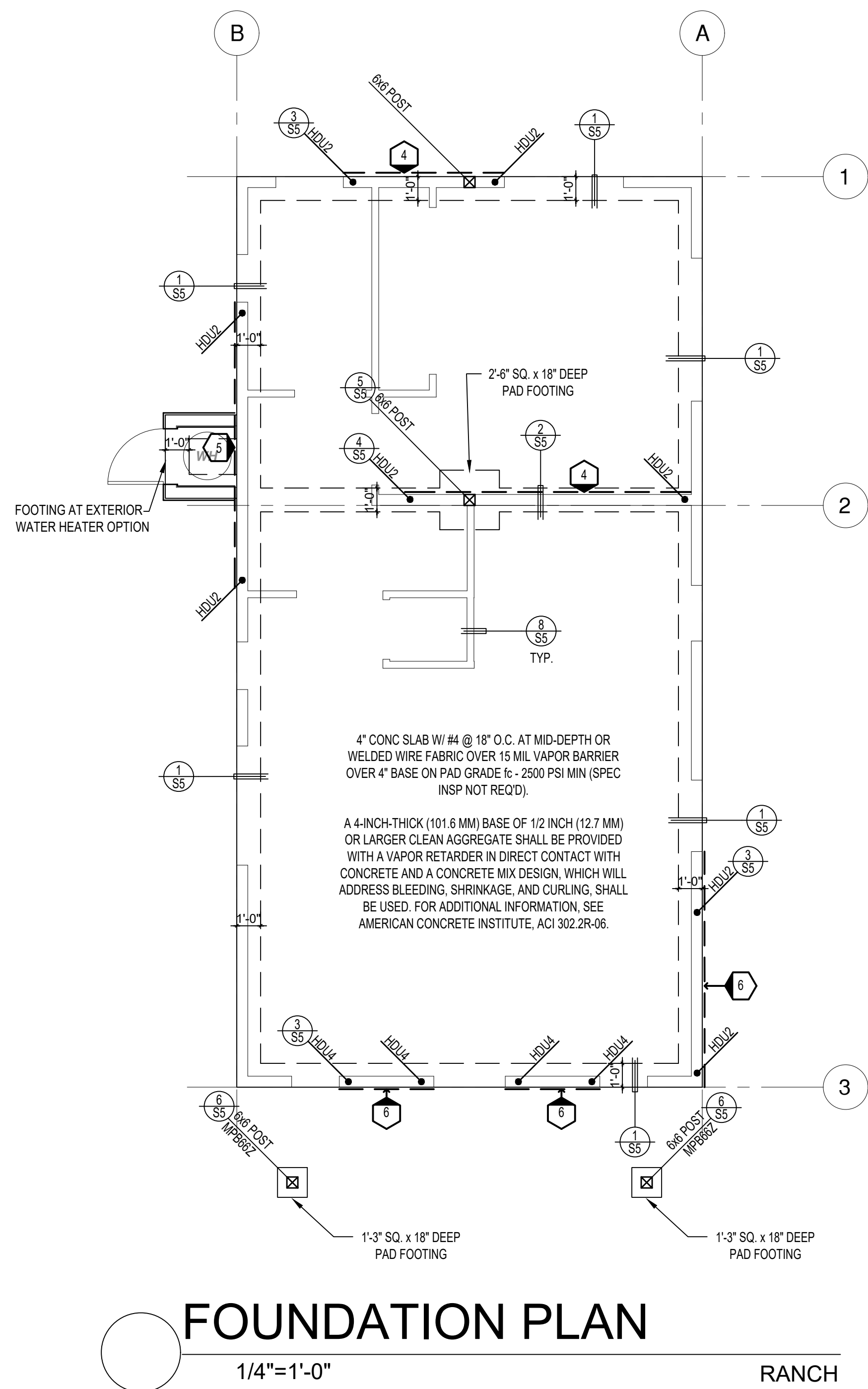
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**Craftsman  
Foundation  
& Framing  
Plan**

date October 2023

project no. Riverside ADU

drawn by DESIGN PATH STUDIO

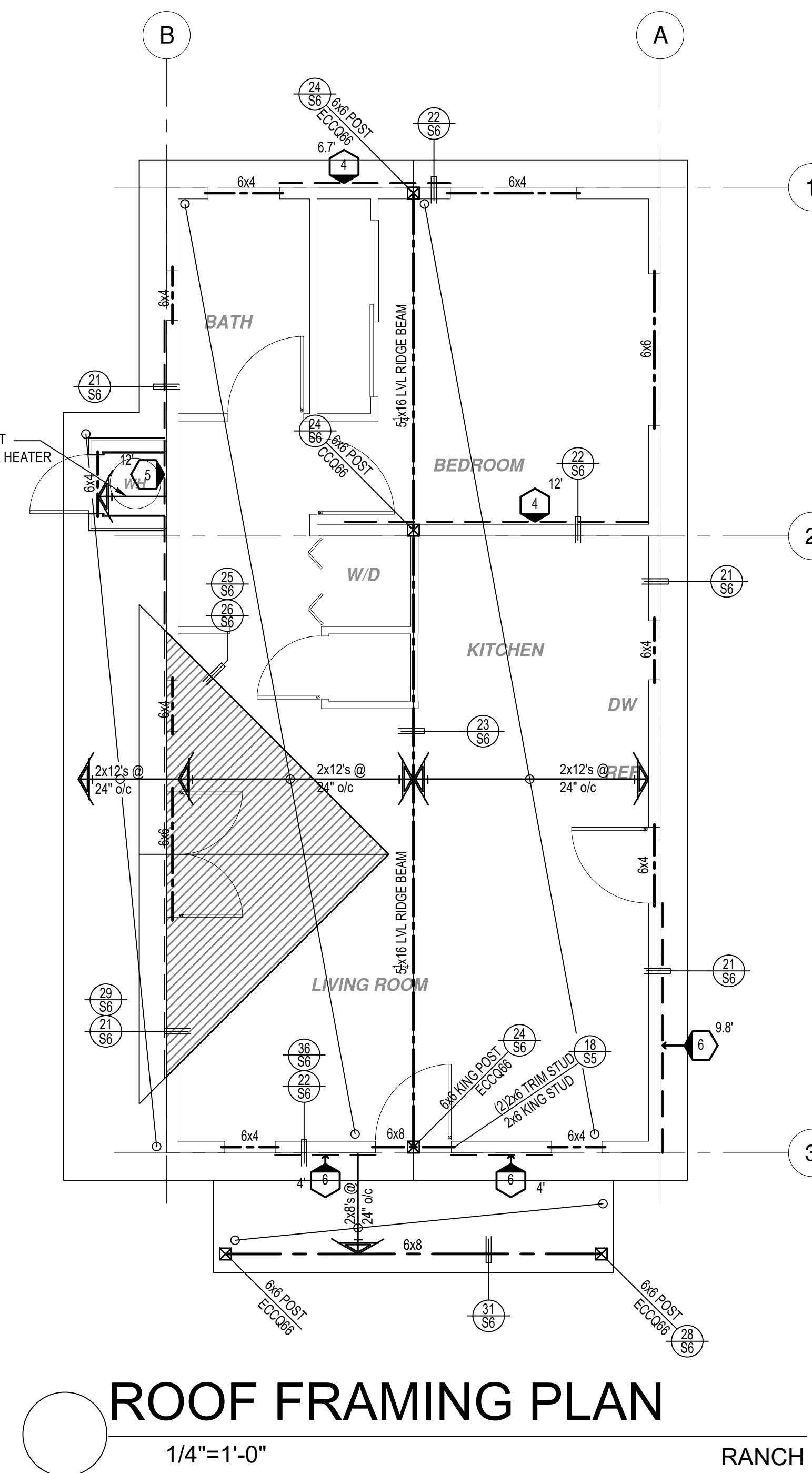
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## FOUNDATION PLAN

1/4" = 1'-0"

RANCH



## ROOF FRAMING PLAN

1/4" = 1'-0"

RANCH

### SHEAR WALL SCHEDULE (ASD VALUES)

	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1 & 4)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnotes 3 & 6)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnotes 3 & 6)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 6)	3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 6)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, 5, & 6)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, 5, & 6)
SHEAR VALUE (PLF)	260*	375*	490*	550*	665*	870*
ANCHOR BOLT SPACING	3/4" @ 48" or 1/2" @ 32"	3/8" @ 32" or 1/2" @ 24"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 16" or 1/2" @ 12"	3/8" @ 12" or 1/2" @ 8"
16d (0.148") SILL NAILING	6"	4"	3 1/2"	3"	2 1/2" x 4 1/2" SDS screws @ 8"	2 1/2" x 4 1/2" SDS screws @ 8"
SPACING OF A35LTP4 FRAMING TO TOP PLATE	32" O.C.	16" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

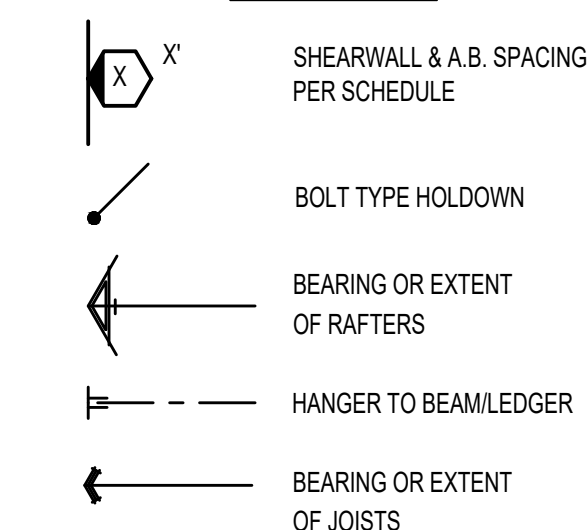
### SHEAR WALL FOOTNOTES

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### FOUNDATION NOTES

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- PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
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- POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d I.N. EA. SIDE, TYP.
- FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.

### LEGEND



\* PLEASE REFER TO NOTES 311 & 401 ON S1 FOR LUMBER GRADE SPECIFICATIONS.

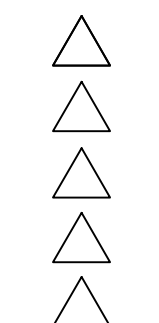
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project

City of Riverside  
Pre-Approved  
ADU Program

revisions



description

Ranch  
Foundation  
& Framing  
Plan

date

October 2023

project no.

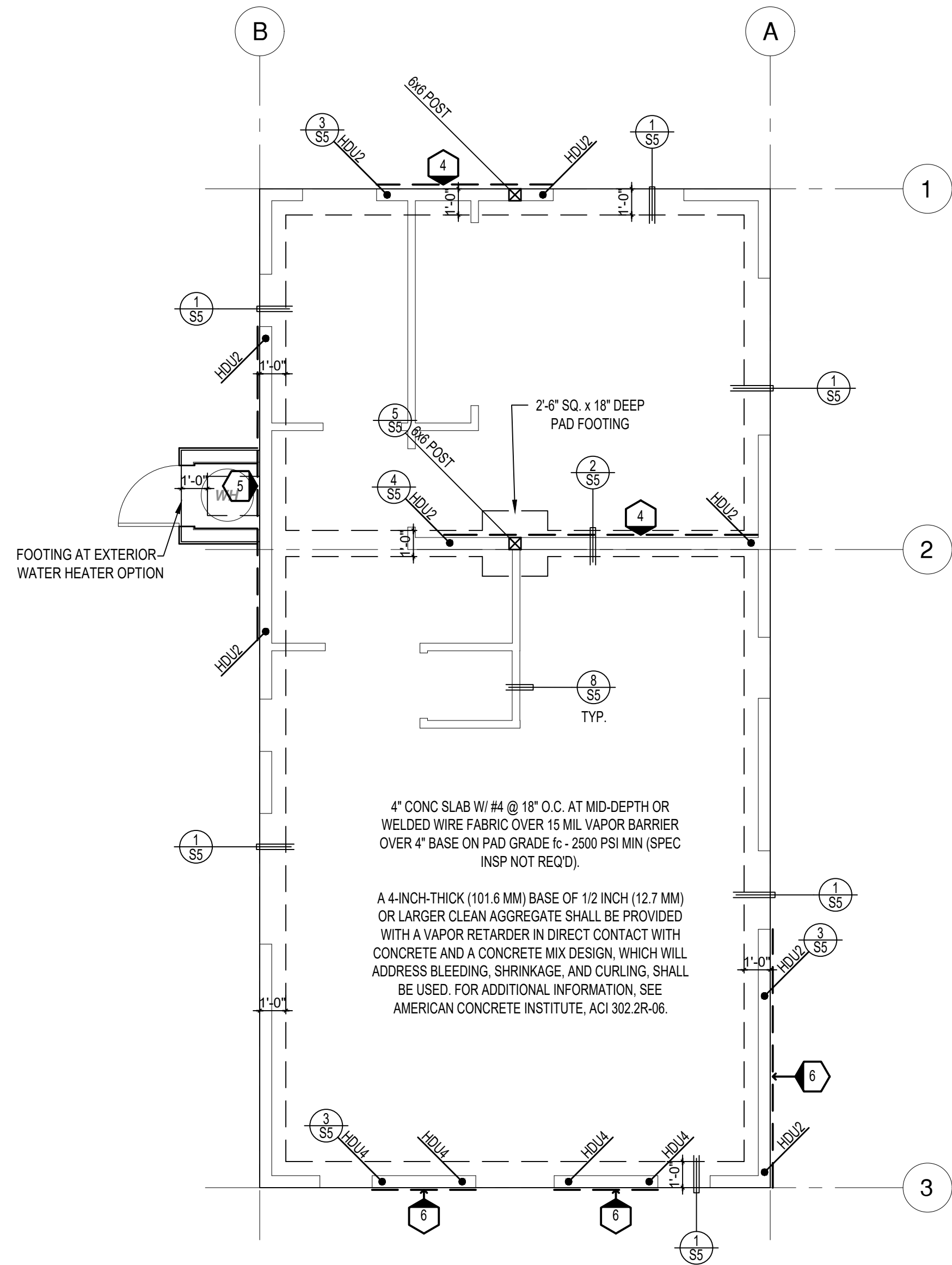
Riverside ADU

drawn by

DESIGN PATH STUDIO

sheet no.

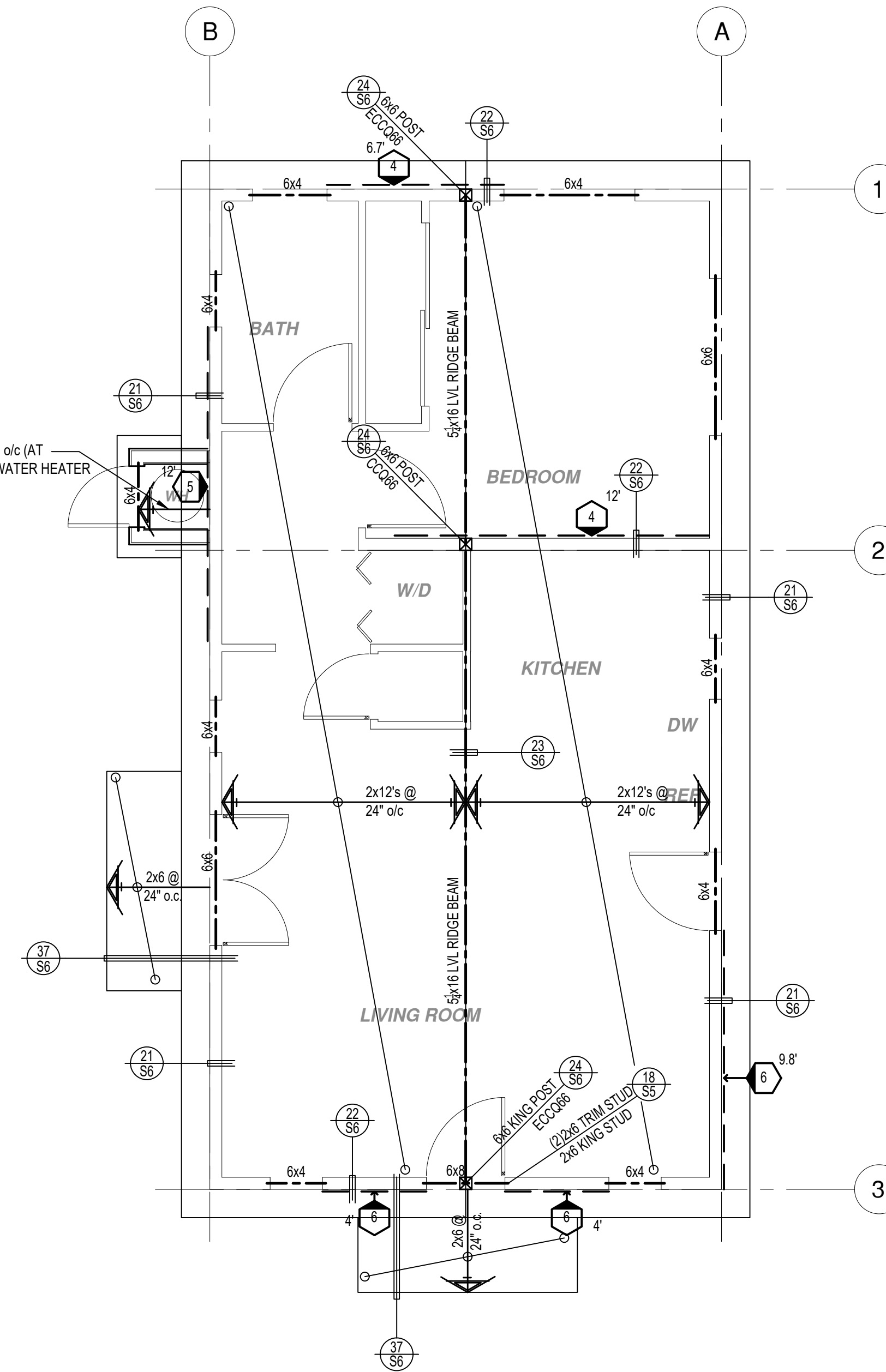
S3



FOUNDATION PLAN

1/4" = 1'-0"

SPANISH



ROOF FRAMING PLAN

1/4" = 1'-0"

SPANISH

SHEAR WALL SCHEDULE (ASD VALUES)

**FOUNDATION NOTES**

- ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
- ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.
- THE MINIMUM NOMINAL ANCHORBOLT DIAMETER SHALL BE 1/2 INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES TO BE 4" (AND A MAXIMUM OF 12")
- PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH ANCHOR BOLT.
- PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- SEE SHEET S5 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d I.N. EA. SIDE, TYP.
- FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.

	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1 & 4)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnotes 3 & 6)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 4" o/c edge, 12" o/c field, blocked (See footnotes 3 & 6)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 6)	3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 6)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, 5, & 6)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, 5, & 6)
SHEAR VALUE (PLF)	260*	375*	490*	550*	665*	870*
ANCHOR BOLT SPACING	3/4" @ 48" or 1/2" @ 32"	3/8" @ 32" or 1/2" @ 24"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 16" or 1/2" @ 12"	3/8" @ 12" or 1/2" @ 8"
16d (0.148") SILL NAILING	6"	4"	3 1/2"	3"	1/2" x 4 1/2" SDS screws @ 8"	1/2" x 4 1/2" SDS screws @ 8"
SPACING OF A35LTP4 FRAMING TO TOP PLATE	32" O.C.	16" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

SHEAR WALL FOOTNOTES

- AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARWALL SHALL BE APPLIED OVER STUDS @ 16" O.C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209, 307, 308, 309, ETC.)
- IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE 1/2" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE 3/8" MIN. FROM THE EDGE OF SHEATHING.
- WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- WHERE NOISE INSULATION IS REQUIRED, STRUCTURAL SHEAR PANELS TO BE UPGRADED TO 2" WSP. ALL OTHER EXTERIOR SURFACES TO BE SHEATH WITH GRADE D MIN. 3/4" SOLID SHEATHING WITH 6" O.C. EDGE NAILING, 12" O.C. FIELD NAILING.
- ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

**LEGEND**

- X' SHEARWALL & A.B. SPACING PER SCHEDULE
- BOLT TYPE HOLDOWN
- BEARING OR EXTENT OF RAFTERS
- HANGER TO BEAM/LEDGER
- BEARING OR EXTENT OF JOISTS

\* PLEASE REFER TO NOTES 311 & 401 ON S1 FOR LUMBER GRADE SPECIFICATIONS.

