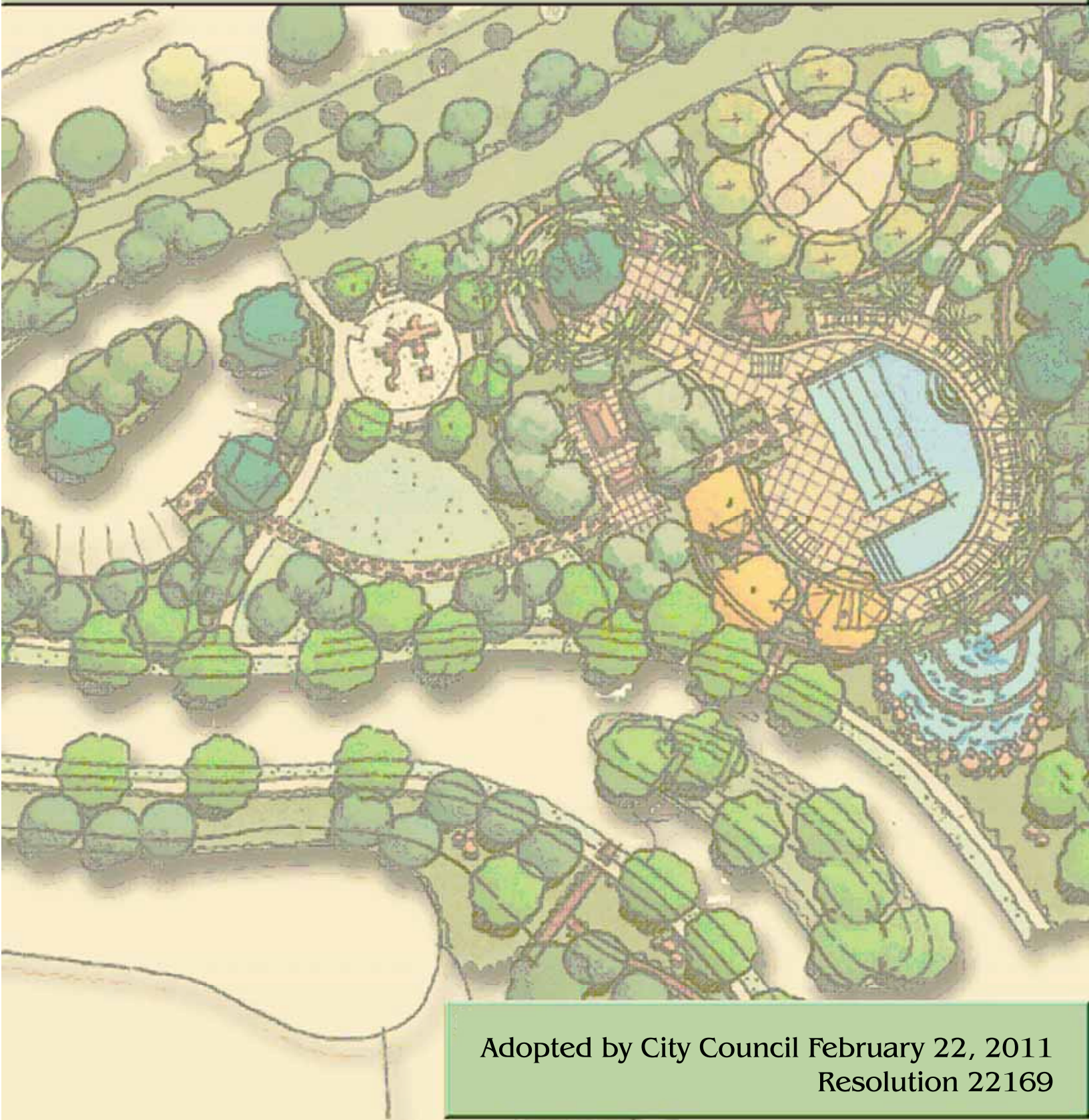


Riverwalk Vista Specific Plan

Riverside California



Adopted by City Council February 22, 2011
Resolution 22169



Riverwalk Vista Specific Plan

RIVERSIDE, CA
MARCH 1, 2005
Revised January 2011

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SECTION 1. INTRODUCTION

1.1 BACKGROUND

The Riverwalk Vista project is an amendment to the La Sierra Specific Plan adopted by the City of Riverside July 9, 1991. The La Sierra Specific Plan provides for the development of a variety of commercial, institutional, and residential land uses on approximately 120.2 acres located in the La Sierra South neighborhood. The regional location of the La Sierra Specific Plan (Specific Plan) is illustrated in Exhibit 1, "Regional Context Map" and is further described in the "Vicinity Map," Exhibit 2.

The area within the La Sierra Specific Plan to be amended is bounded by Arizona Avenue on the south, Vallejo Street on the east, La Sierra Avenue on the west, and the Burlington Northern Santa Fe (BNSF) Railroad on the north. The La Sierra Specific Plan area is bisected by Indiana Avenue on the northwest as illustrated on the "Project Location Map", Exhibit 3.