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project

City of Riverside  
Pre-Approved  
ADU Program

revisions

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description

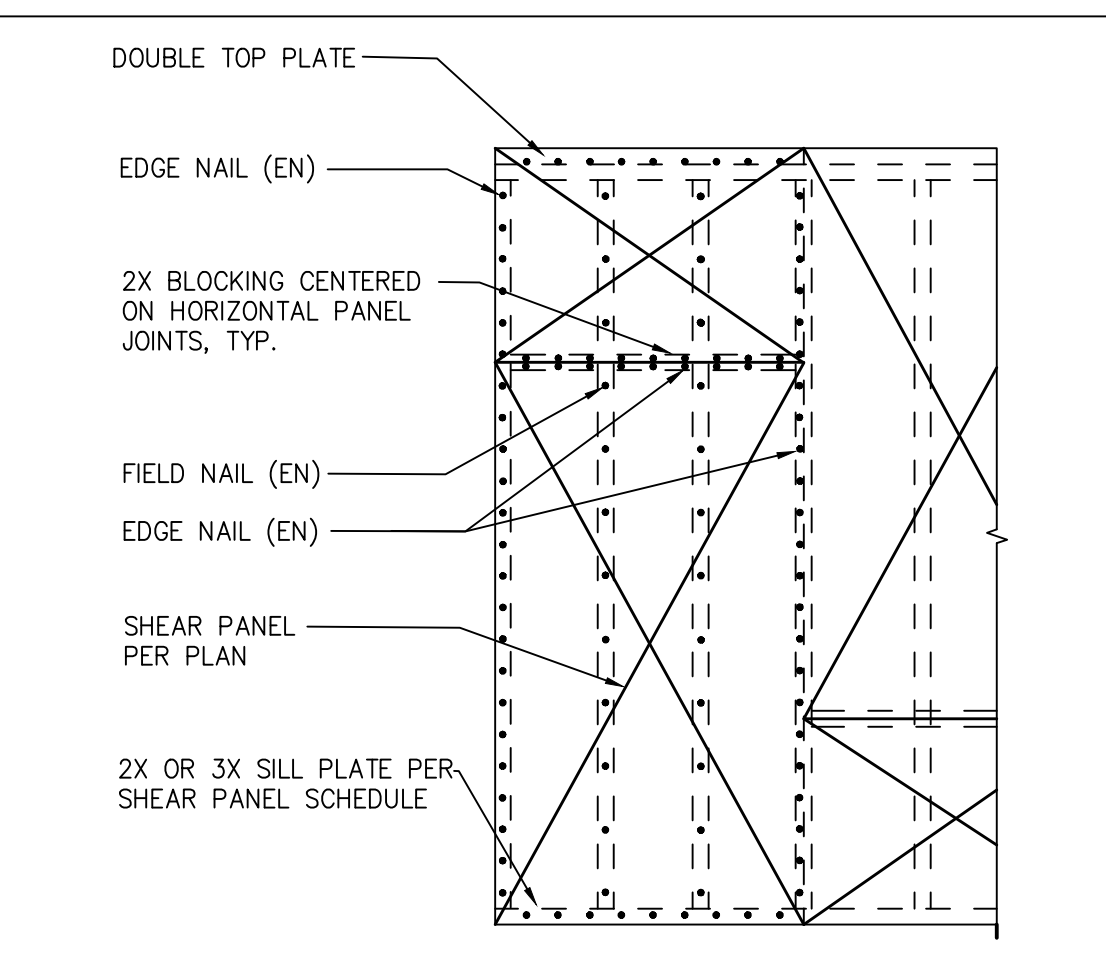
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date October 2023

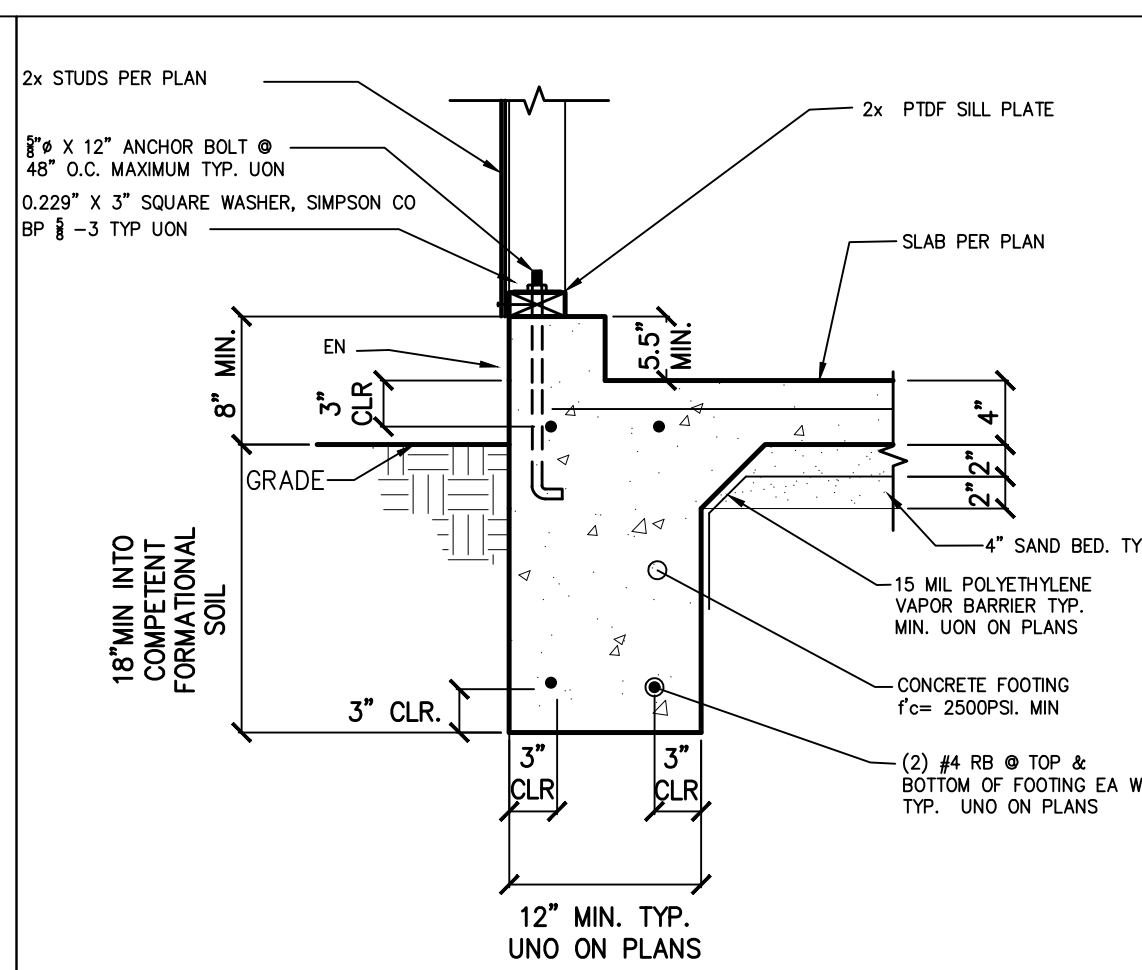
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drawn by DESIGN PATH STUDIO

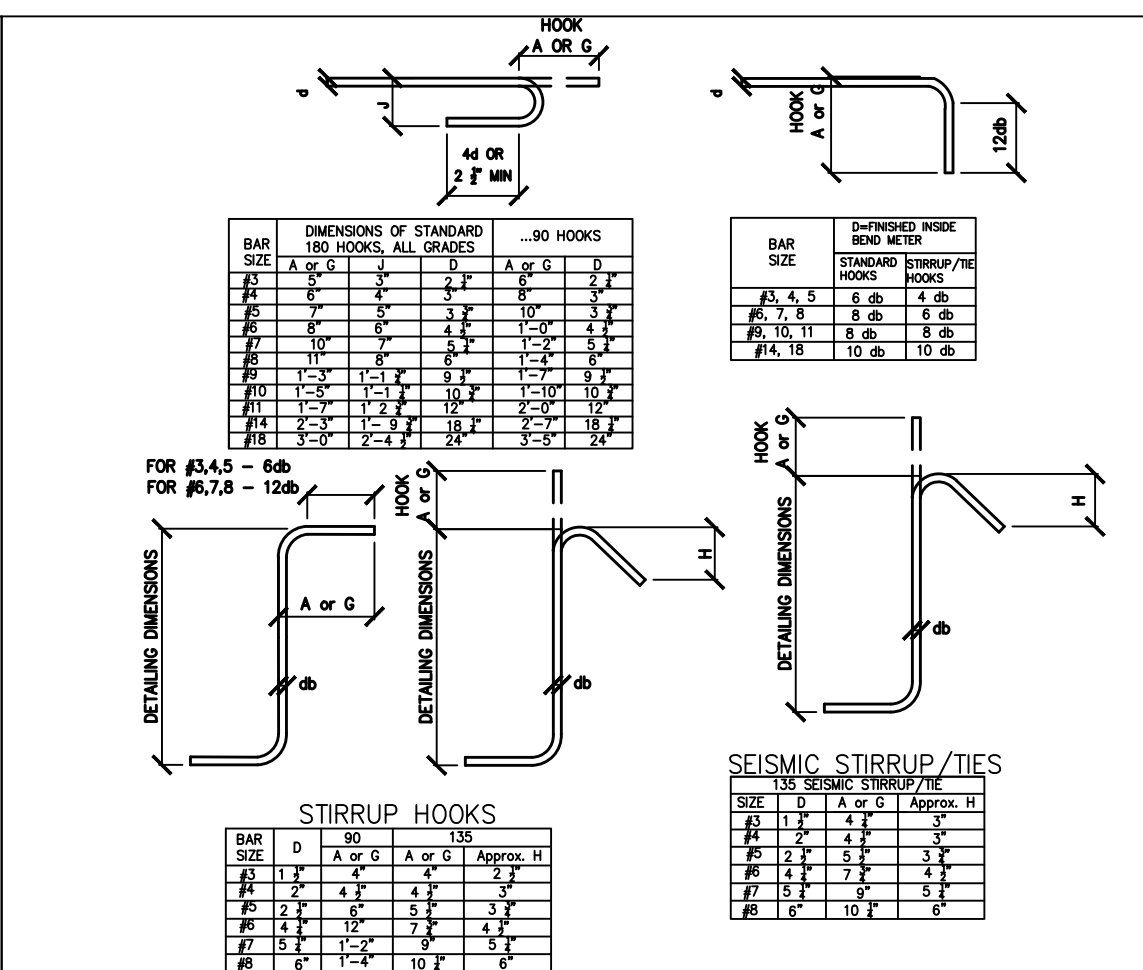
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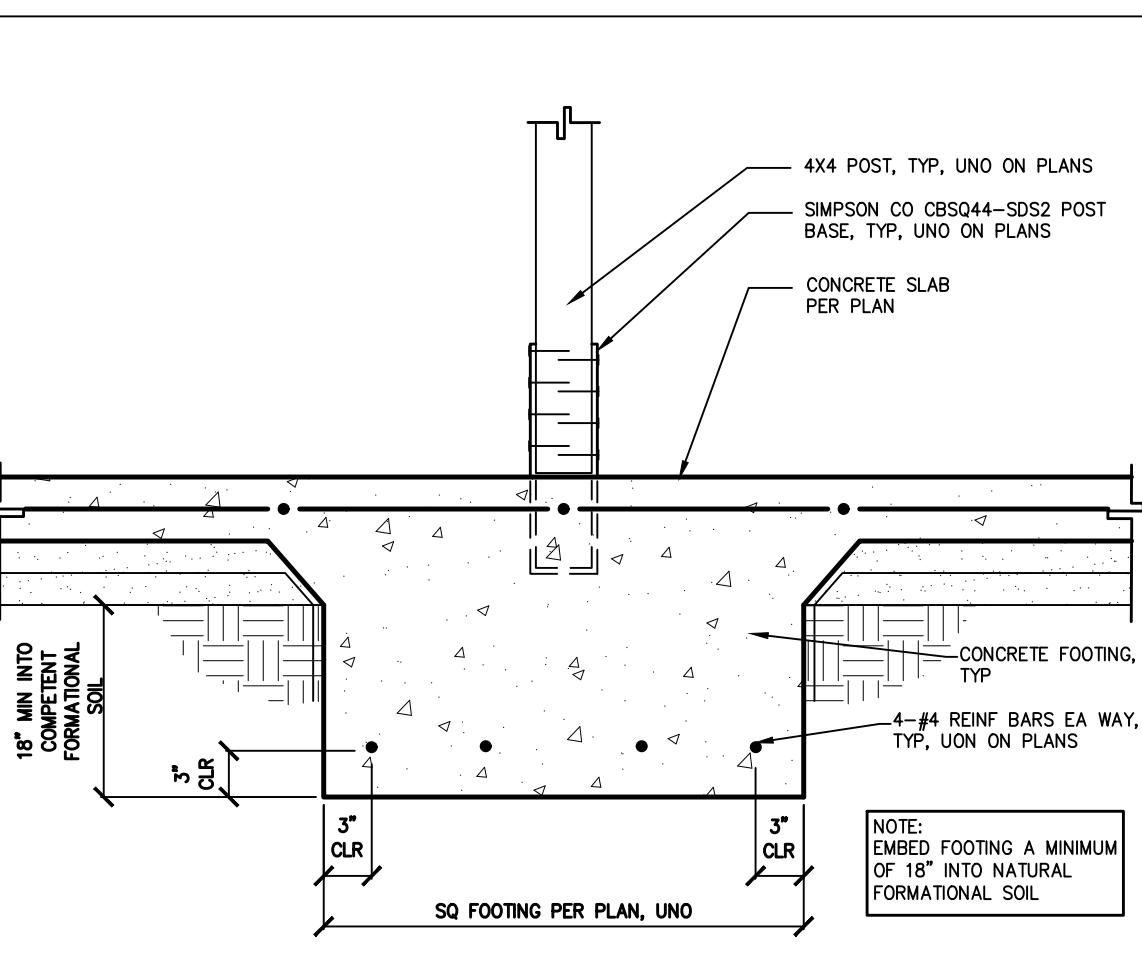
17 TYPICAL SHEAR PANEL SCALE: NTS



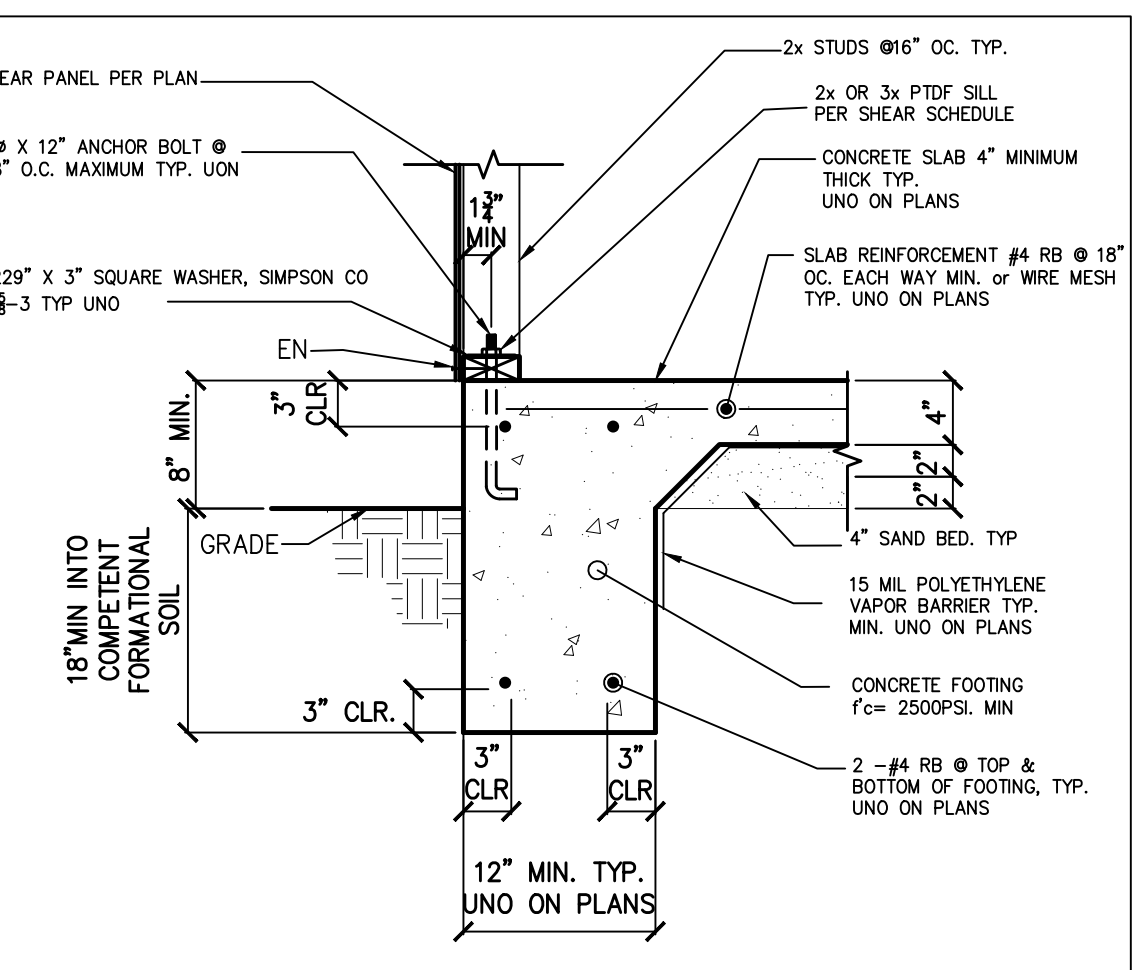
13 EXTERIOR WALL AT PORCH FOOTING SCALE: 1"=1'-0"



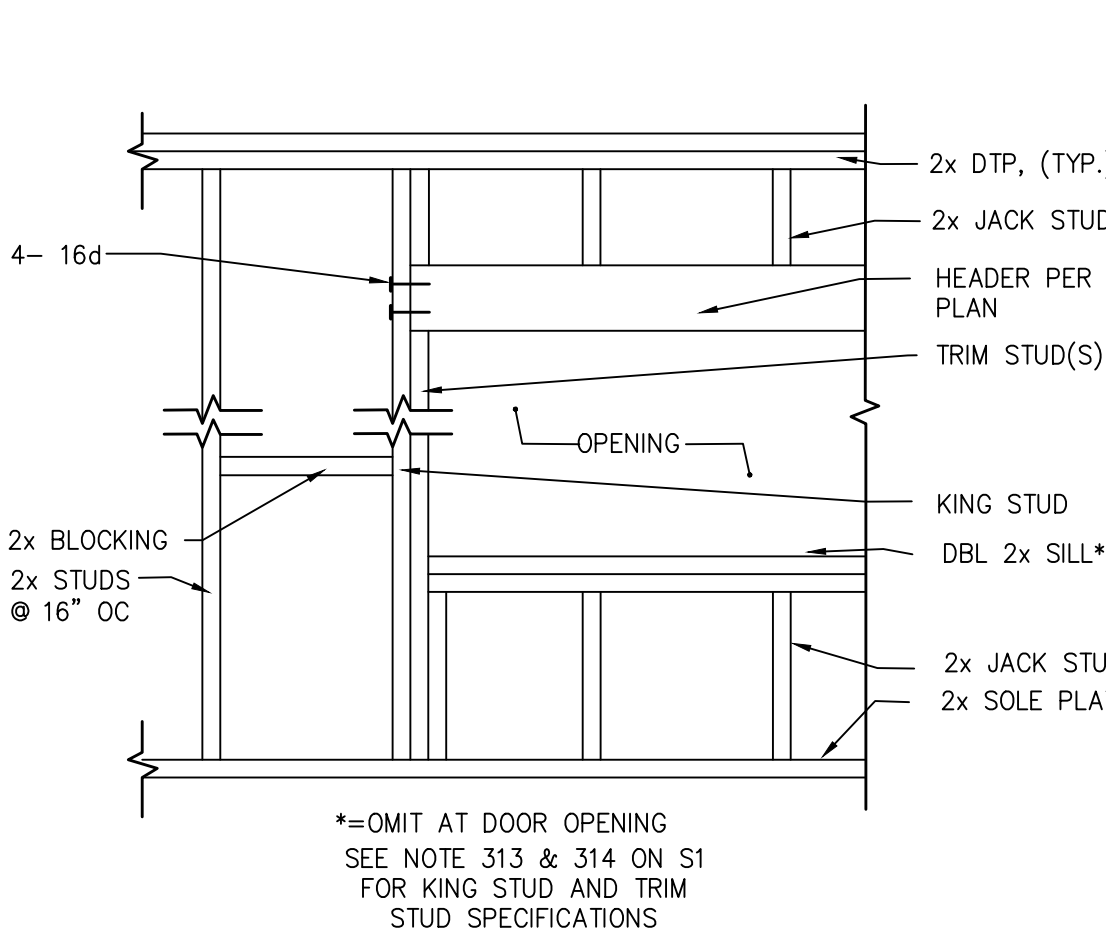
9 STANDARD HOOK DETAILS SCALE: NTS



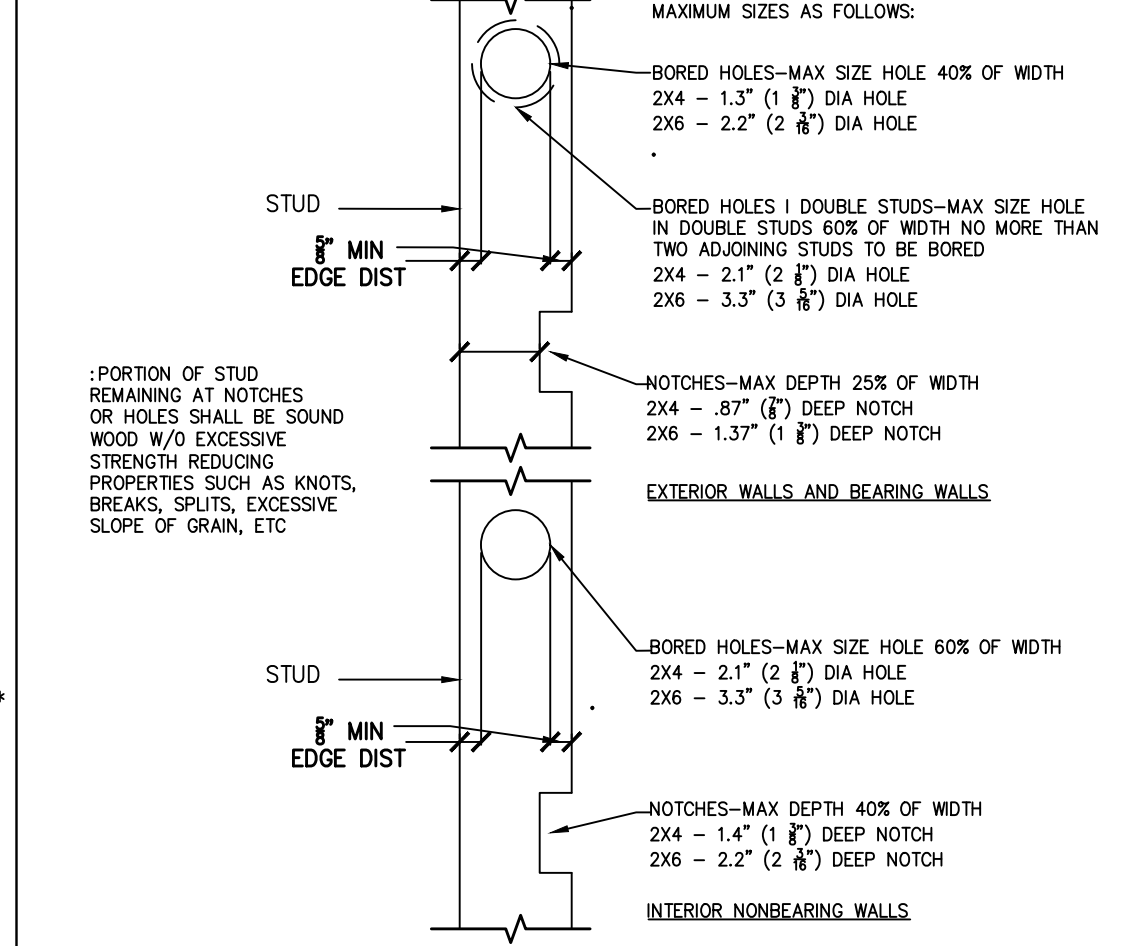
5 POST FOOTING WITHIN SLAB SCALE: 1"=1'-0"



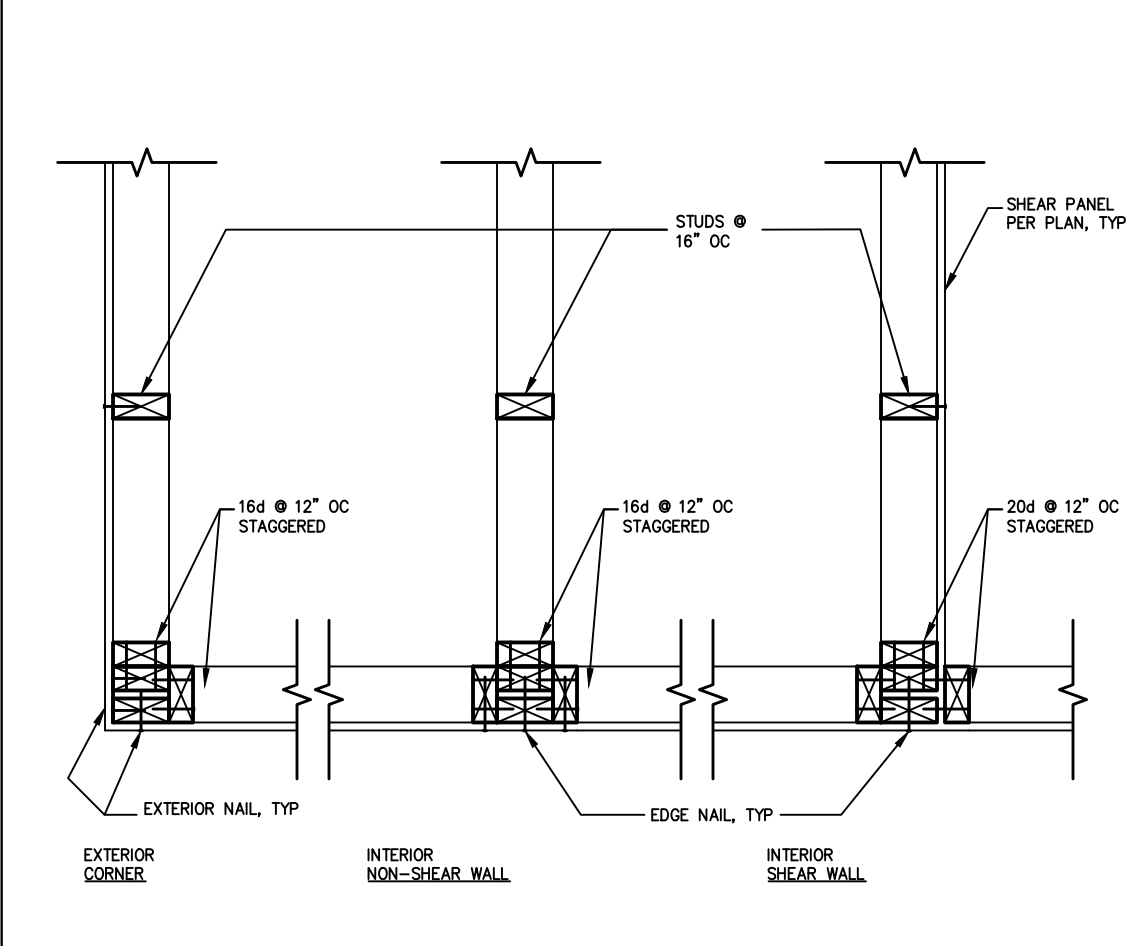
1 EXTERIOR FOOTING, TYPICAL SCALE: 1"=1'-0"



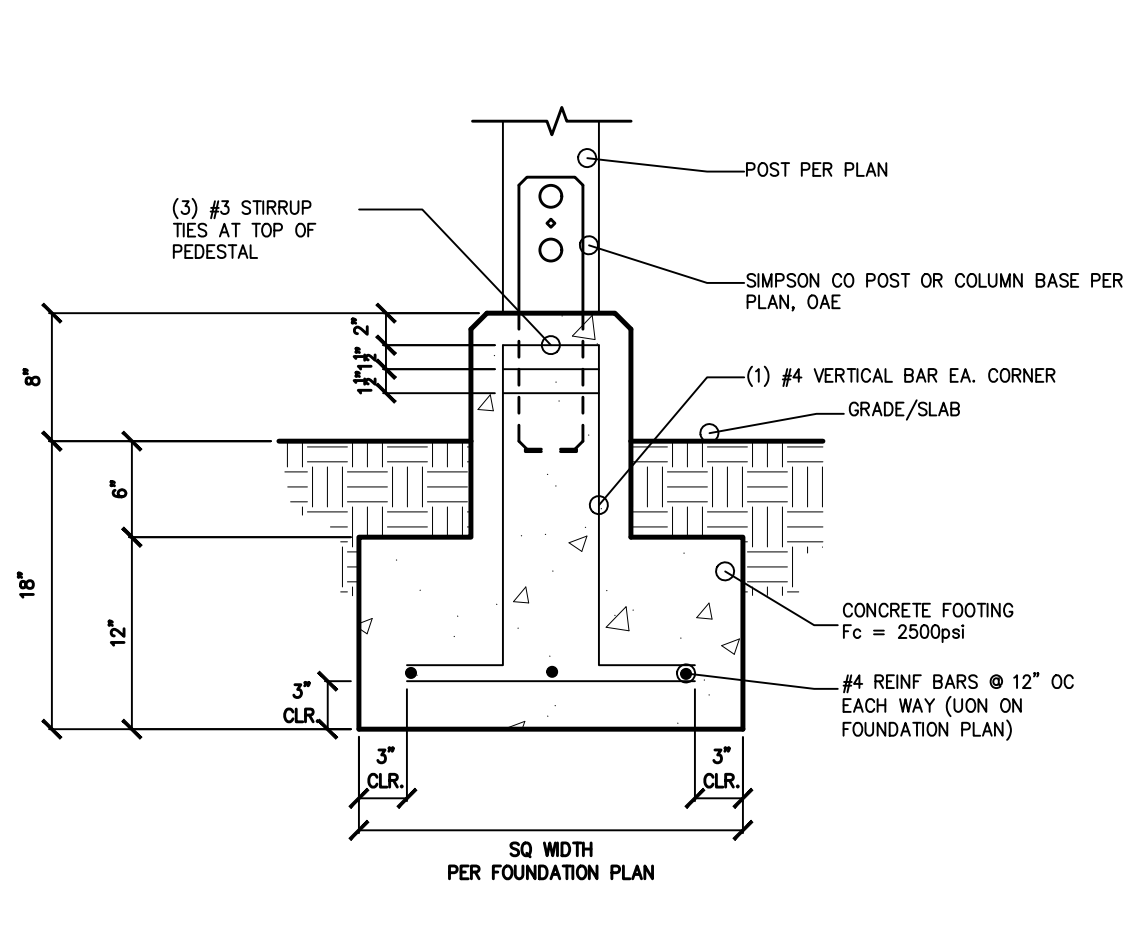
18 FRAMING FOR ROUGH WINDOW OR DOOR OPENING SCALE: 1 1/2"=1'-0"



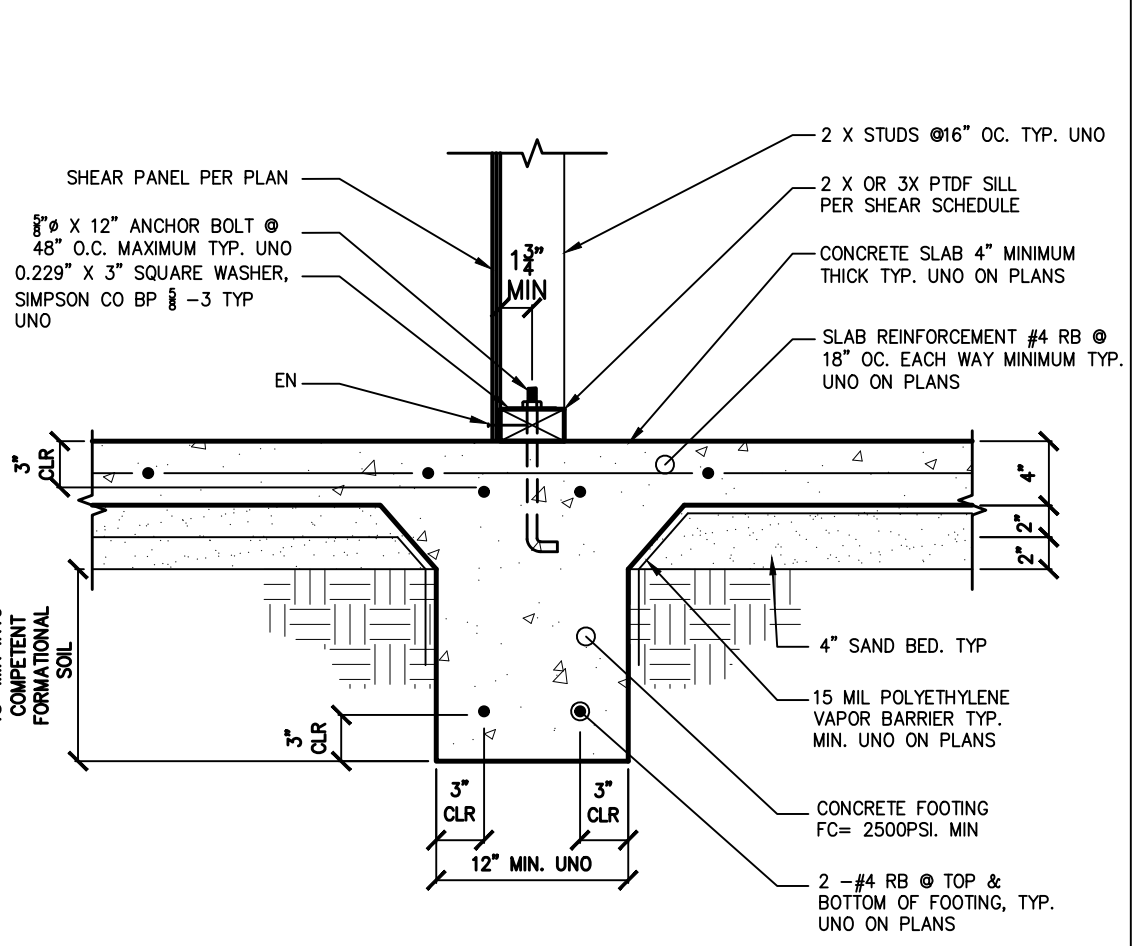
14 STUD CUTTING, BORING AND NOTCHING SCALE: 1"=1'-0"



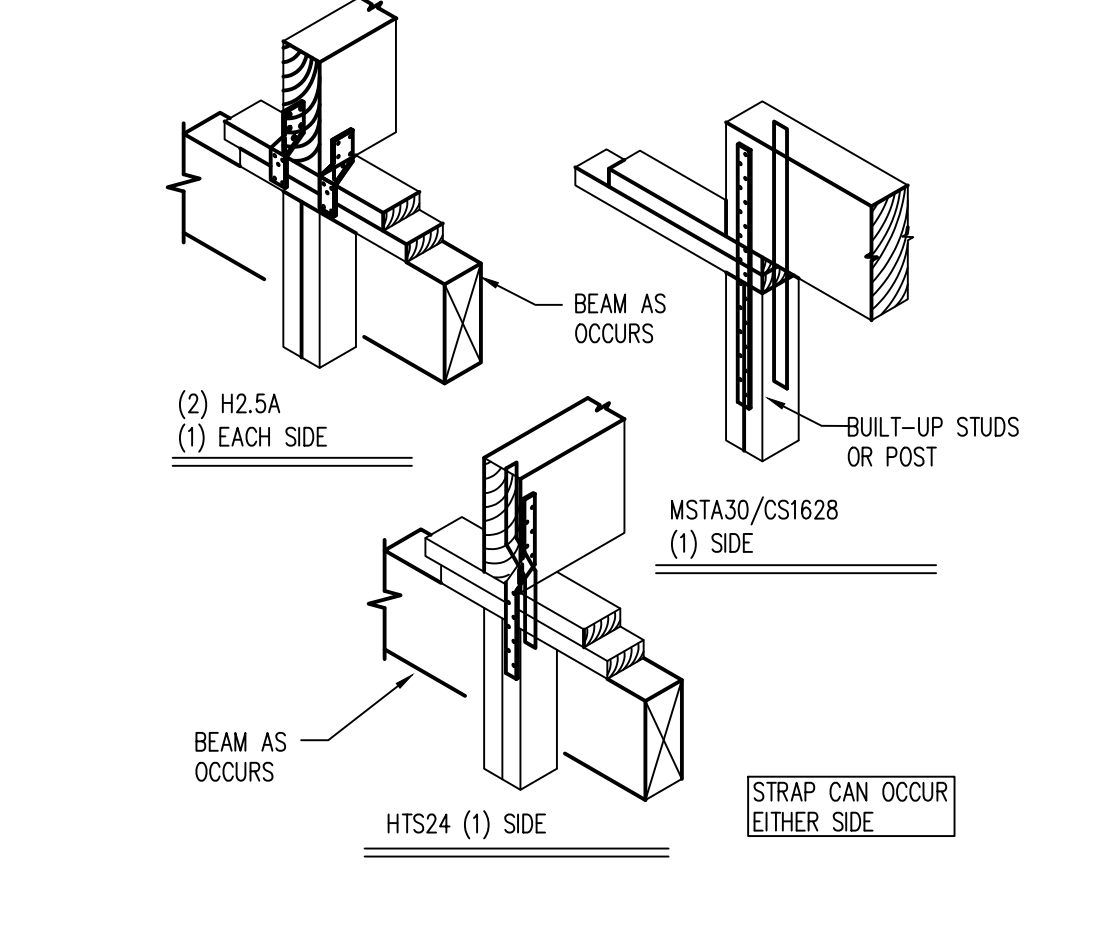
10 STUD WALL INTERSECTION SCALE: 1"=1'-0"



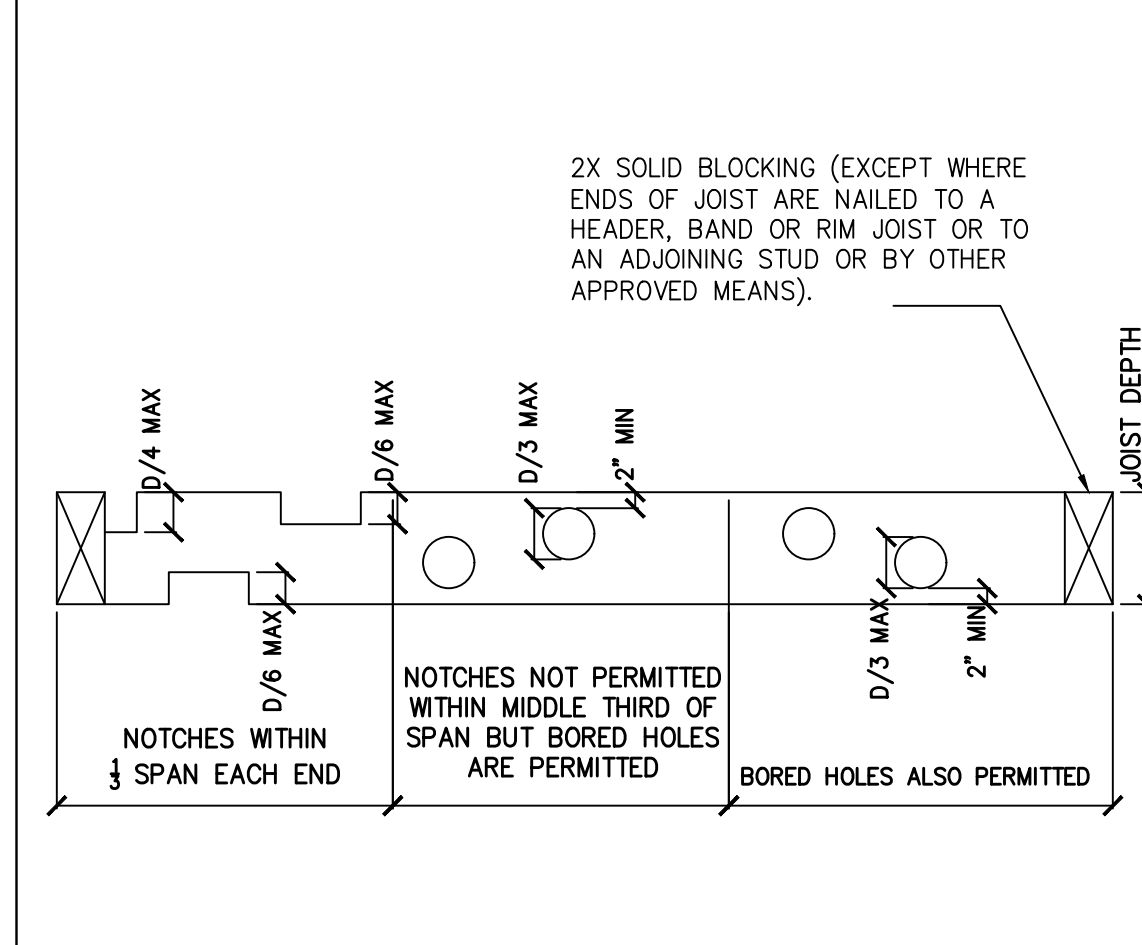
6 TYPICAL POST FOOTING SCALE: 1"=1'-0"



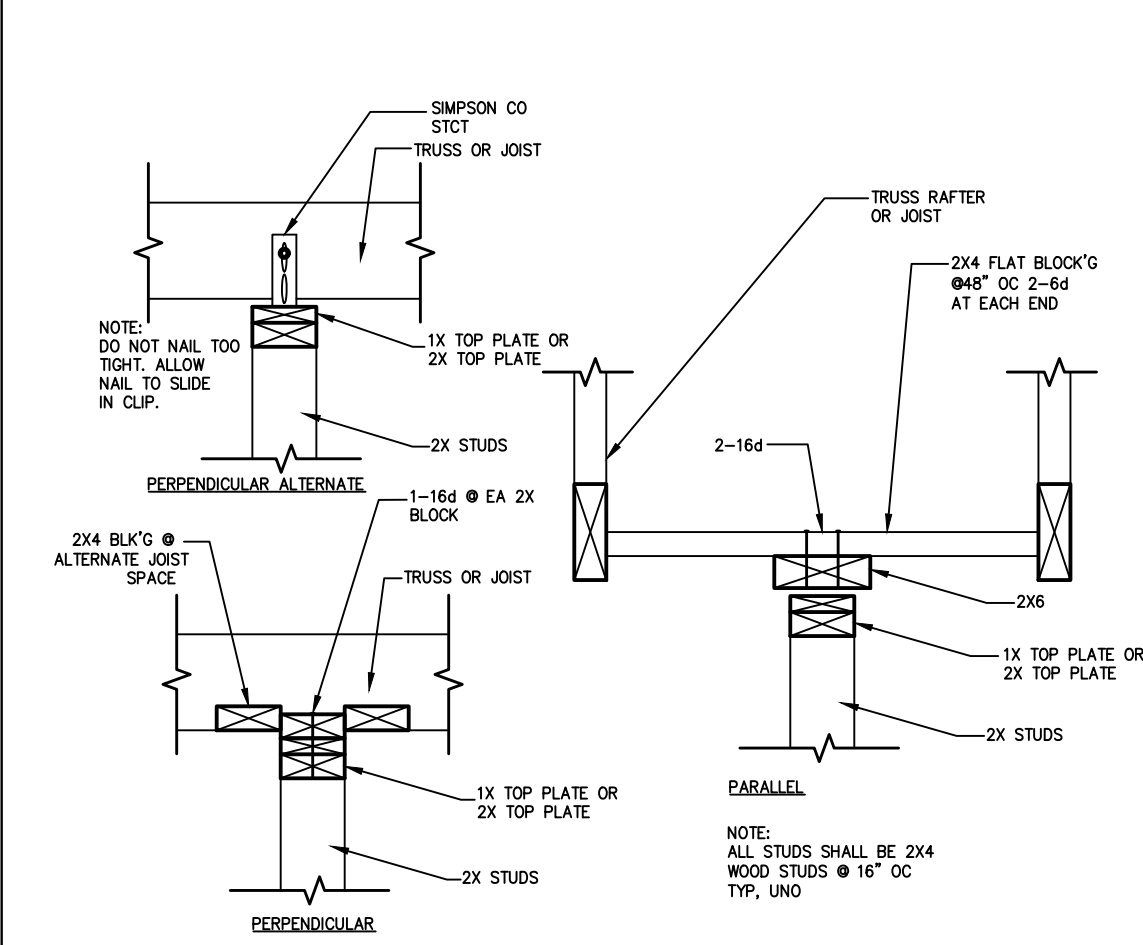
2 SLAB ON GRADE ONE STORY INTERIOR FOOTING SCALE: 1"=1'-0"