The La Sierra Specific Plan established 5 planning areas. Planning Area 1, located north of Indiana Avenue, and comprised of approximately 20.5 acres has been approved for retail commercial land uses. Planning Areas 2-5 located south of Indiana Avenue and comprising approximately 99.7 acres have been approved for a variety of commercial office uses, institutional use, senior residential use, and a park. The Riverwalk Vista project proposes a change to the land uses for Planning Areas 2-5 to allow for development of a variety of detached single-family residential homes in this area, hereinafter referred to as Planning Area 2.

1.2 PROJECT SETTING

The Riverwalk Vista project proposes changes in land use only on the 99.7 acres within Planning Areas 2 located south of Indiana Avenue, north of Arizona Avenue, east of La Sierra Avenue, and west of Vallejo Street. This area is currently vacant. The remaining approximately 20.5 acres (Planning Area 1) are owned by the



Riverside County Transportation Commission and included in this specific plan to provide a comprehensive guide to the development of the entire 120.2 acres. A portion of this acreage is developed with a Metrolink Station and surface parking.

Land uses surrounding the Specific Plan area consist of residential to the east, west, and south, the Arizona Intermediate School to the southwest, and a neighborhood shopping center (Nexus Center) to the northwest. Property located immediately to the west across La Sierra Avenue is primarily vacant. The Riverside Freeway and freeway oriented commercial and retail uses are located to the north. Approximately 99.7 acres of the entire Specific Plan area, comprising Planning Area 2, are controlled by the applicant and proposed for development of a variety of detached single family housing types with open space amenities.

1.3 PROJECT SUMMARY

The Riverwalk Vista project was a proposal by Griffin Industries, in 2010 Forestar Riverside LLC, amended the plan and is hereinafter referred to as the "developer", for the development of an infill residential community that blends a variety of single family detached housing into an integrated village setting. For ease of administration, it is proposed that the entire La Sierra Specific Plan area be renamed the "Riverwalk Vista Specific Plan". All references in the following pages of this document to "Specific Plan" shall therefore mean Riverwalk Vista Specific Plan, in whole or in part.

The Amendment of the Riverwalk Specific Plan dated February 2011 to include Villages 4 (TM 35932) and 5 (TM 36323) of the Riverwalk Vista project is proposed by Forestar Riverside, LLC. All reference in the following pages of this document to "Specific Plan Amendment" shall therefore mean Riverwalk Vista Specific Plan Amendment in whole or in part.

RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan

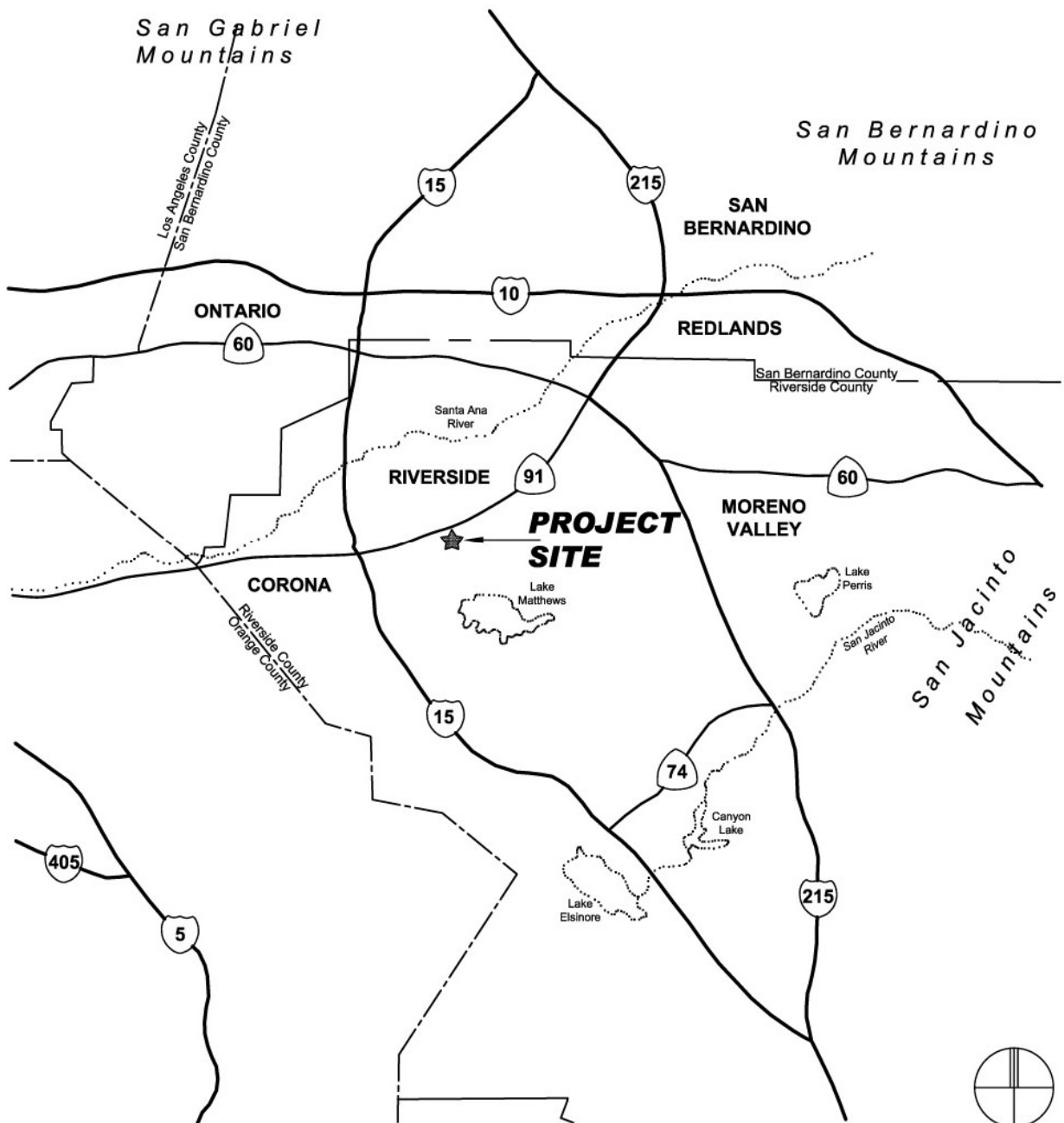


Exhibit 1, "Regional Context Map"

RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan

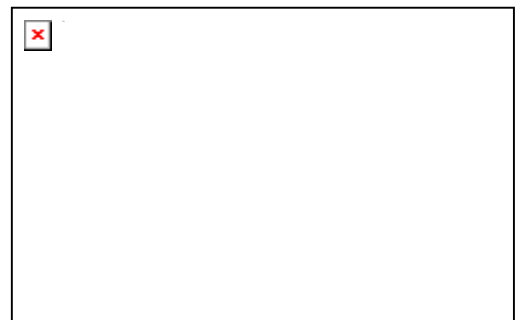
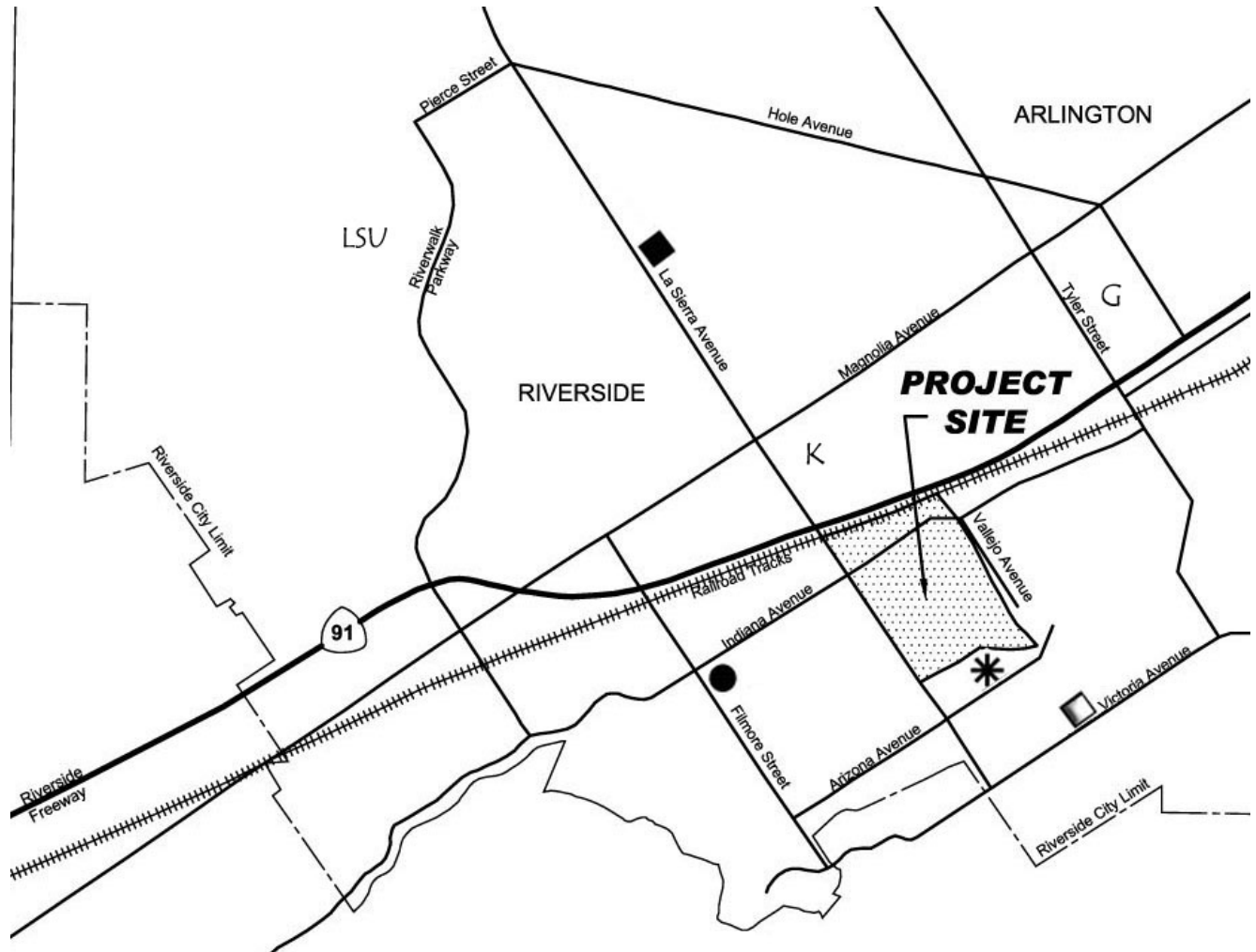