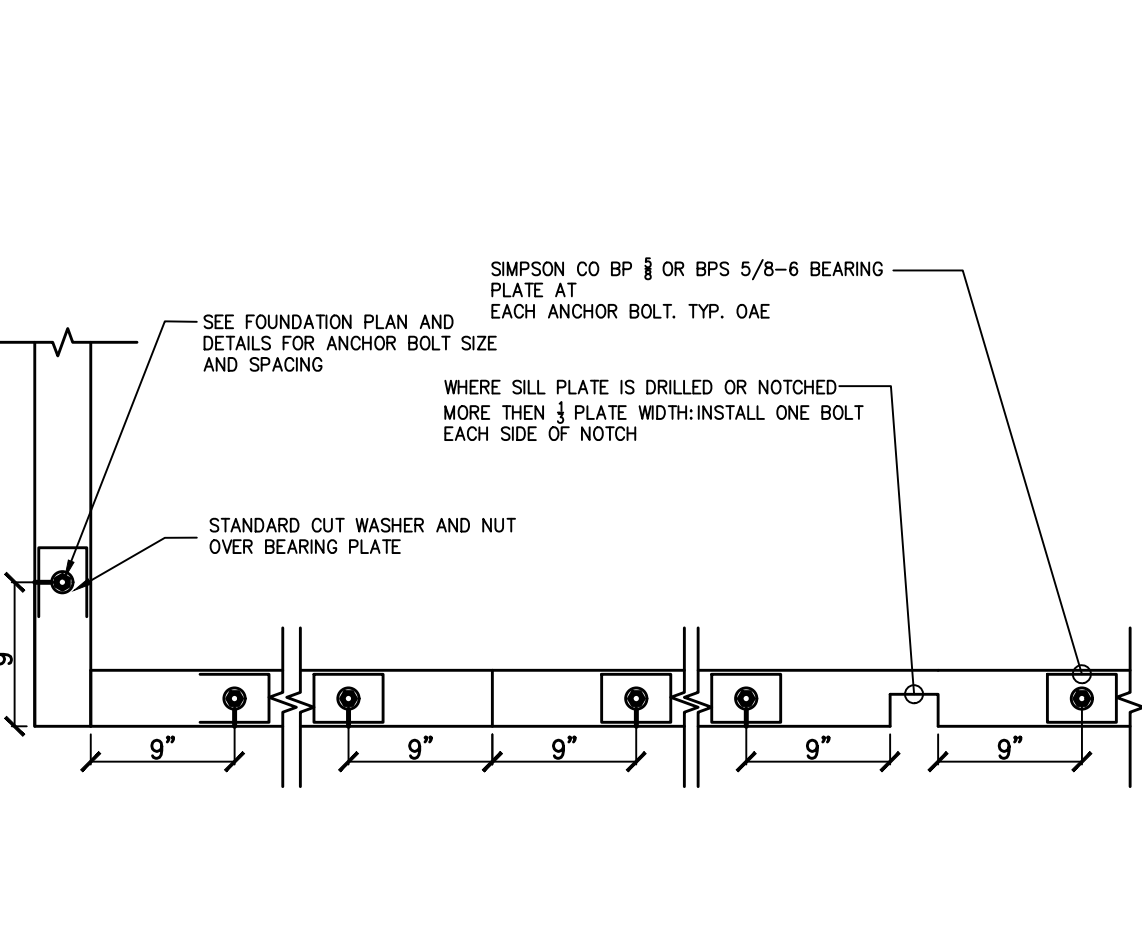
19 SUPPORT COLUMN TO BEAM SCALE: 1"=1'-0"



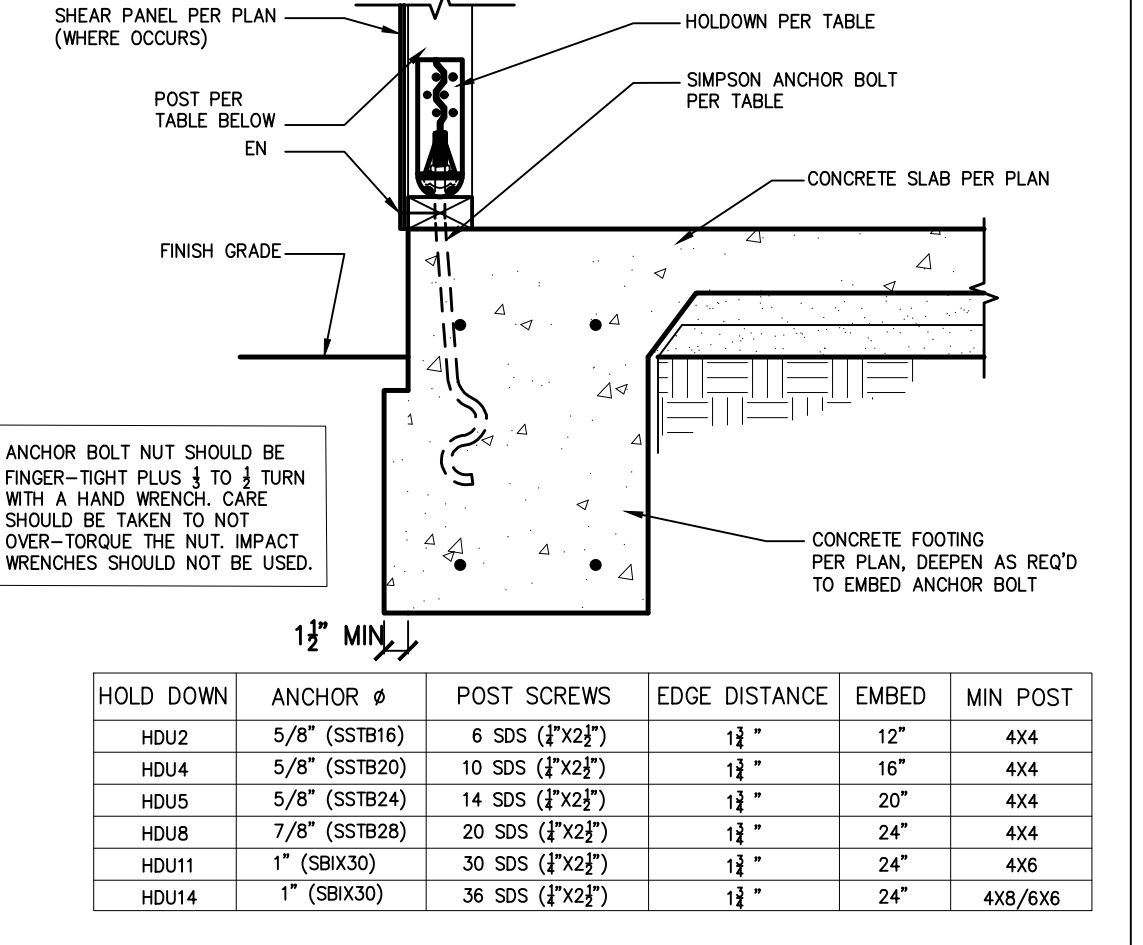
15 JOIST CUTTING, BORING AND NOTCHING SCALE: NTS



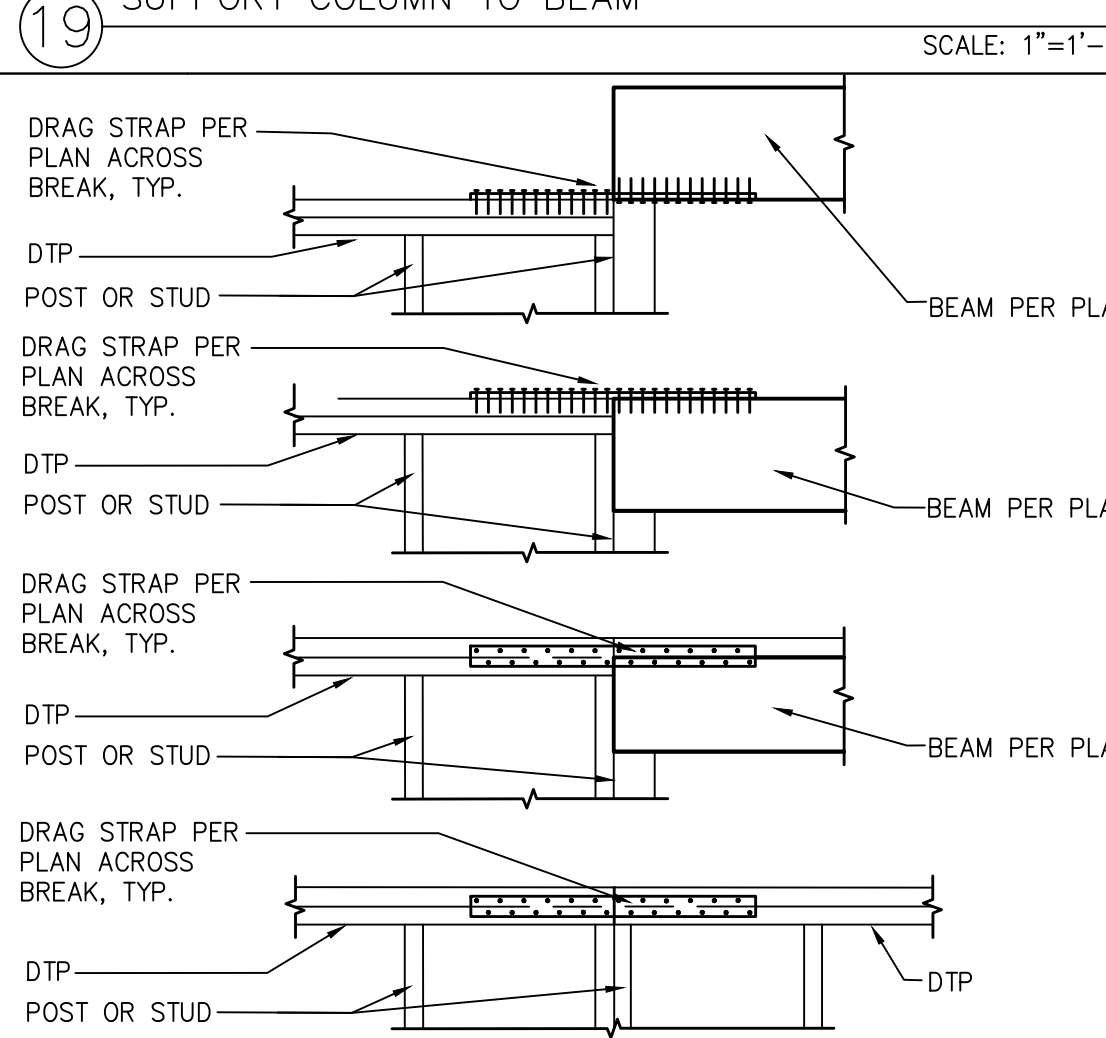
11 NON-BEARING/NON-SHEAR PARTITIONS AT TOP PLATE SCALE: 1"=1'-0"



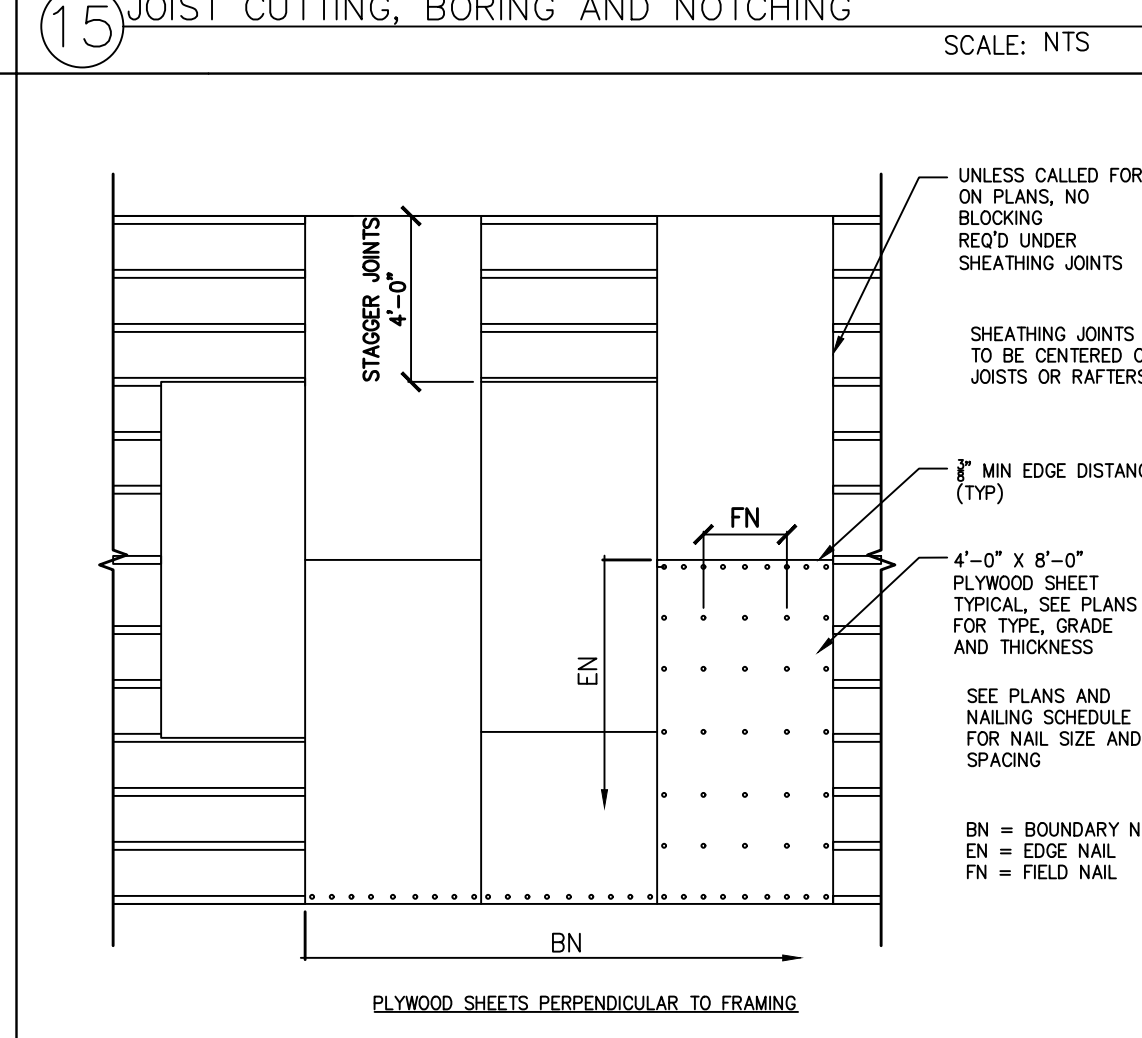
7 SILL PLATE ANCHOR BOLTING SCALE: 1"=1'-0"



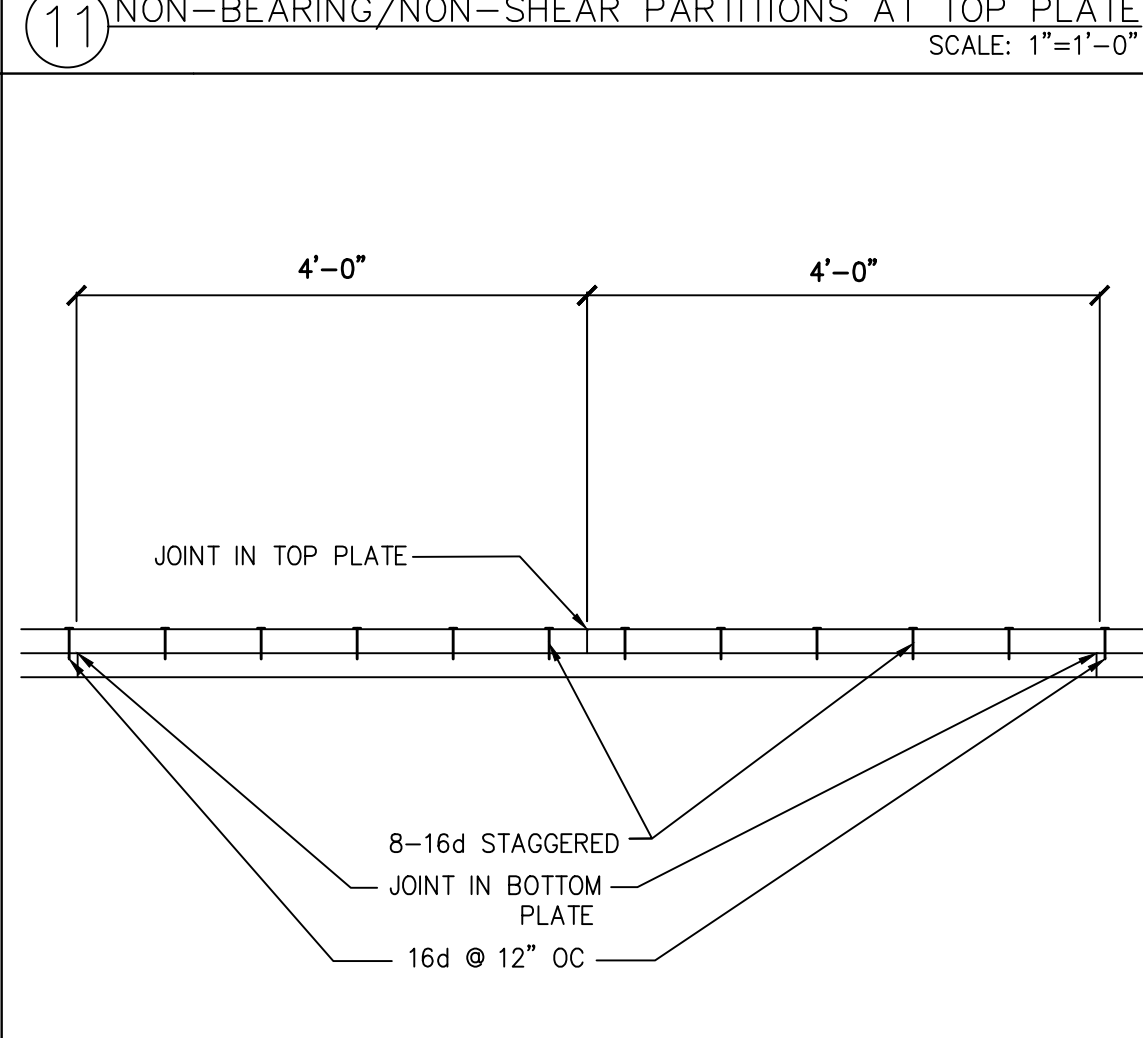
3 HOLDOWN - PERIMETER FOOTING SCALE: 1"=1'-0"



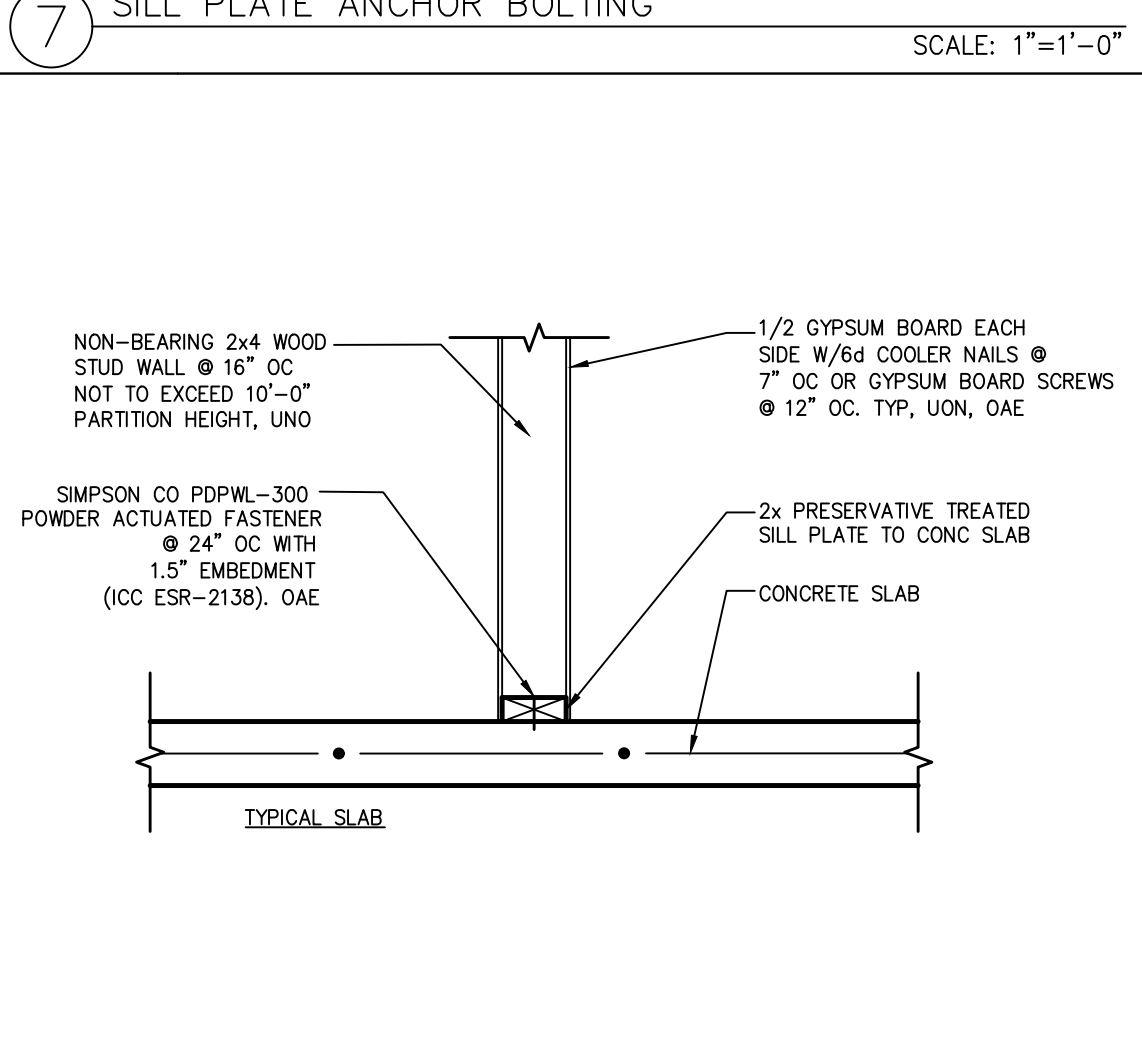
20 DRAG STRAP AT TP TO BM OR TP SCALE: 1"=1'-0"



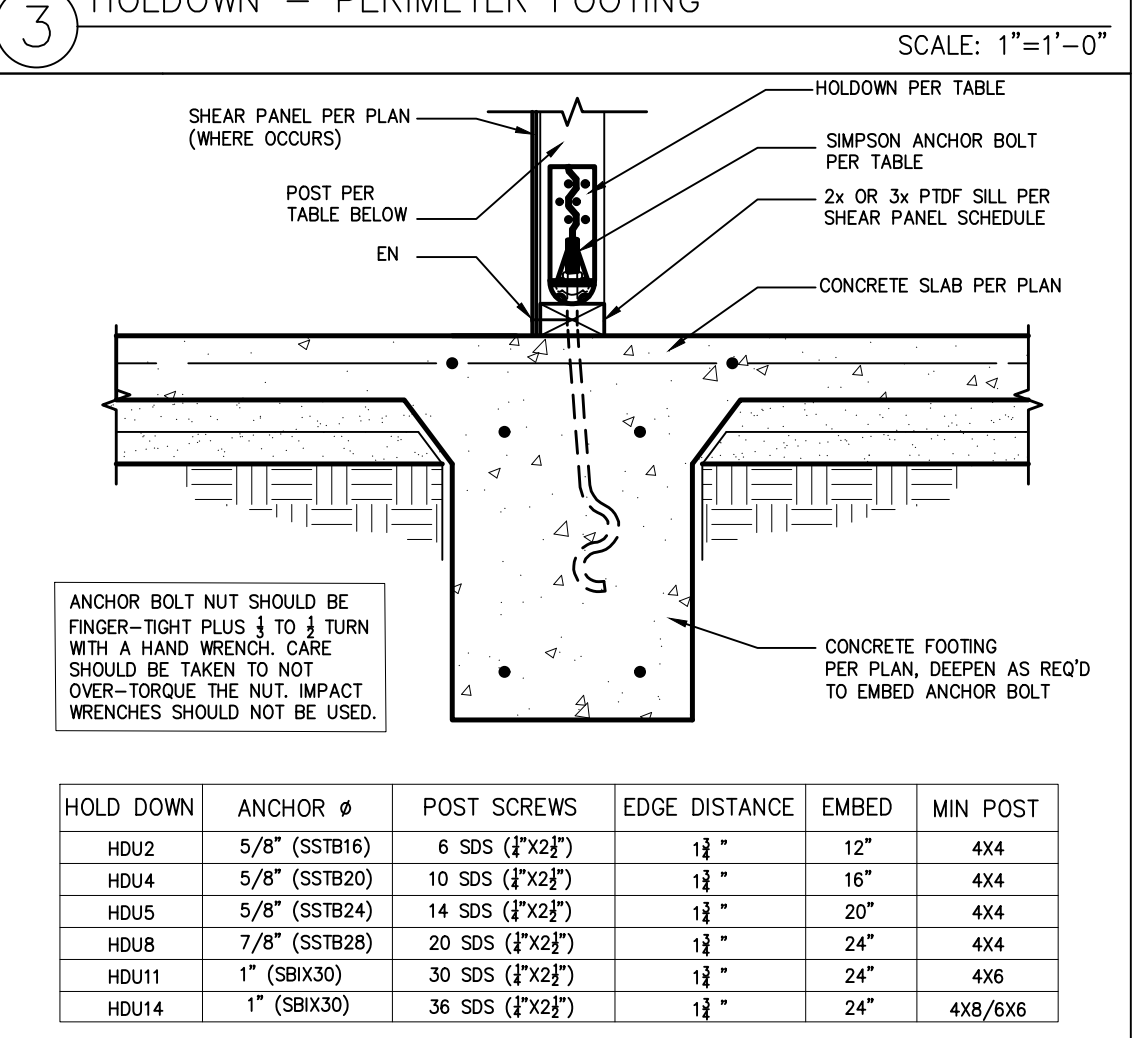
16 WOOD ROOF AND FLOOR SHEATHING LAYOUT SCALE: 1"=1'-0"



12 DOUBLE TOP-PLATE SPLICE SCALE: NTS

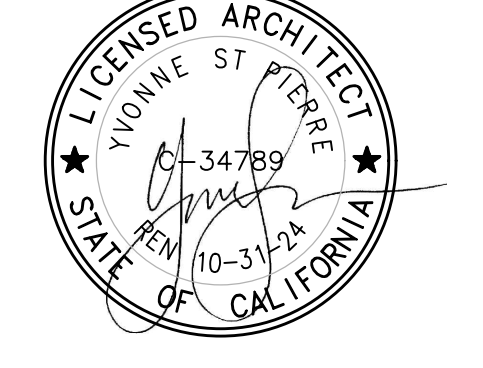


8 NON-BEARING INTERIOR STUD WALL TO CONCRETE SLAB SCALE: 1"=1'-0"

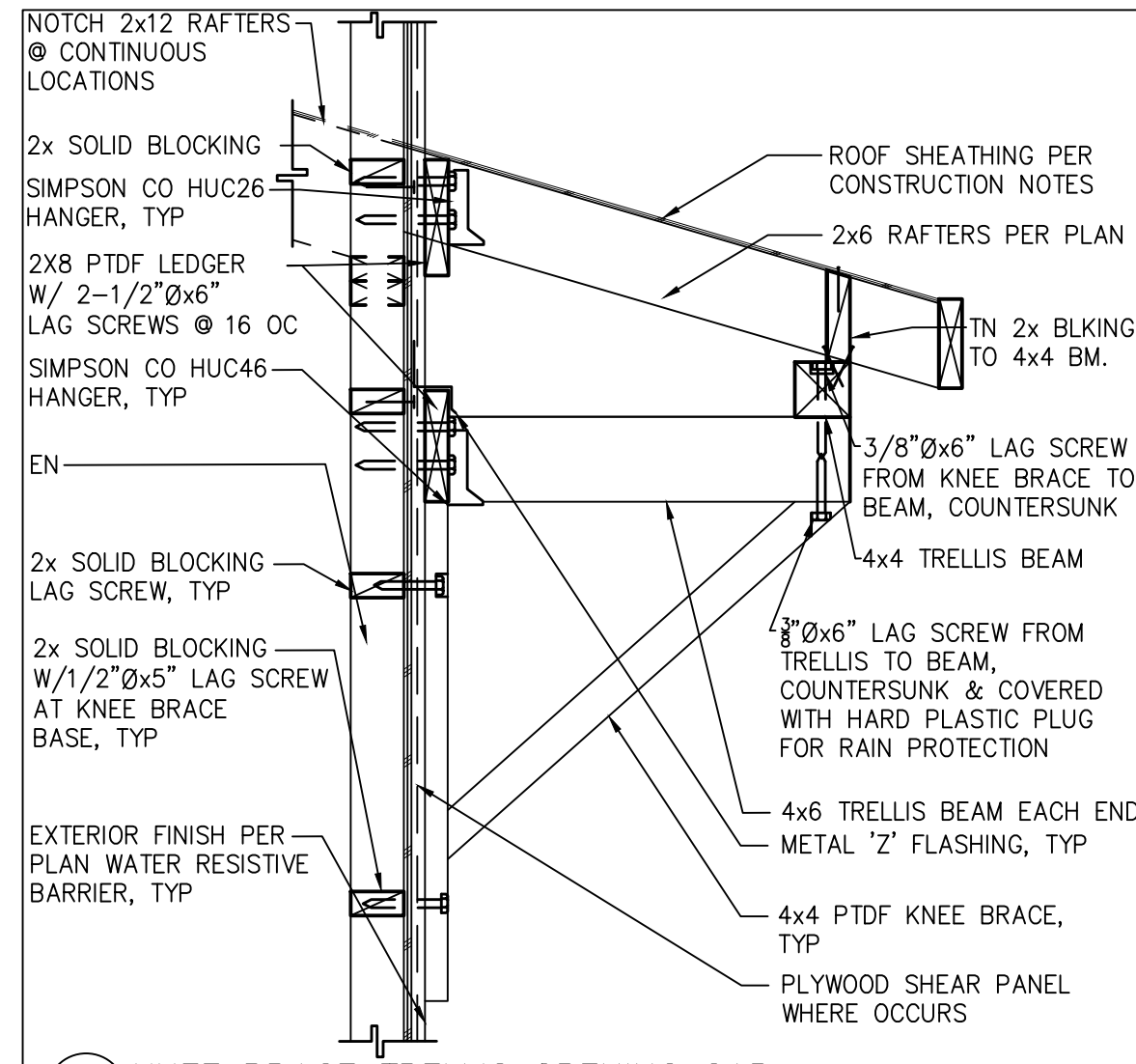


4 HOLDOWN - INTERIOR FOOTING SCALE: 1"=1'-0"

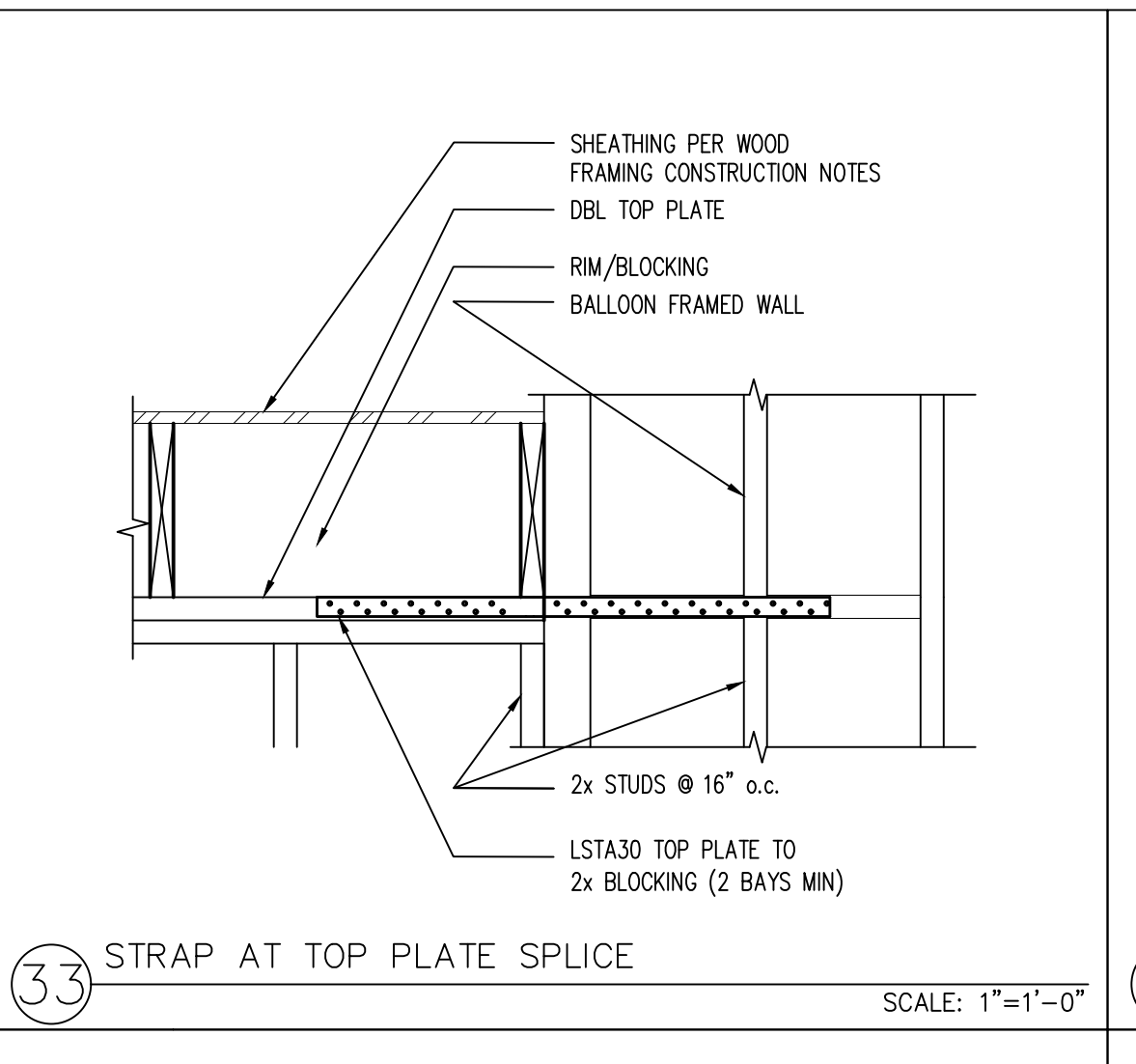
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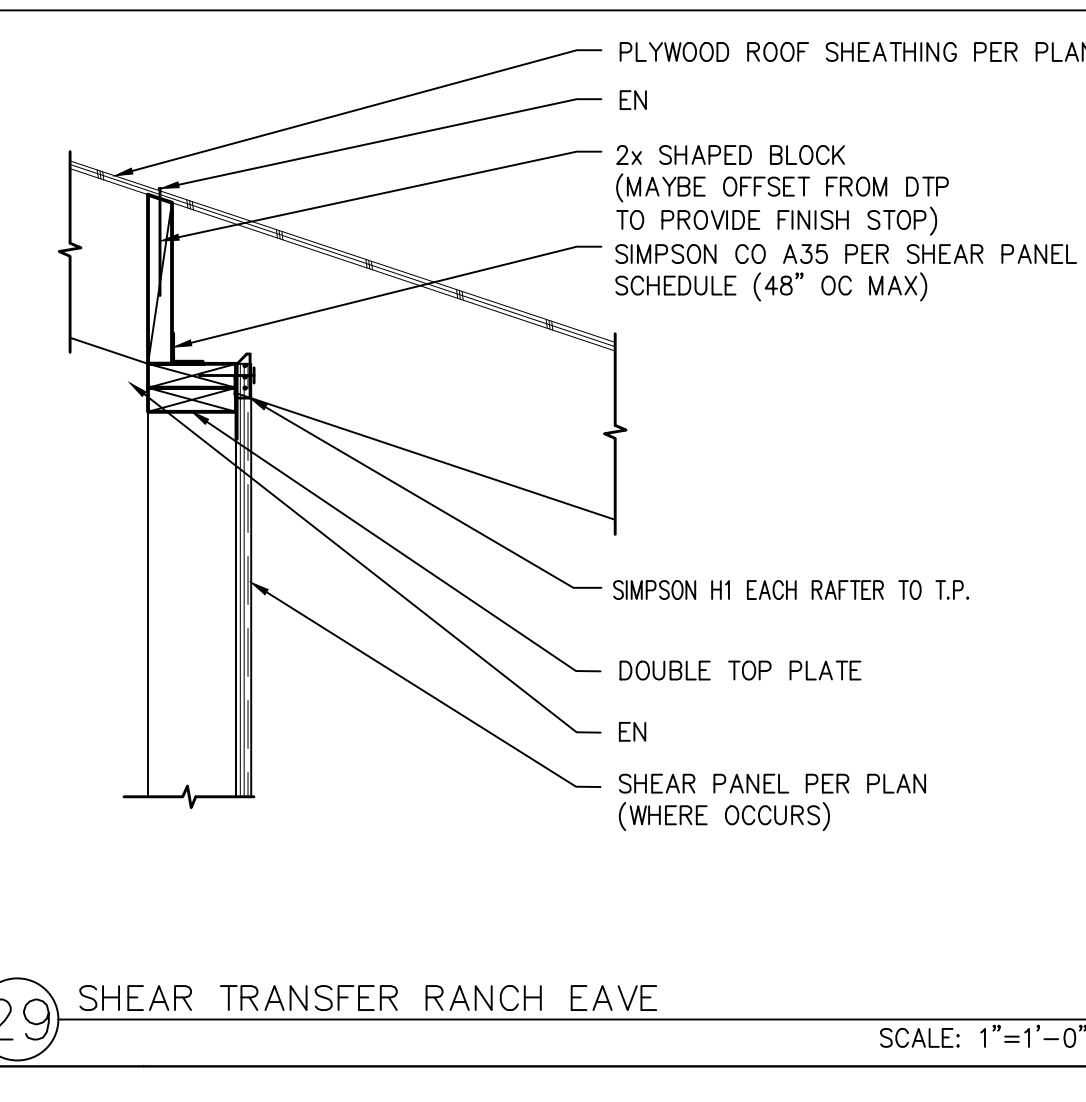
project  
**City of Riverside Pre-Approved ADU Program**  
 revisions  
 description  
**Structural Details**  
 date  
 October 2023  
 project no.  
 Riverside ADU  
 drawn by  
 DESIGN PATH STUDIO  
 sheet no.  
**S5**



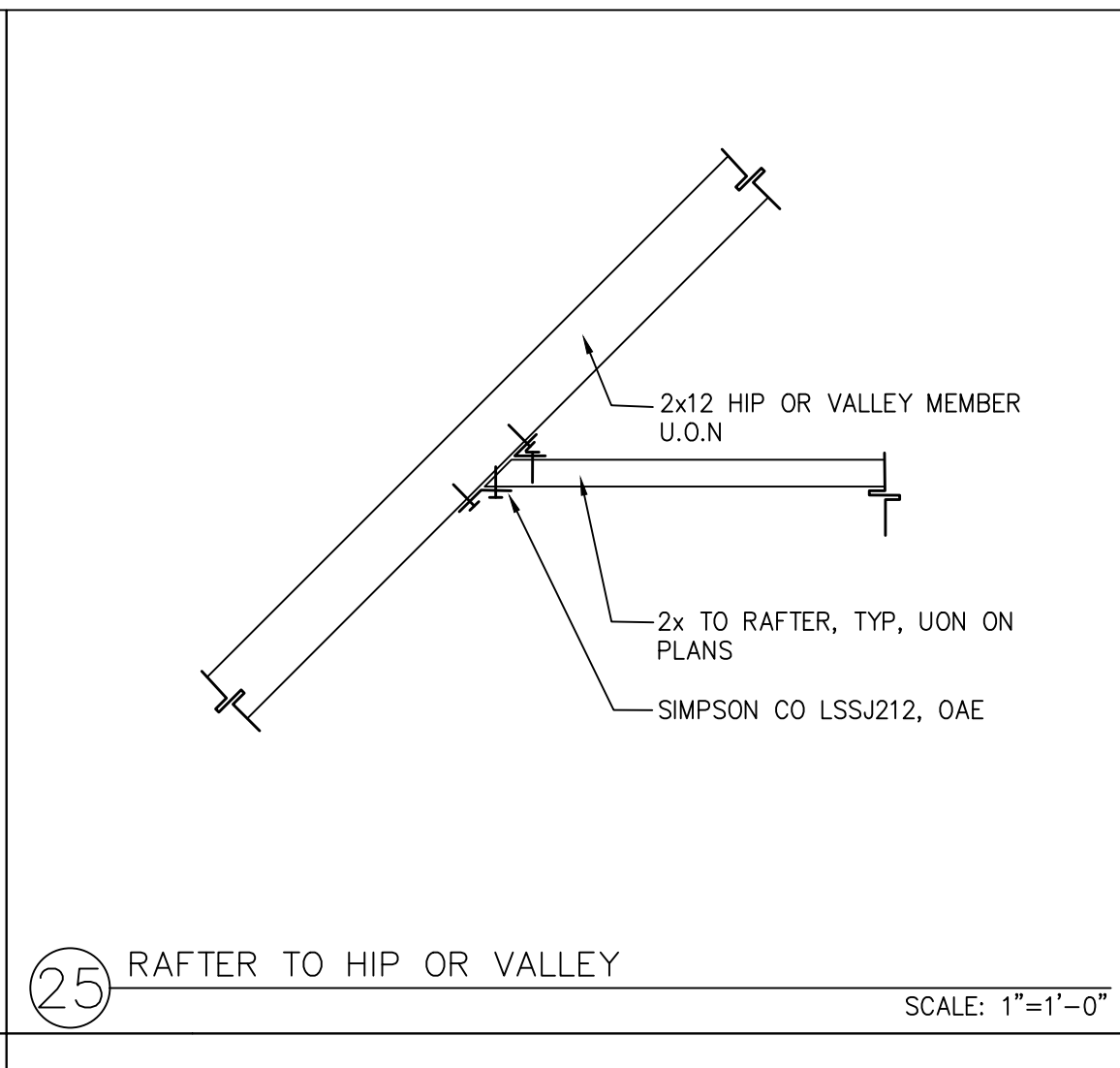
37 KNEE BRACE TRELLIS OPENING CAP SCALE: 1"=1'-0"