Exhibit 2, "Project Vicinity Map"
Section 1. Introduction

RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan



Exhibit 3, "Project Location Map"
Section 1. Introduction



The vision for Riverwalk Vista is a community offering a variety of housing opportunities designed to address a diversity of lifestyles in a traditional neighborhood setting within walking distance to open space, schools, commercial centers and transit facilities. The vision for Riverwalk Vista is achieved through the application of the following key design goals:

- ❖ Provide for transit-oriented opportunities taking advantage of nearby transit facilities.
- ❖ Provide for pedestrian and bicycle mobility.
- ❖ Encourage neighborhood interaction through provision of active and passive open space, gathering areas, and a network of paseos and sidewalks.
- ❖ Provide connectivity among neighborhoods and surrounding uses.
- ❖ Provide for a range of housing types with an overall density of 4.0 dwelling units per acre, compatible with the surrounding low density residential neighborhoods.
- ❖ Promote exceptional architectural and landscape design.



1.4 PROJECT DESCRIPTION

Riverwalk Vista is a comprehensive plan for the development of an infill residential project within a planned community setting providing up to 398 single family detached residential dwelling units. The proposed plan combines safe and pleasant neighborhoods designed at a human scale within walking distance to open space, schools, transit facilities, and nearby commercial uses. Connectivity throughout the entire community is provided through a network of sidewalks and paseos providing a pedestrian friendly environment that promotes walking among neighborhoods and to recreational facilities within the community. Pedestrian accessibility between the community and the transit center located north of Indiana Avenue will provide opportunities for commuters to take the Metrolink Train to job centers in the region. The Land Use Plan, Exhibit 4, illustrates the land use components described below.

1.4.1 Planning Area 1 - Commercial

It is the intent of the Riverwalk Vista Specific Plan to incorporate the land uses previously approved with the La Sierra Specific Plan for Planning Area 1. Planning Area 1 comprises approximately 20.5 acres located north of Indiana Avenue. Up to 232,000 square feet of retail commercial land uses can be developed pursuant to the City of Riverside C-2-S-2 zoning district and the provisions of the La Sierra Specific Plan, incorporated herein.

1.4.2 Planning Area 2 - Residential

Residential land use comprises approximately 99.7 acres of Riverwalk Vista. Riverwalk Vista offers varying residential housing types including conventional single family detached homes on typical lots ranging from 3,905 to 6,500 square feet, single family detached units in a cluster configuration with typical 4,675 square foot lots and single family detached patio homes on typical 2,880 square foot lots. Up to 402 detached residential dwelling units are proposed for development within Riverwalk Vista at an overall density of 4.0 dwelling units per acre consistent with the surrounding low density residential neighborhoods.



1.4.3 Open Space

Riverwalk Vista includes approximately 22.53 acres of active and passive open space within the residential portion of the project. Active open space includes the development of a 3.63 acre primary active open space area to be improved with a swimming pool, tot lot, barbeque, and picnic tables. Additional active open space is distributed throughout the project offering opportunities for walking through the community with informal recreational areas along the way.

1.4.3 Paseos

A signature feature of the Riverwalk Vista open space system is the provision of landscaped open space areas and paseos linking residential neighborhoods to active open space, the existing intermediate school located south of Riverwalk Vista and to the transit facility located north of Indiana Avenue. Paseos, off- street internal pedestrian and bicycle connecting linkages between land uses, are provided throughout the community and illustrated on Exhibit 12 in Section 3, Land Use. A landscaped paseo will be developed within Riverwalk Vista with a pedestrian connection at La Sierra Avenue. This private paseo will provide pedestrian access within the community to open space areas and to facilities outside of the community including the existing commercial center located west of the project, the transit center within Planning Area 1, and to the Arizona Intermediate School located south of the project. Within Riverwalk Vista a network of sidewalks will be developed linking neighborhoods to one another and to the primary active open space area.

As part of the development of the project an 80 foot wide public paseo of approximately 2.31 acres in size will be developed connecting the terminus of Arizona Avenue and the terminus of Vallejo Street transitioning to the existing public sidewalk within Vallejo Street. This public paseo will benefit residents of Riverwalk Vista as well as the existing residents located to the east and south of Riverwalk Vista by providing a new north/south pedestrian access route to the Arizona Intermediate School and to the commercial recreation center and transit center located to the north.

RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan

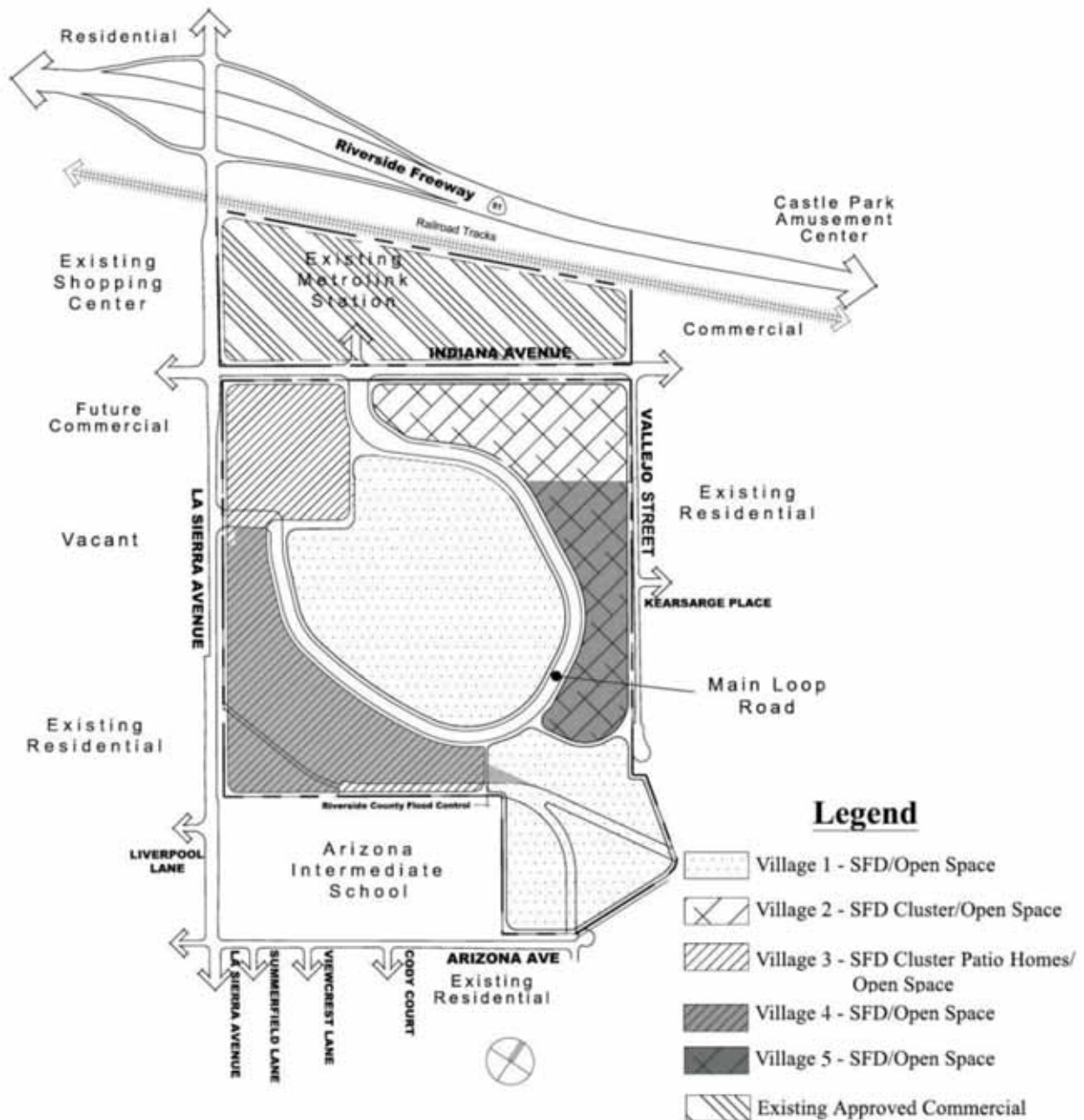


Exhibit 4, " Proposed Land Use Plan"
Section 1. Introduction



1.5 PURPOSE AND OBJECTIVES

1.5 PURPOSE AND OBJECTIVES

1.5.1 Purpose

The Riverwalk Vista Specific Plan establishes the development regulations, requirements, and design guidelines governing development within the Specific Plan area (Project Site).

1.5.2 Objectives

The following objectives are hereby incorporated into the Riverwalk Vista Specific Plan.

- ❖ Development of a quality infill residential community comprised of five distinctive villages containing varying lot sizes with an overall density of 4.0 dwelling units per acre and supported by a network of active and passive open space uses.
- ❖ Establish appropriate relationships among residential villages as well as with existing adjacent land uses.
- ❖ Develop linkages and connectivity between the residential and commercial uses planned for Riverwalk Vista with surrounding commercial and educational facilities.
- ❖ Encourage use of public transit and carpool parking by incorporating transit oriented design features into the community such as pedestrian facilities to provide convenient linkages between residential uses and nearby transit facilities.
- ❖ Create an environment encouraging interaction among its residents through an organized yet simple system of streets, entries, and paseos allowing residents to either walk or bike to open space improved with recreation facilities and a public paseo.



- ❖ Implement residential and landscape design guidelines and development regulations to orient residential uses to open space uses and streetscapes which encourage neighborhood interaction.
- ❖ Develop a pedestrian and bicycle oriented circulation system comprised of on-street bicycle trails and off-street pedestrian walkways linking each village to open space, recreational areas, and to surrounding uses including commercial centers, educational facilities, and the transit center.
- ❖ Development of an approximately 22.53 acre network of open space within the community connecting the community internally and to existing commercial and public facilities to the south, west, and north, and providing informal gathering areas for residents.
- ❖ Development of approximately 2.31 acres as an off-site paseo connecting Vallejo Street and Arizona Avenue provides public pedestrian access for residents for residents located to the east of Riverwalk Vista to walk to the Arizona Intermediate School located to the south and to the transit center and commercial recreation facilities located to the north of Indiana Avenue.