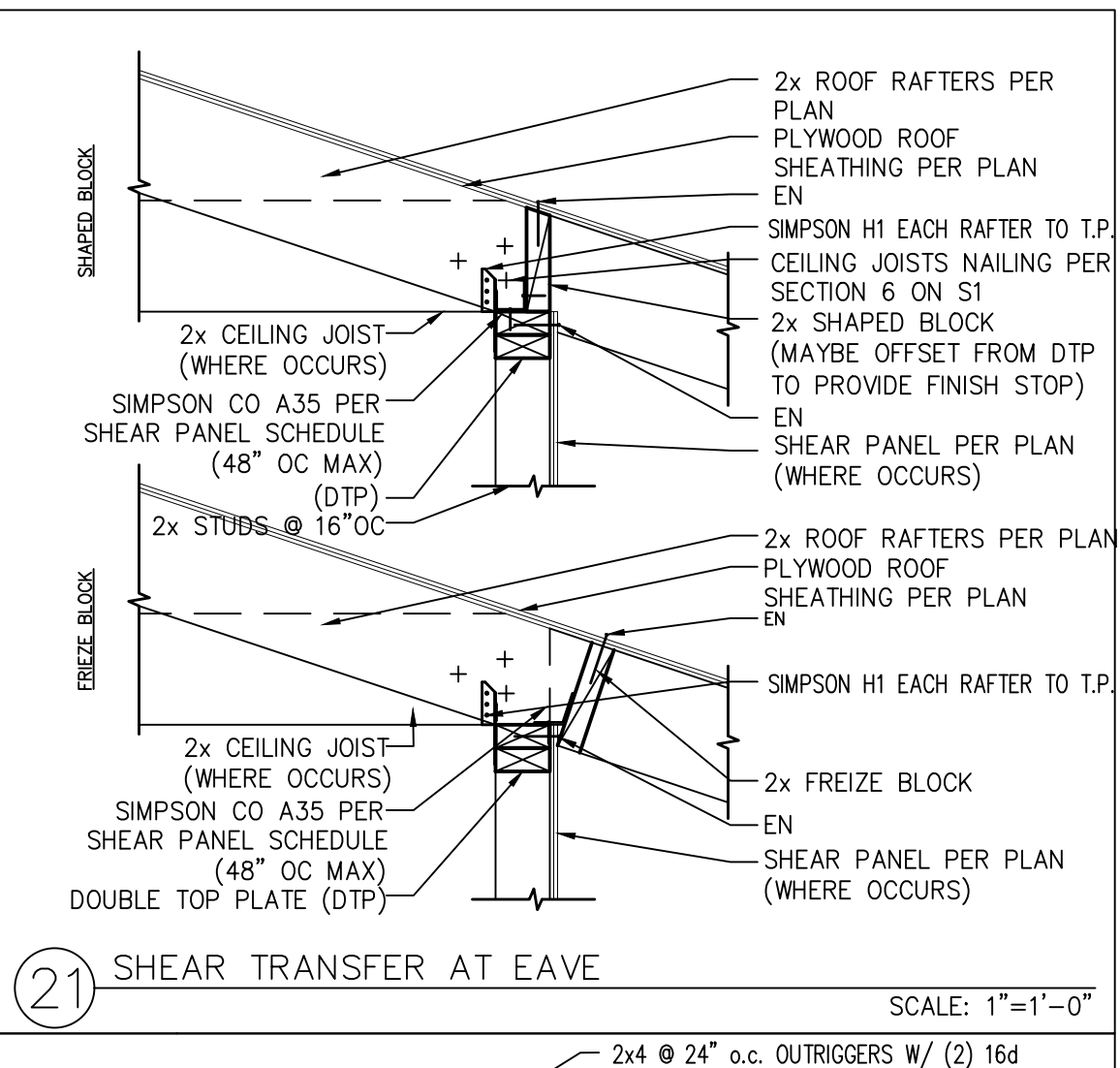
33 STRAP AT TOP PLATE SPLICE SCALE: 1"=1'-0"



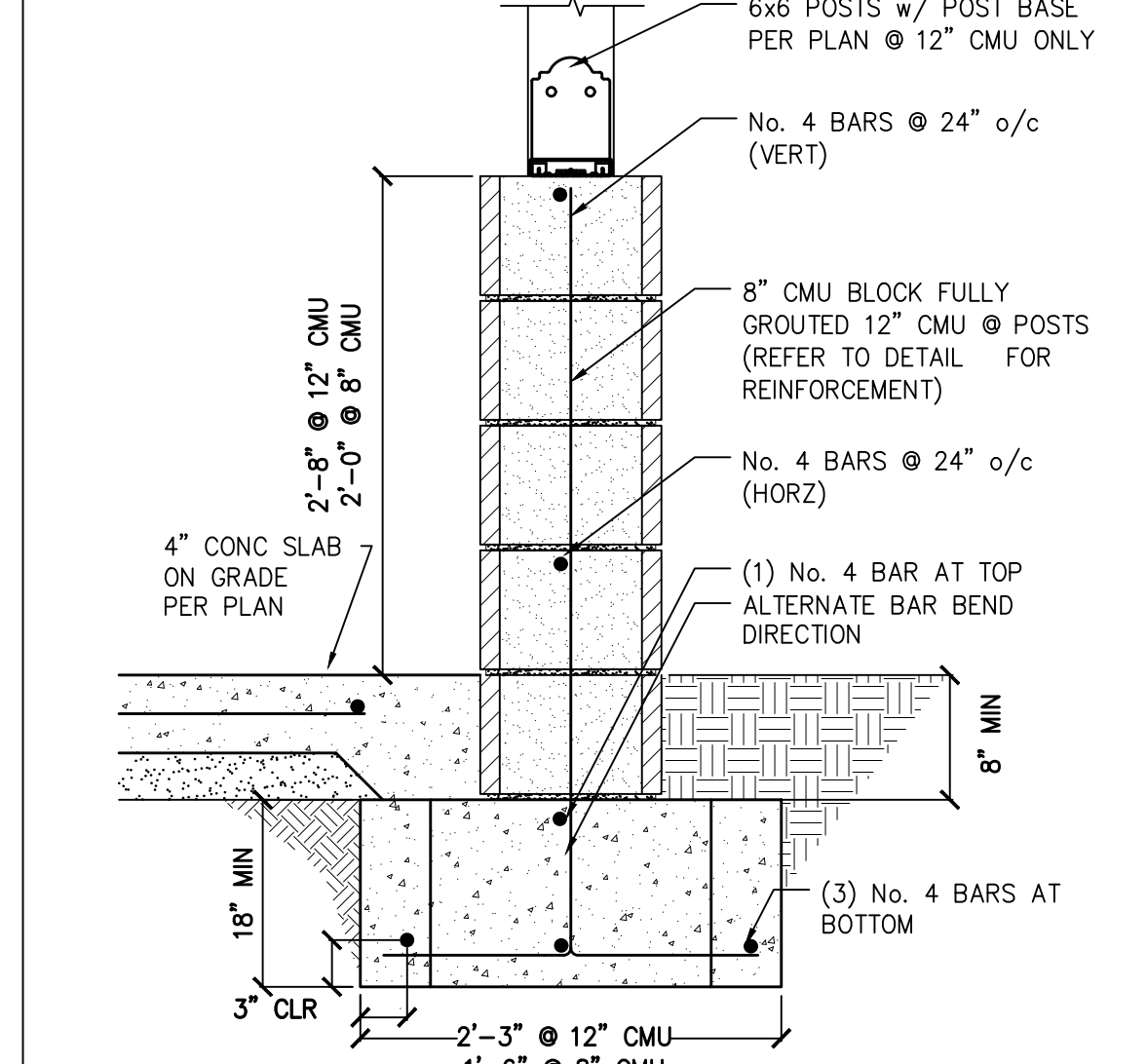
29 SHEAR TRANSFER RANCH EAVE SCALE: 1"=1'-0"



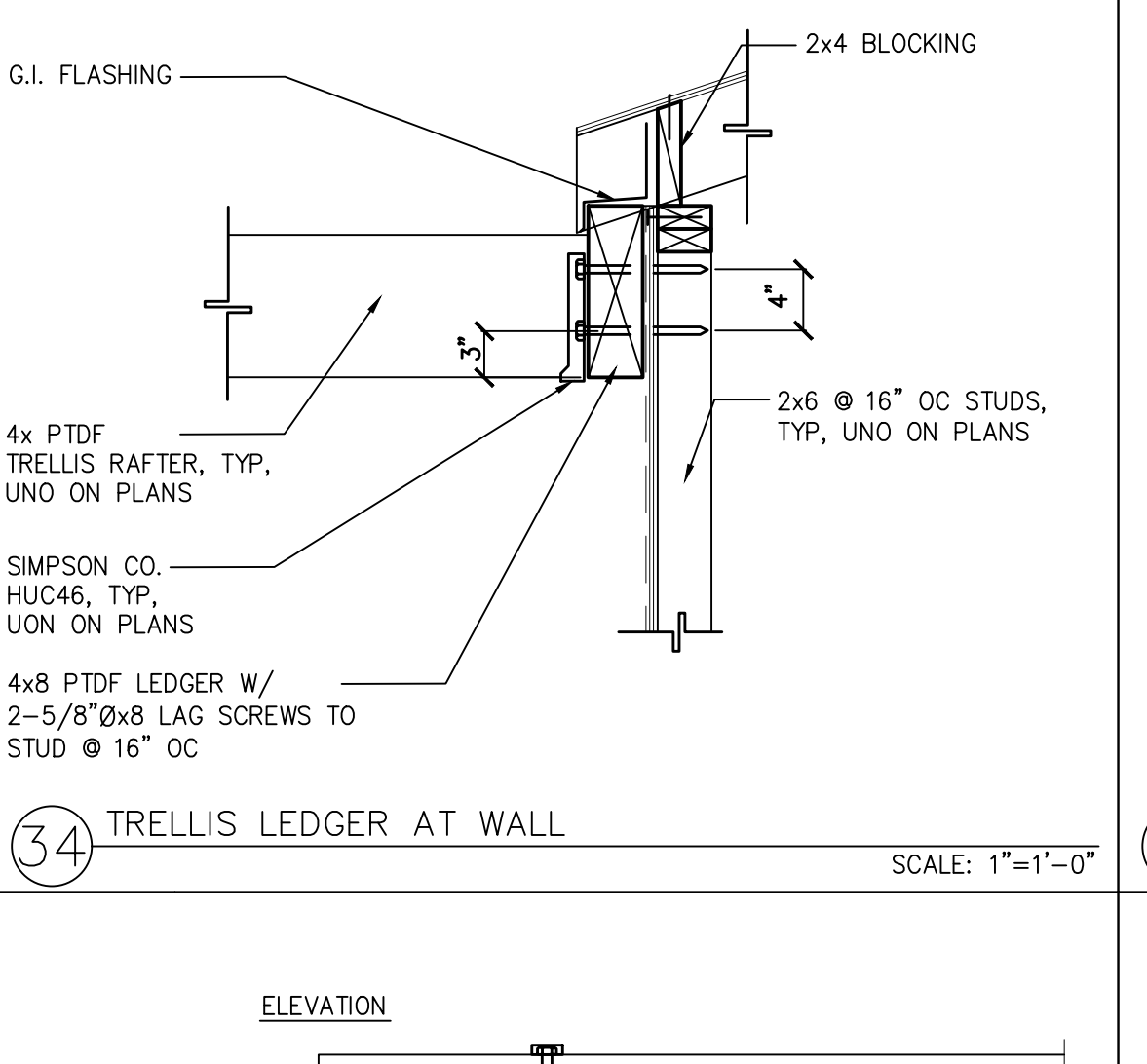
25 RAFTER TO HIP OR VALLEY SCALE: 1"=1'-0"



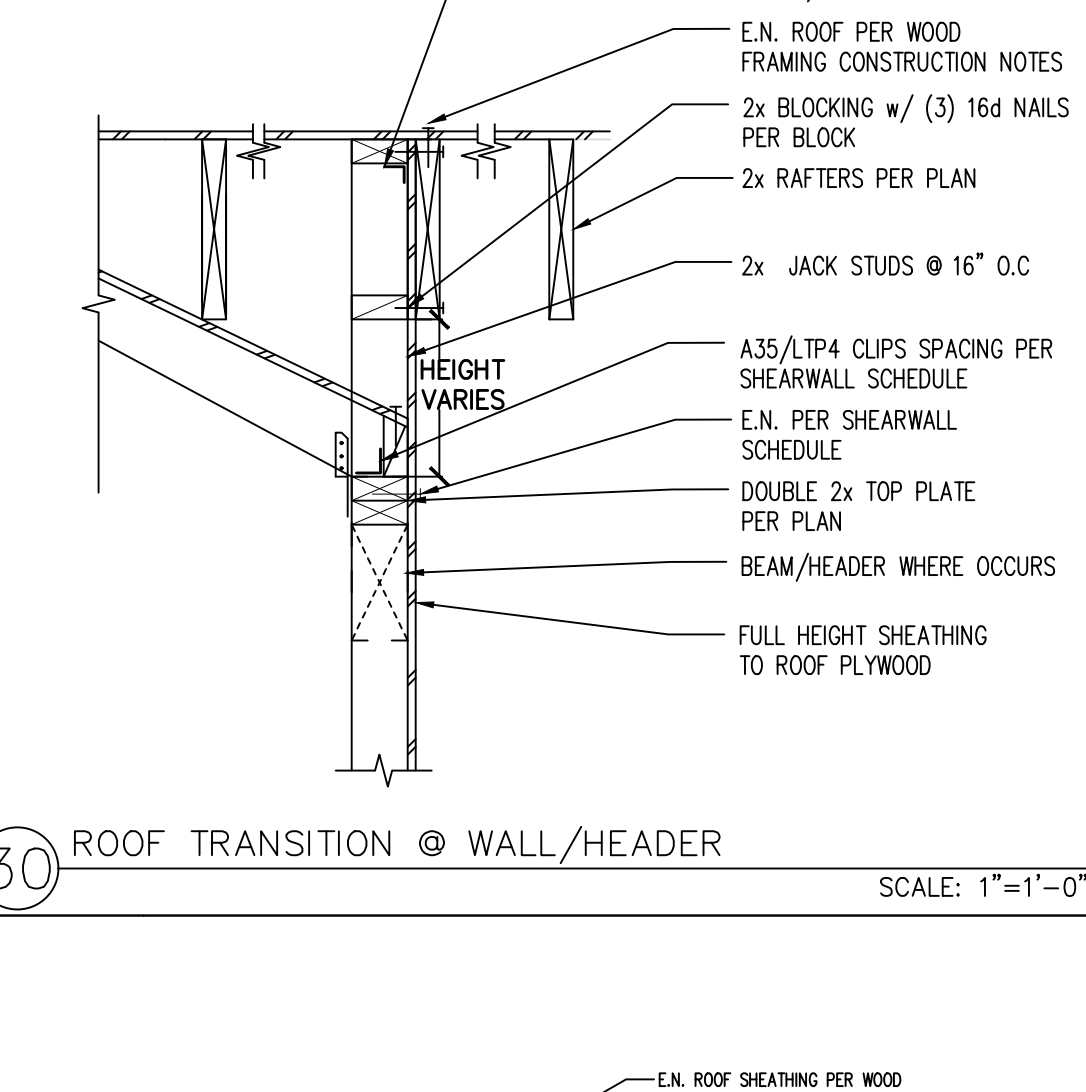
21 SHEAR TRANSFER AT EAVE SCALE: 1"=1'-0"



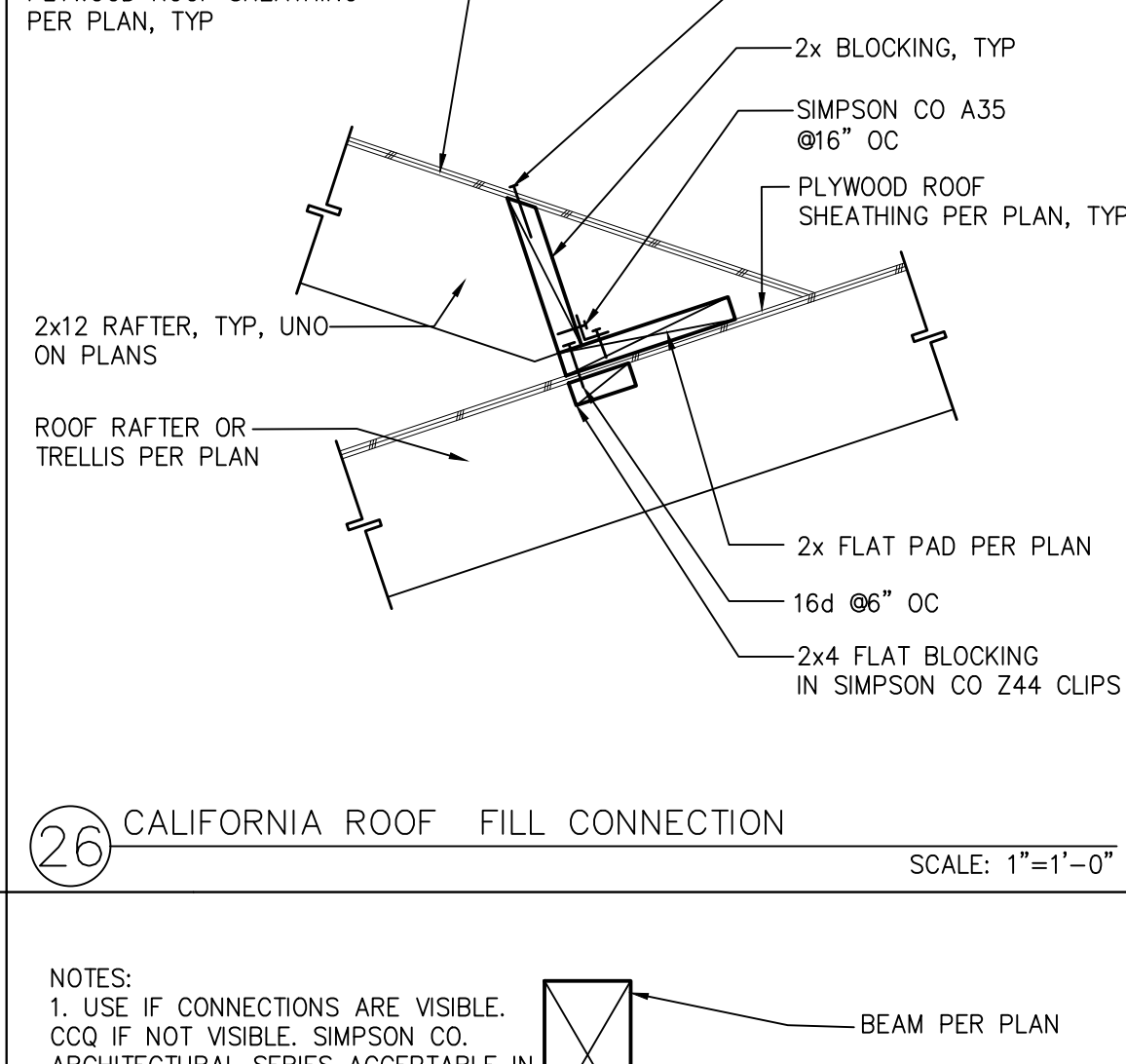
34 TRELLIS LEDGER AT WALL SCALE: 1"=1'-0"



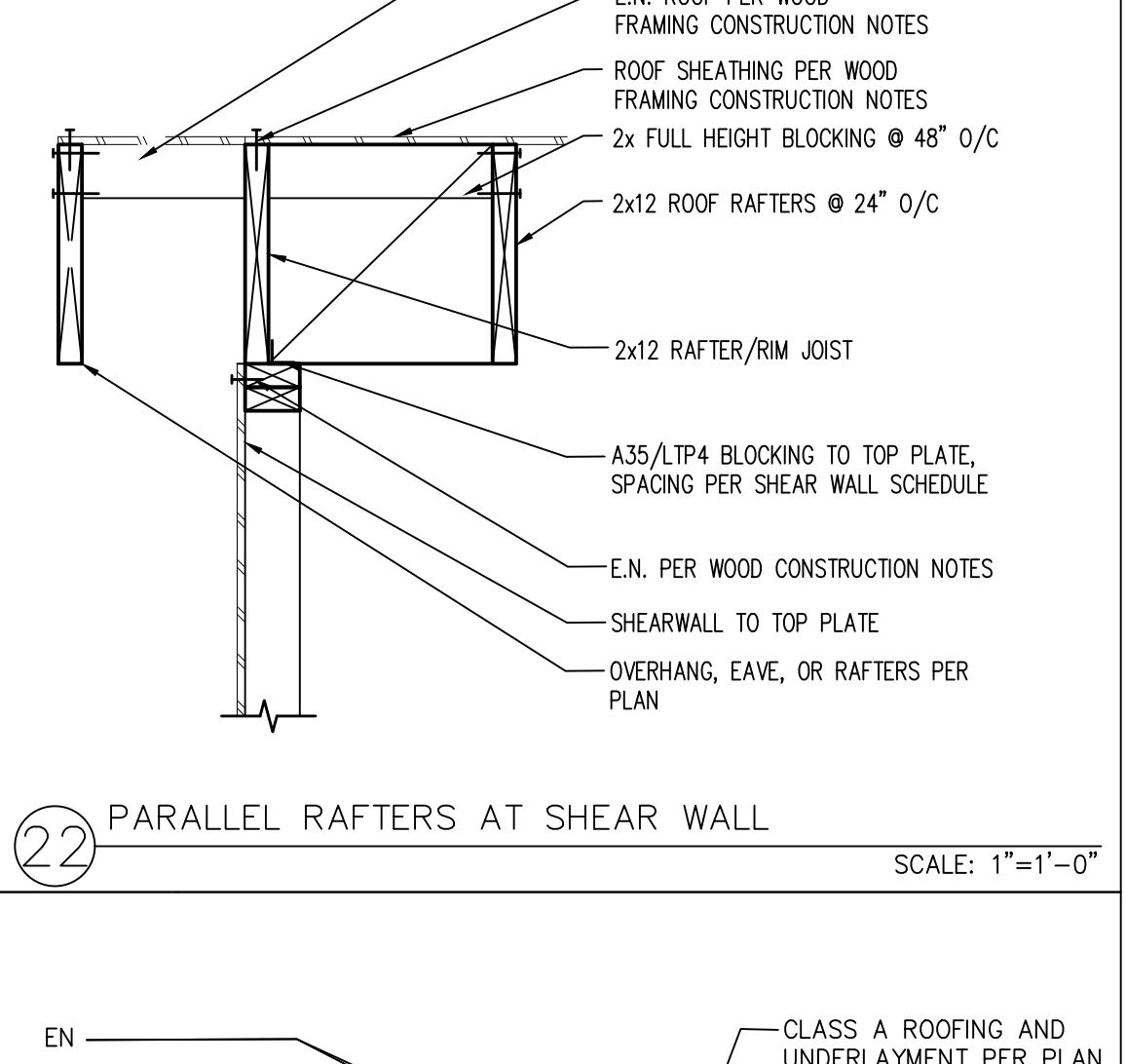
30 ROOF TRANSITION @ WALL/HEADER SCALE: 1"=1'-0"



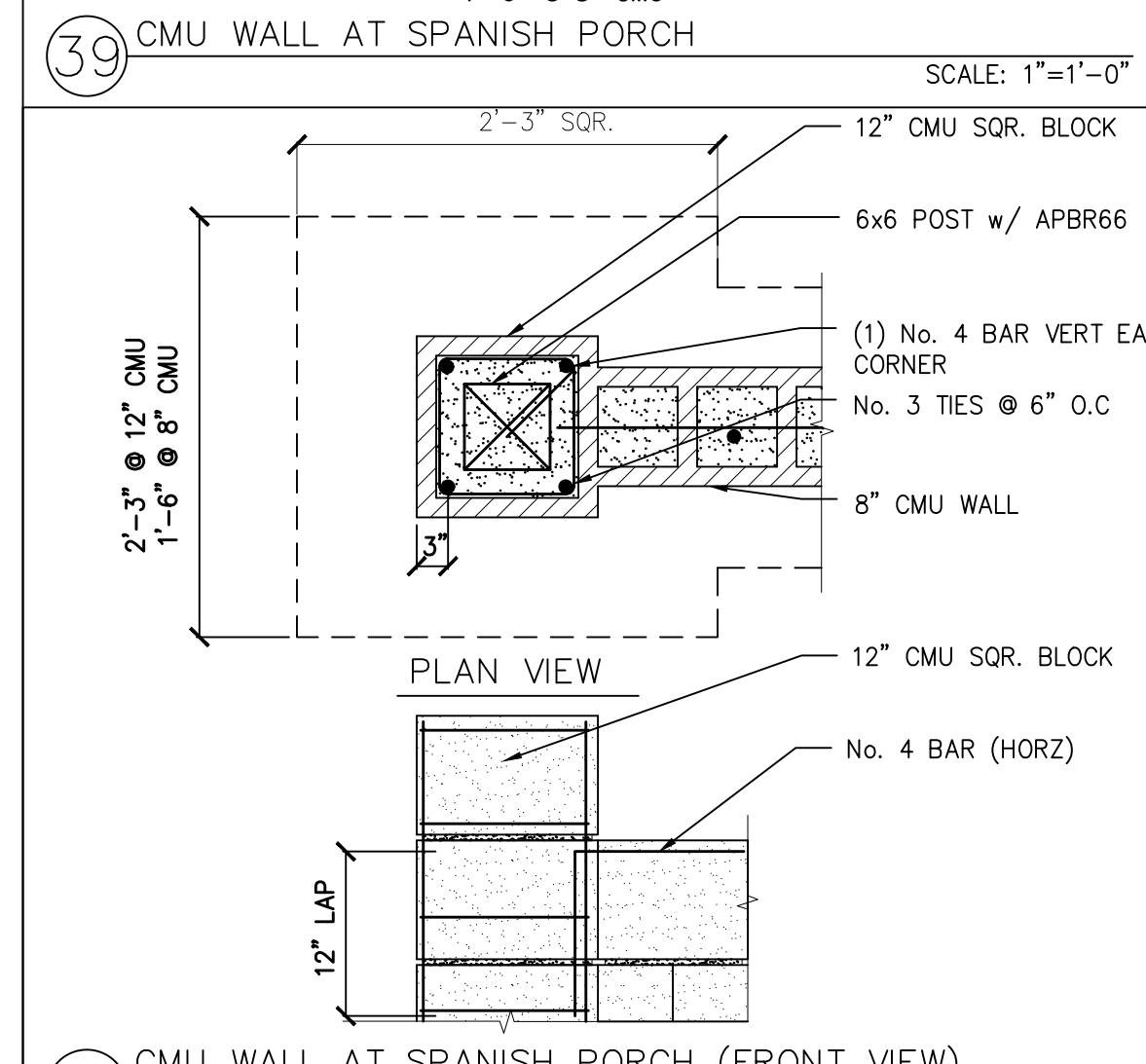
26 CALIFORNIA ROOF FILL CONNECTION SCALE: 1"=1'-0"



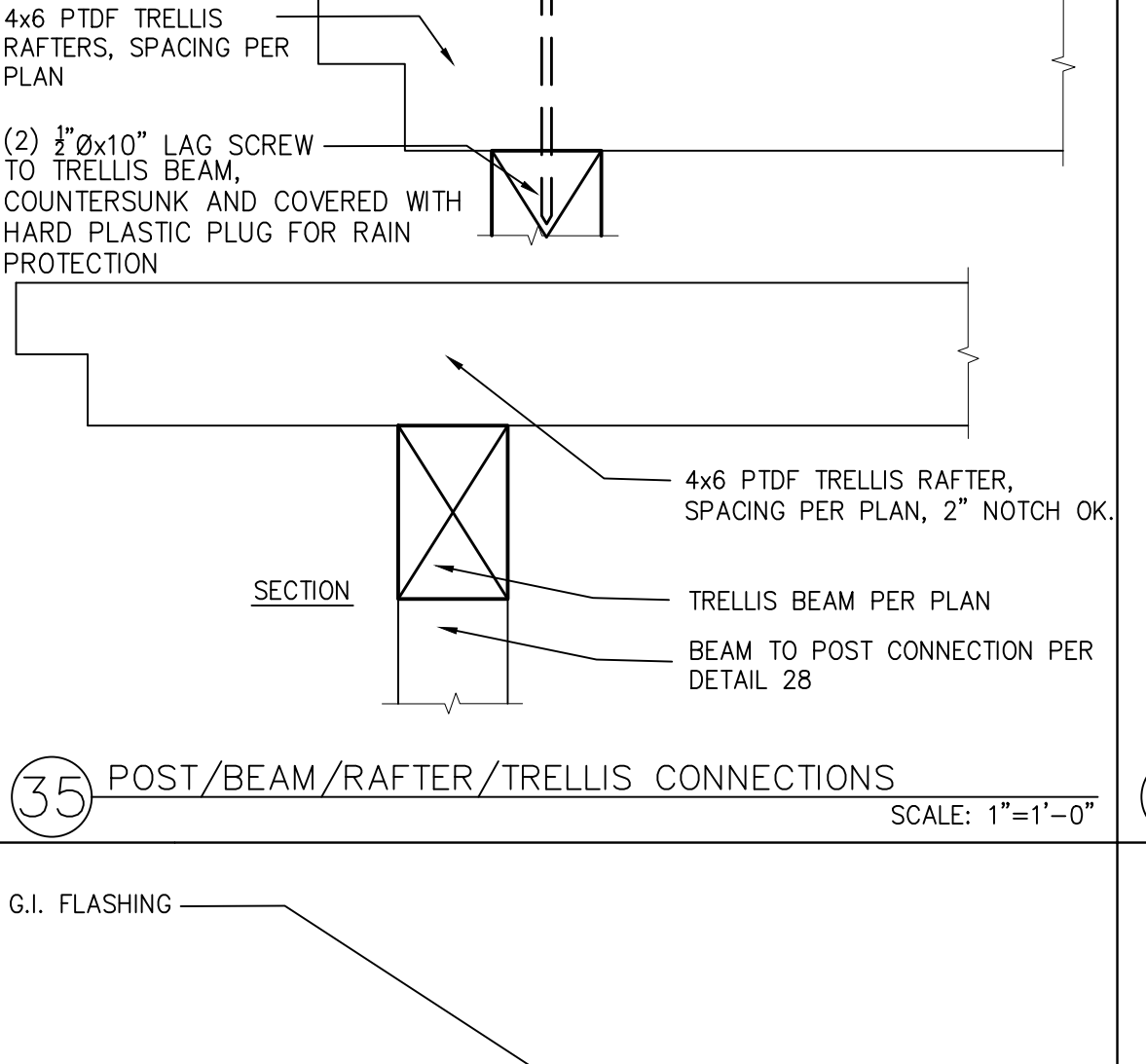
22 PARALLEL RAFTERS AT SHEAR WALL SCALE: 1"=1'-0"



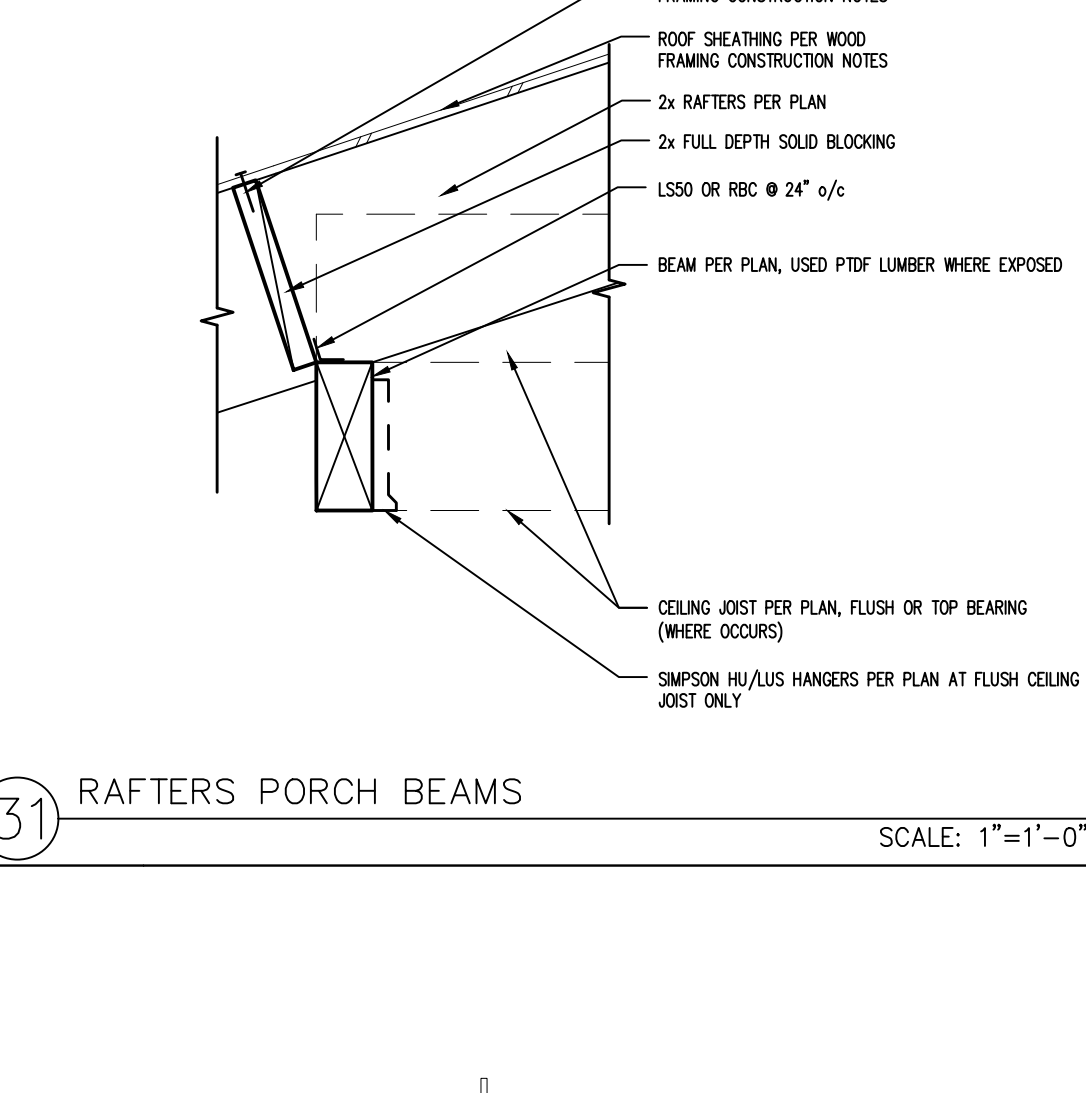
23 RAFTER AT RIDGE BOARD OVER RIDGE BEAM SCALE: 1"=1'-0"



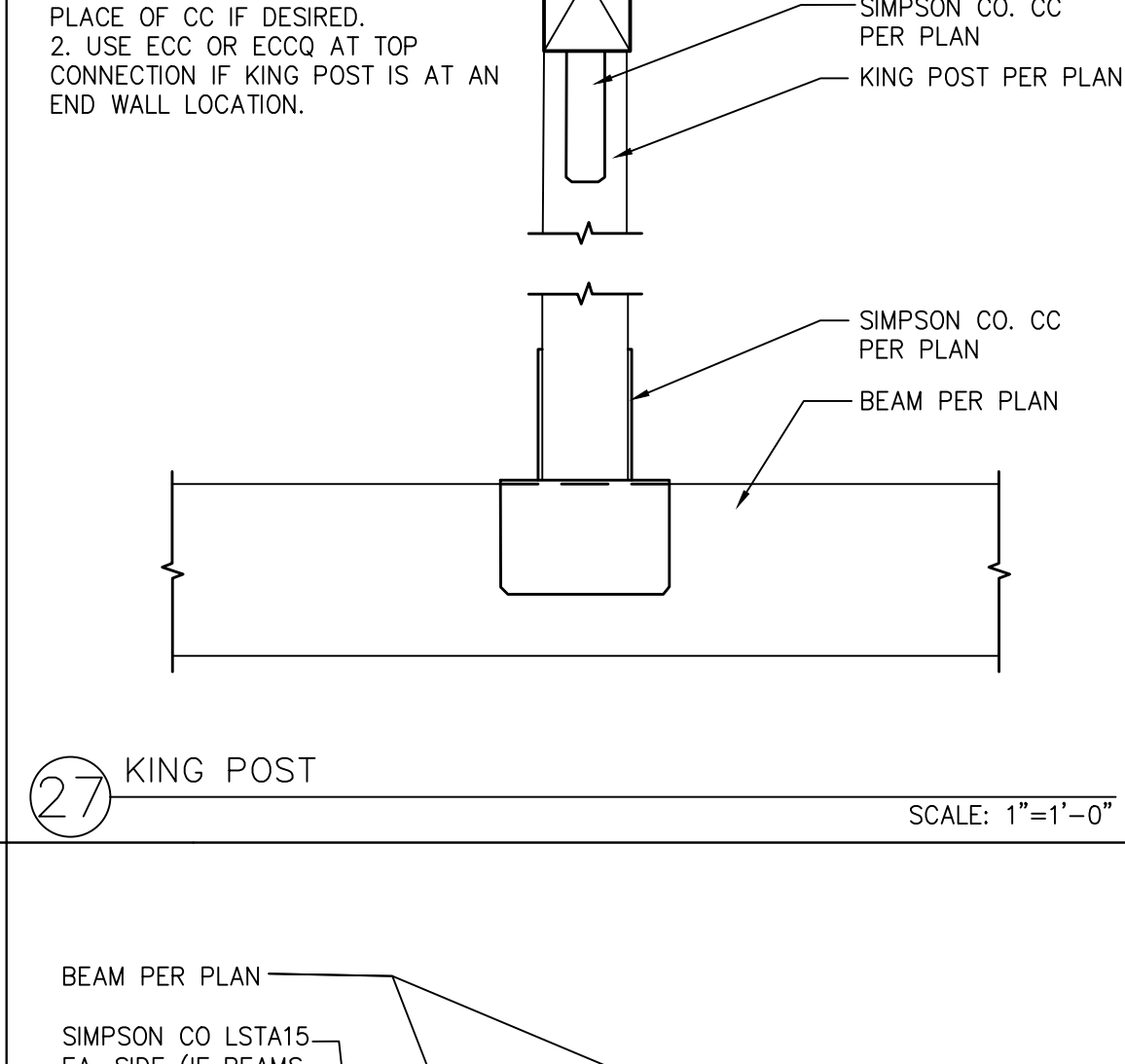
39 CMU WALL AT SPANISH PORCH SCALE: 1"=1'-0"



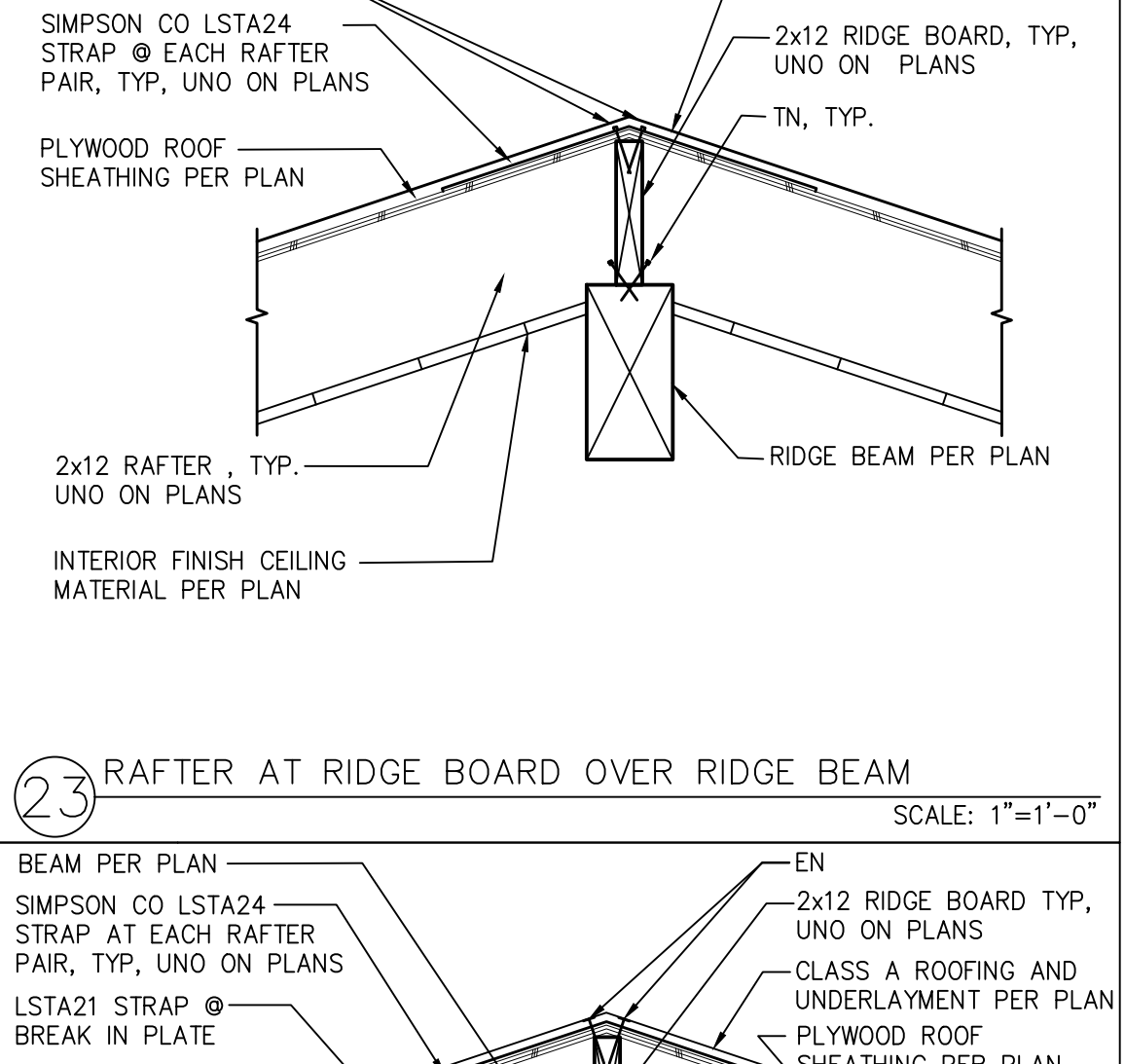
35 POST/BEAM/RAFTER/TRELLIS CONNECTIONS SCALE: 1"=1'-0"