1.6 AUTHORITY OF THE SPECIFIC PLAN

State of California Government Code, Title 7, Division 1, Chapter 3, Article 8, Section 65450-57 grants authority to cities to adopt specific plans for purposes of implementing the goals and policies of their General Plans. The Government Code specifies that specific plans may be adopted either by resolution or by ordinance and are required to be consistent with the General Plan. The Government Code sets forth the minimum requirements and review procedures for specific plans including provision of a land use plan, infrastructure and public services plan, criteria and standards for development, and implementation measures. The Government Code also states that specific plans may address any other subjects which, in the judgment of the city, are necessary or desirable for implementation of the General Plan.

The Riverwalk Vista Specific Plan is designed to meet the requirements of the State of California Government Code and the City of Riverside General Plan. The City of Riverside will adopt the Riverwalk Vista Specific Plan to implement the "Riverwalk Vista Specific Plan" General Plan land use designation.

Section 1. Introduction



1.7 DEVELOPMENT APPROVAL COMPONENTS

The adoption of the Riverwalk Vista Specific Plan is the first step in a process leading to the development of Riverwalk Vista. The components of the development approval process for Riverwalk Vista are discussed as follows:

1.7.1 Specific Plan

The Riverwalk Vista Specific Plan, when adopted, will serve as a legal document which implements the General Plan land use designation of “Riverwalk Vista Specific Plan” and will also incorporate development standards. The Specific Plan will serve as a “blueprint” for development by establishing the distribution of land use and the criteria for development of each land use as set forth herein.

1.7.2 Subdivision Maps

Tentative Tract Map No. 32772 for the development of Planning Area 2 of Riverwalk Vista was reviewed and approved by the City concurrently with the approval of the Riverwalk Vista Specific Plan. Tentative Tract Map No's . 35932 and 36323 for the development of Village 4 & 5 within Planning Area 2 will be reviewed and approved by the City of Riverside concurrently with the approval of the revised Riverwalk Vista Specific Plan. Tentative Tract Map No's 32772, 35932, and 36323 are prepared pursuant to the applicable provisions of the State of California Subdivision Map Act (*Government Code Section 66410 through 66499*), the City of Riverside Subdivision Ordinance, and consistent with the applicable provisions contained within the Riverwalk Vista Specific Plan.

1.8 RELATIONSHIP OF THE SPECIFIC PLAN TO THE CITY OF RIVERSIDE GENERAL PLAN AND ZONING ORDINANCE

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450-65457) permits the adoption and administration of a specific plan as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the general plan.



The City of Riverside General Plan Land Use Map designates the Specific Plan Area as “La Sierra Specific Plan” permitting development of a variety of retail, service commercial, office, institutional, and senior housing uses. The adoption of the Riverwalk Vista Specific Plan will constitute a General Plan Amendment changing the land use designations within Planning Area 2 of the Specific Plan to Residential Single Family and changing the General Plan Land Use Map designation for the entire Specific Plan Area to “Riverwalk Vista Specific Plan”. The Riverwalk Vista Specific Plan will serve to implement the General Plan land use designations for each planning area within the Specific Plan.

The City of Riverside Zoning Map designates the Specific Plan area as C-2 within Planning Area 1 and R-1-65 within Planning Area 2. These zoning district classifications will be maintained for the Specific Plan area as the base underlying zoning. Concurrently with the adoption by the City of Riverside of the Riverwalk Vista Specific Plan, a zone change will be approved for the Riverwalk Vista Specific Plan Area to apply the “Specific Plan Overlay (SP)” zoning district to Riverwalk Vista to implement the Riverwalk Vista Specific Plan. The Riverwalk Vista Specific Plan will take precedence over the underlying base zone except where the Specific Plan is silent. In that case, the standards for the underlying base zoning applies.

The Riverwalk Vista Specific Plan is consistent with the General Plan as described in Section 8, “General Plan Consistency”.

1.9 CEQA COMPLIANCE

A Final Environmental Impact Report (EIR) was certified by the City of Riverside for the La Sierra Specific Plan in 1990 in accordance with the California Environmental Quality Act (CEQA) and in March 2005 a La Sierra Specific Plan Addendum EIR was certified in 1991. As part of the review of the Riverwalk Vista Specific Plan, the City of Riverside determined that the Specific Plan would not create substantial additional environmental impacts or substantially modify those material impacts already identified and mitigated in the certified EIR. For this reason, the City has prepared an EIR Addendum to the La Sierra EIR. Mitigation measures contained within the original La Sierra EIR to reduce potential significant impacts to a less than significant level have been incorporated into the addendum for the Riverwalk Vista Specific Plan where applicable. Further, in 2011 an amendment to the La Sierra Specific Plan was completed in order to revise a portion of the site layout and product type by introducing two new villages under Tract Maps 35932 and 36323. This amendment is in full compliance with the addendum Environmental Impact Report prepared in 2005. No new impacts will result. Mitigation measures within the La Sierra Specific

Section 1. Introduction



Plan continue to reduce potential significant impacts to less than significant for the 2011 Riverwalk Specific Plan Amendment.

1.10 SEVERABILITY

If any regulation, condition, program, or portion of the Riverwalk Vista Specific Plan is held invalid or unenforceable, such portions shall be deemed separate, distinct, and independent provisions and the invalidity of such portions or provisions shall not affect the validity and enforceability of the remaining portions and provisions therein.