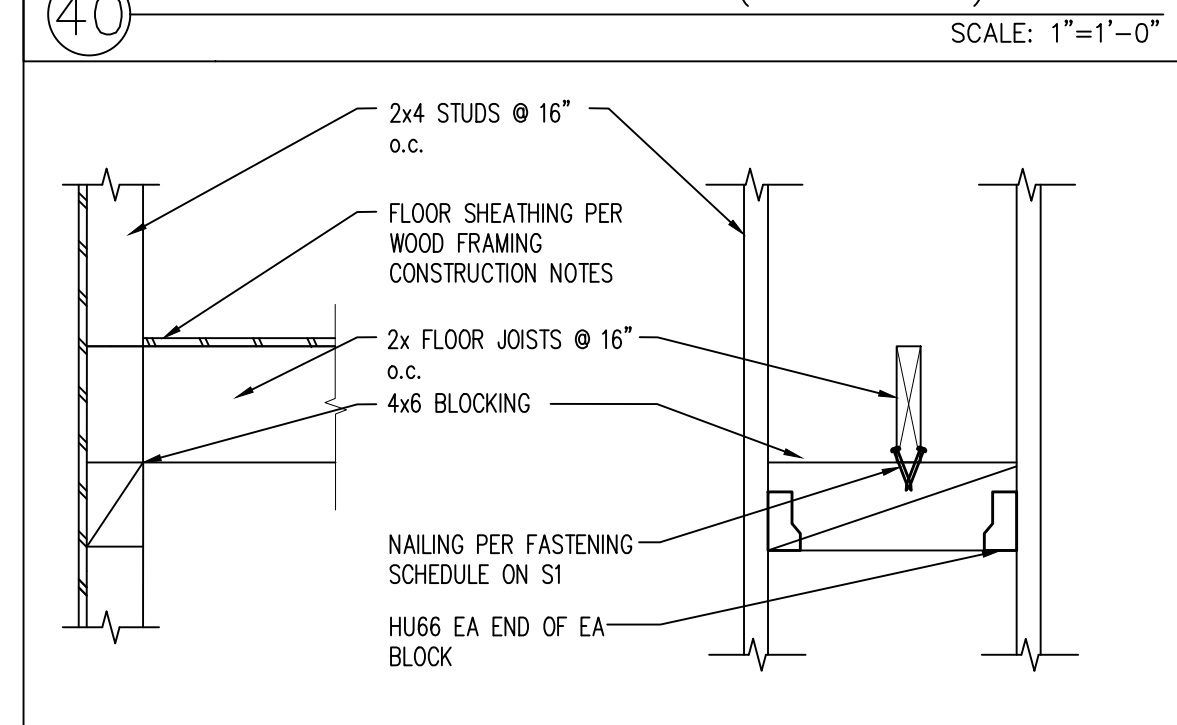
31 RAFTERS PORCH BEAMS SCALE: 1"=1'-0"



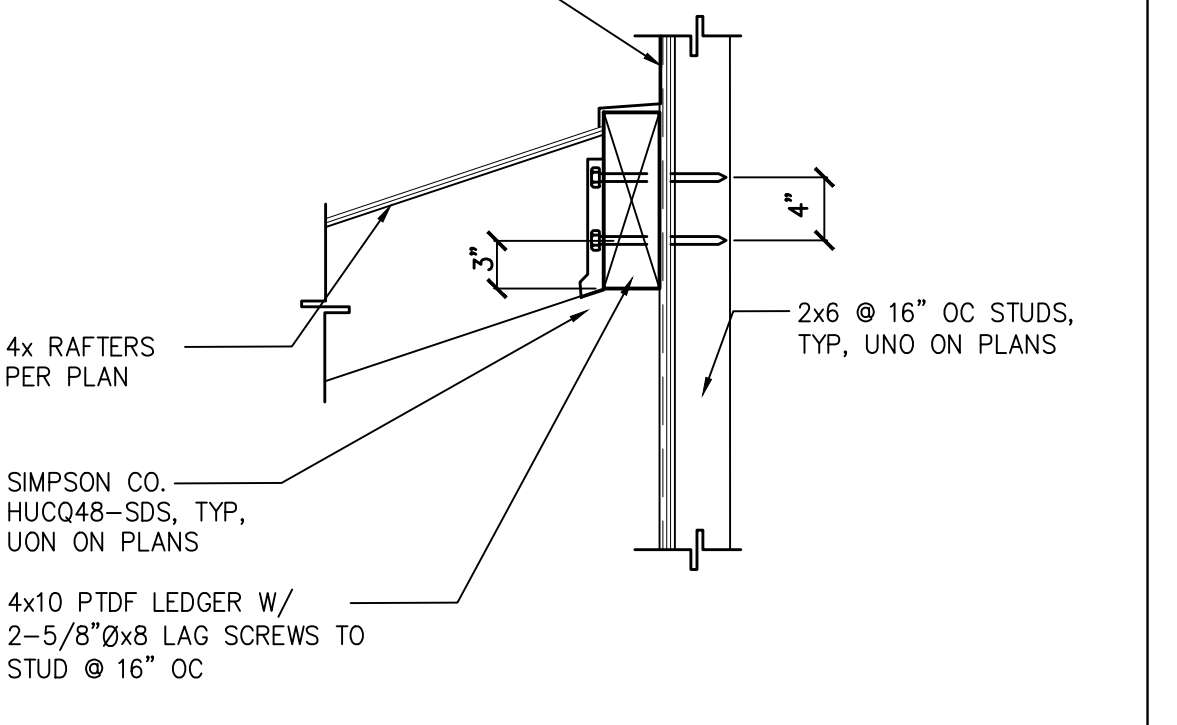
27 KING POST SCALE: 1"=1'-0"



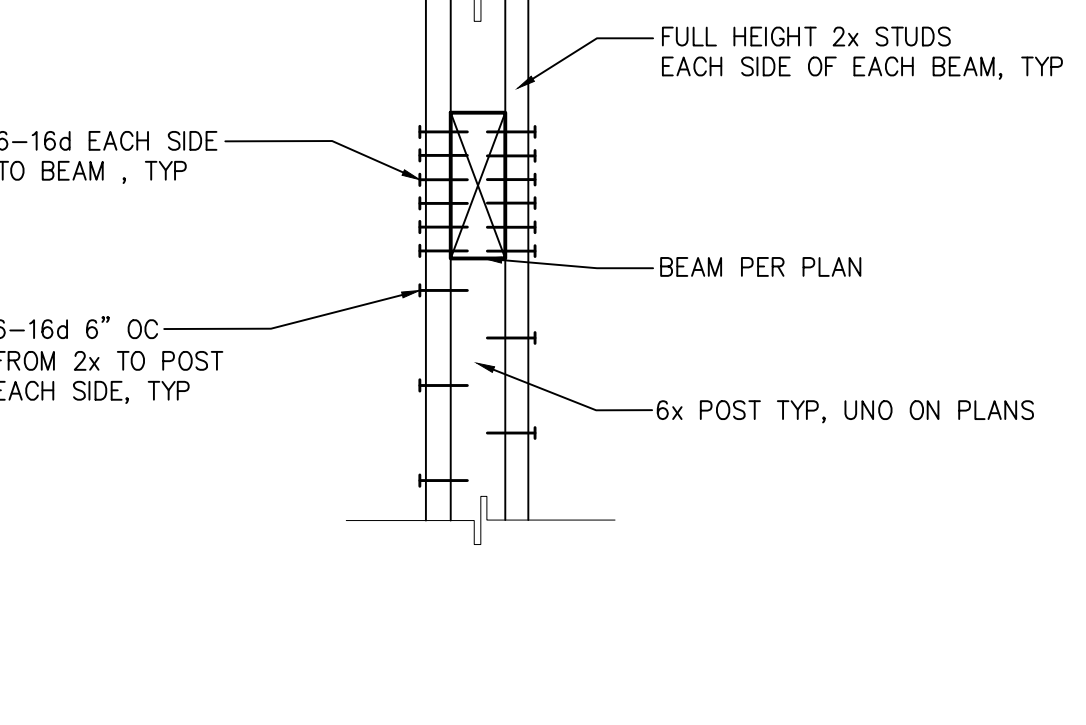
24 RIDGE BOARD & BEAM AT WALL POST W/ HARDWARE SCALE: 1"=1'-0"



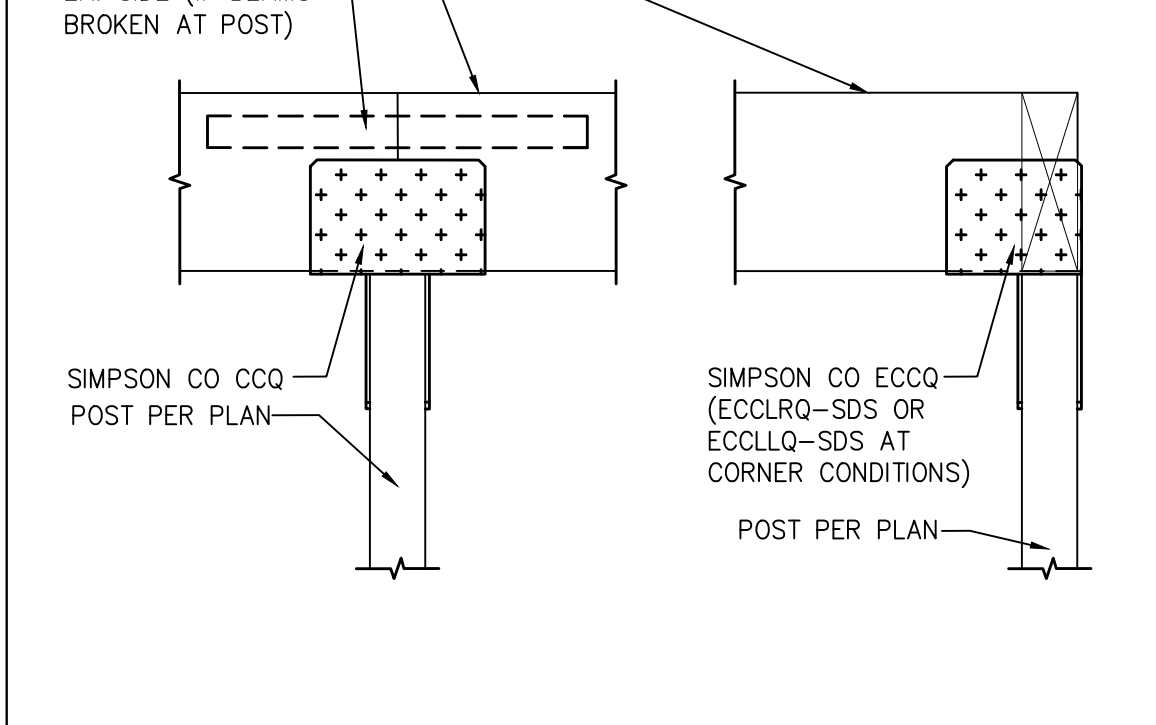
41 FLOOR JOISTS PERP TO STUDS SCALE: 1"=1'-0"



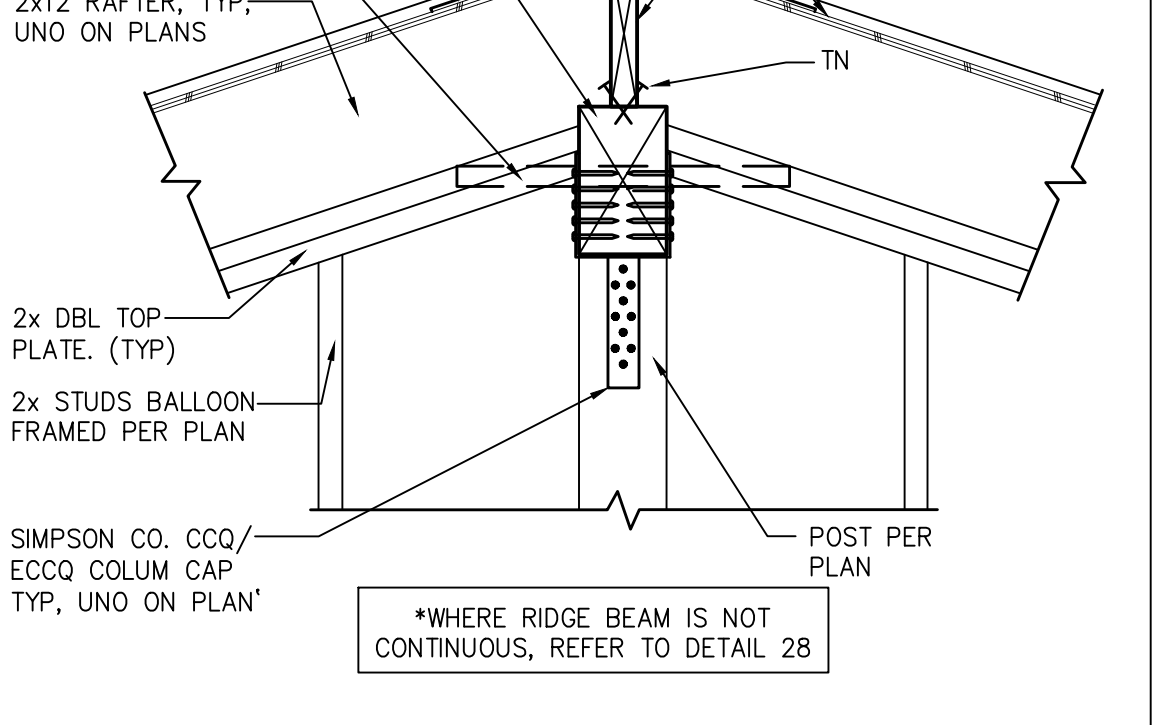
36 LEDGER AT WALL SCALE: 1"=1'-0"



32 TRELLIS/PORCH BEAM TO STUD WALL SCALE: 1"=1'-0"



28 POST TO BEAM WITH CCQ/ECCQ SCALE: 1"=1'-0"



24 RIDGE BOARD & BEAM AT WALL POST W/ HARDWARE SCALE: 1"=1'-0"

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project  
**City of Riverside Pre-Approved ADU Program**  
 revisions  
 description  
**Structural Details**  
 date October 2023  
 project no. Riverside ADU  
 drawn by DESIGN PATH STUDIO  
 sheet no. **S6**







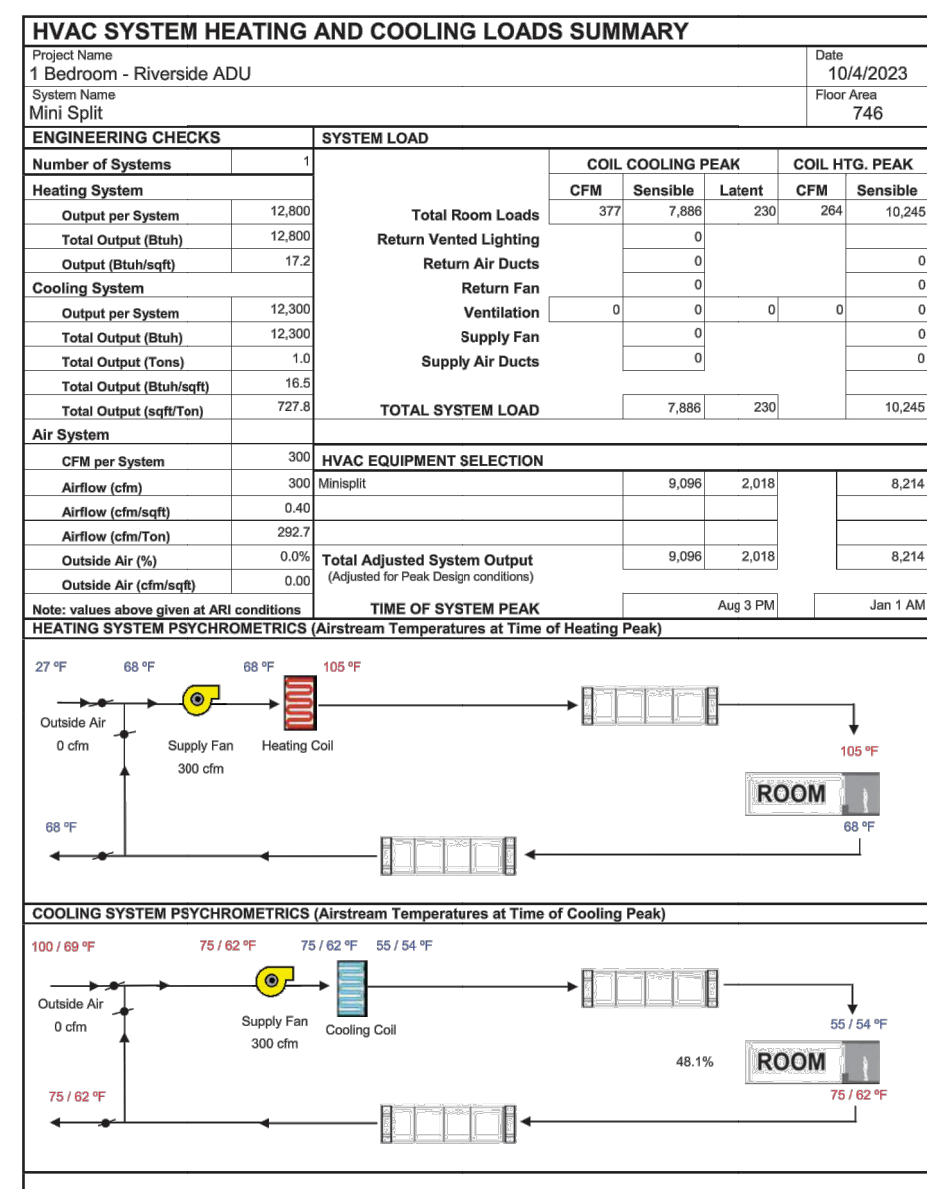
2022 Single-Family Residential Mandatory Requirements Summary	
§ 150.03(C)	Some leased luminaires. Some leased luminaires must contain lamps that comply with Reference Joint Appendix JAA. *
§ 150.03(F)	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separate light sources that are not compliant with the JAA electrical performance requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.03(F)	Light Sources in Drawers, Cabinets, and Under-Cabinet. Light sources installed in drawers, cabinets or other closets are not required to comply with Table 103.0A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power and no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or shelf door is closed.
§ 150.03(G)	Interior Switches and Controls. All forward phase-out dimmers used with LED light sources must comply with NEMA E85, 7A.
§ 150.03(H)	Interior Switches and Controls. Forward phase-out dimmers must be controlled separately from lighting systems. *
§ 150.03(I)	Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off.
§ 150.03(J)	Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.03(I).
§ 150.03(K)	Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 150.8.
§ 150.03(L)	Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 150.8 and the physical controls specified in § 150.03(I).
§ 150.03(M)	Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic shutoff functionality. Lighting inside drawers and cabinets with closed fronts or doors must have controls that turn the light off when the drawer or door is closed.
§ 150.03(N)	Dimmers. Lighting in individual spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase-out dimmers controlling LED light sources must comply with NEMA E85, 7A.
§ 150.03(O)	Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.
§ 150.03(P)	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to residential buildings, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control or an automatic time clock. An energy management control system that provides the specified control functionally and meets all applicable requirements may be used to meet these requirements.
§ 150.03(Q)	Manually Illuminated Address Signs. Manually illuminated address signs must also comply with § 148.8 or consume no more than 5 watts of power.
§ 150.03(R)	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 150.9, 150.9, 150.1, 150.4, 148.8, and 149.5.
<b>Single-Family Residences.</b> Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been determined complete and approved by the enforcement agency, which do not have a predevelopment system installed, must comply with the requirements of § 150.103(a).	
§ 150.103(a)	Minimum Solar Zone Area. The solar zone must have a minimum total area as depicted below. The solar zone must comply with access, egress, snow ventilation, and spacing requirements as specified in Title 24, Part 3 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area may be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 100 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 200 square feet.
§ 150.103(b)	Access. All portions of the solar zone located on roof-mounted roofs must have an access between 60:300" of clear width.
§ 150.103(c)	Shading. The solar zone must not contain any obstructions, including but not limited to vents, chimneys, architectural features, and roof-mounted equipment.
§ 150.103(d)	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least below the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.
§ 150.103(e)	Structural Design Loads in Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 150.103(f)	Interconnection Pathways. The construction documents must include a location marked for materials and mounting equipment used in pathways required for routing of conductors from the solar zone to the point of interconnection with the electrical service, and for single-family residences the central solar-ready system, a pathway marked for routing materials for the solar zone to the solar-ready system. Documentation. A copy of the construction documents or a comparable document including the information from § 150.103(e) must be provided to the occupant.
§ 150.103(g)	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 150.103(h)	Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a main solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."

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§ 150.04	Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready reconnection equipment with a backed-up capacity of 40 amps or more and four or more ESS-supplied branch circuits, or a dedicated reconnection from the main service to a subpanel that supplies the branch circuits in § 150.04, or a dedicated branch circuit that is identified and have that source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit, near the primary unit, and one circuit supplying a sleeping room. A system isolation equipment transfer switch within 3' of the main panelboard, with reserves installed between the panelboard and the switch location to allow the connection of backup power source.
§ 150.04	Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include a dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the tank cover identified as "240V ready" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V unit."
§ 150.04	Electric Cooktop Ready. Systems using gas or propane cooktops to serve individual dwelling units must include a dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 30 amps with the tank cover identified as "240V ready" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V unit."
§ 150.04	Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include a dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the tank cover identified as "240V ready" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V unit."

\*Exceptions may apply.

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project

City of Riverside  
Pre-Approved  
ADU Program

revisions

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description

Energy  
Calculations

date                    October 2023

project no.           Riverside ADU

drawn by             DESIGN PATH STUDIO

sheet no.            **T24.3**