SECTION 2. EXISTING CONDITIONS

The physical site conditions on and around the Riverwalk Vista Specific Plan area are described in this section.

2.1 EXISTING LAND USE

Planning Area 1 of the Riverwalk Vista Specific Plan is currently improved with a rail facility operated by Riverside County Transportation Commission which provides direct Metrolink rail service to Orange County and service to Los Angeles County via connections in the cities of Fullerton and Riverside.

Planning Area 2 is currently vacant. The Arizona Channel, a concrete lined Riverside County Flood Control Channel, transects the southerly portion of Planning Area 2 extending in an easterly to southeasterly direction across the Project Site. A 30 inch Southern California Gas transmission line traverses the southerly portion of Planning Area 2 in a southeasterly direction.

2.2 SURROUNDING LAND USES

Land uses adjacent Riverwalk Vista include:

North:	91 Freeway and freeway oriented retail uses
Northwest:	Retail commercial center
West:	Single family residential, vacant land, approved commercial uses
South:	Riverside Flood Control Channel, Arizona Intermediate School, and existing residential
East:	Existing residential

The City of Riverside has designated a 7.5 acre site located at the northwest corner of Cross Street and Victoria Avenue as the future site for the Victoria/Cross Park.

Section 2. Existing Conditions



When improved, this park will provide recreational facilities within walking distance to Riverwalk Vista.

Existing site conditions and surrounding land uses adjacent to Riverwalk Vista are illustrated on Exhibit 5, "Existing and Surrounding Land Uses".

2.3 TOPOGRAPHY

The Project Site is located on undeveloped rolling terrain. Existing topographic conditions are illustrated on Exhibit 6, "Existing Site Topography".



Exhibit 5, "Existing and Surrounding Land Use"
Section 2. Existing Conditions

RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan

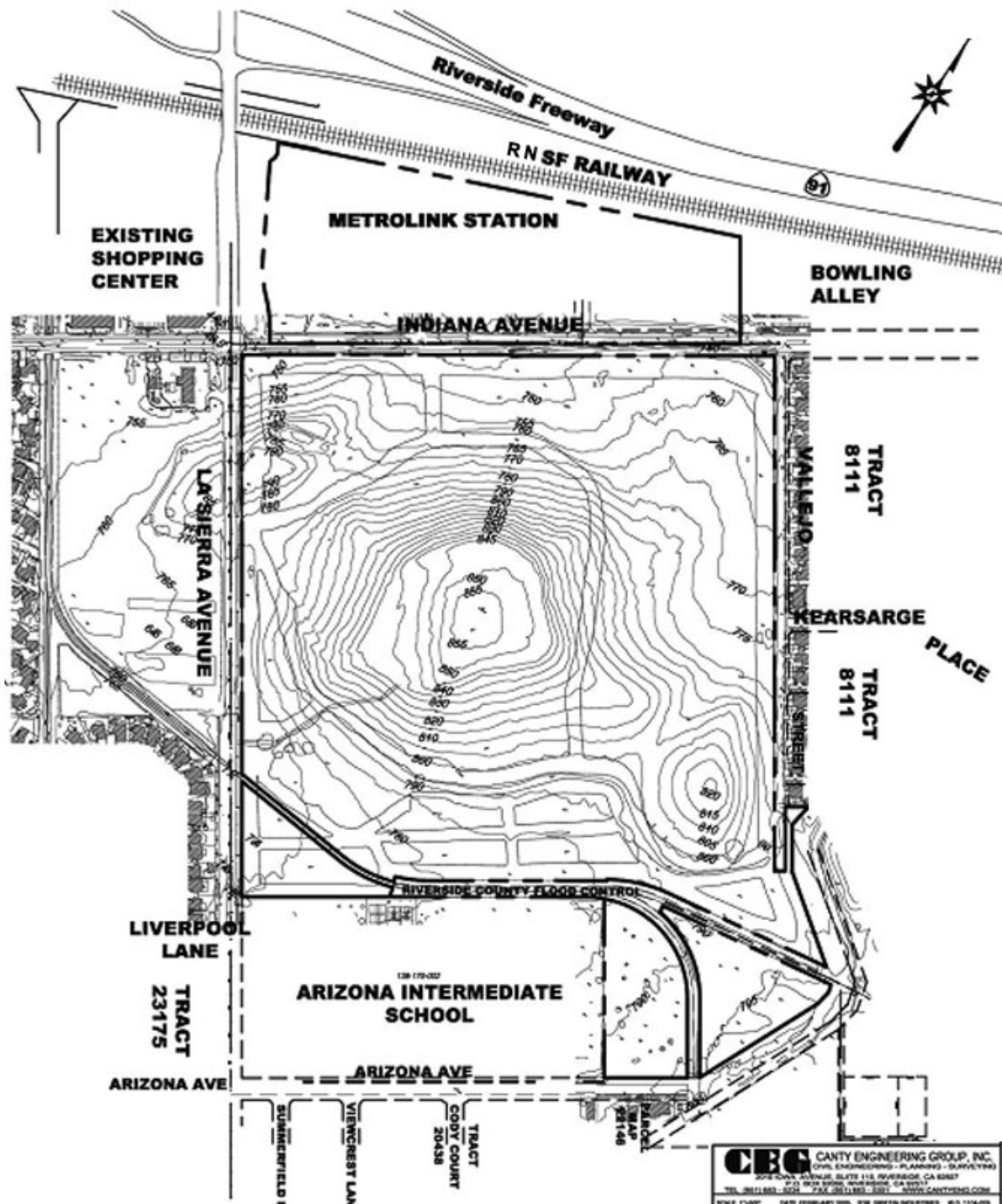


Exhibit 6, "Existing Topography"
Section 2. Existing Conditions



2.4 GENERAL PLAN LAND USE AND ZONING

The City of Riverside General Plan Land Use Map designates the Specific Plan Area as “La Sierra Specific Plan” permitting development of a variety of retail, service commercial, office, institutional, and senior housing uses. The adoption of the Riverwalk Vista Specific Plan will constitute a General Plan Amendment changing the land use designations within Planning Area 2 of the Specific Plan to Residential Single Family and changing the General Plan Land Use Map designation for the entire Specific Plan Area to “Riverwalk Vista Specific Plan”. The Riverwalk Vista Specific Plan will serve to implement the General Plan land use designations for each planning area within the Specific Plan.

The City of Riverside Zoning Map designates the Specific Plan area as C-2 within Planning Area 1 and R-1-65 within Planning Area 2. These zoning district classifications will be maintained for the Specific Plan area as the base underlying zoning. Concurrently with the adoption by the City of Riverside of the Riverwalk Vista Specific Plan, a zone change will be approved for the Riverwalk Vista Specific Plan Area to apply the “Specific Plan Overlay (SP)” zoning district to Riverwalk Vista to implement the Riverwalk Vista Specific Plan. The Riverwalk Vista Specific Plan will take precedence over the underlying base zone except where the Specific Plan is silent. In that case, the standards for the underlying base zoning applies.

2.5 EXISTING ACCESS AND CIRCULATION

Regional access to Riverwalk Vista is provided from the Riverside Freeway located immediately north of the Project Site. Local access to the Project Site is provided from arterial and local streets adjacent to Riverwalk Vista. Indiana Avenue bisects the Project Site to the north and is currently improved with two travel lanes between La Sierra Avenue and Vallejo Street. Vallejo Street abuts the Project Site on the east and is currently improved with 20 feet of paved area and a 13 foot wide parkway on the east side of the street between Indiana Avenue and its southerly terminus. Arizona Avenue abuts a portion of the Project Site on the south and is currently an improved 53 foot wide local street between La Sierra Avenue and the point where a secondary entry to Riverwalk Vista is planned. La Sierra Avenue abuts the Project Site on the west and is improved with two travel lanes between the Riverside Freeway and Arizona Avenue.



2.6 EXISTING INFRASTRUCTURE AND UTILITIES

Existing infrastructure and utilities within and surrounding Riverwalk Vista are described below.

2.6.1 Water

A 12 inch water main loop system exists in Indiana Avenue, Vallejo Street, Arizona Avenue, and La Sierra Avenue. Water to this loop system is provided by reservoirs serving the City of Riverside's 925 foot pressure zone which is capable of providing water service up to an elevation of 820 feet within the Project Site. South of the Project Site are water systems fed by reservoirs serving the City's 1,100 foot pressure zone at the intersection of La Sierra Avenue and Middleborough Road. This pressure zone can provide service to an elevation of 1,000 feet and is capable of serving areas within the project site above 820 feet in elevation.

2.6.2 Sewer

Existing sewer mains adjacent to Riverwalk Vista include an 8 inch main in Vallejo Street; an existing 10 inch sewer main located behind the existing shopping center at the northwest corner of La Sierra Avenue and Indiana Avenue; a 15 inch main located in Arizona Avenue; and an 8 inch main extending along La Sierra Avenue between Arizona Avenue and the approximate location of a primary entry to the Project Site on La Sierra Avenue.

2.6.3 Storm Drainage

Both the City of Riverside and the Riverside County Flood Control District (RCFCD) have existing flood control facilities located in and around the Project Site. Existing topography generally drains into two tributary areas.

The majority of drainage runoff in the northerly tributary flows to a low point/sump located in Indiana Avenue and is conveyed to the RCFCD Arlington Channel. Existing northerly drainage infrastructure includes approximately 1,650 linear feet of trapezoidal channel in Vallejo Street, approximately 900 linear feet of trapezoidal channel in Indiana Avenue, a double 30 inch storm drain system within Planning Area 1, and the Arlington Channel. The other tributary drains in a southerly direction to existing RCFCD drainage facilities. The majority of drainage runoff in the southerly tributary flows to the existing RCFCD Arizona Channel.

Section 2. Existing Conditions



2.6.4 Utilities

2.6.4(a) Electricity

Electricity is provided to the Project Site by the City of Riverside Public Utilities Department. Existing electrical service is in place on all four side of the Project Site. The development of the Project Site will increase electrical power requirements, and the City will develop the required distribution system.

2.6.4(b) Natural Gas

The Southern California Gas Company (SCG) provides natural gas service to the Project Site. Existing gas service is in place on all four side of the Project Site.

2.6.4(c) Communication Systems

Telephone service is provided by SBC. Existing telephone service is in place on all four sides of the Project Site.



SECTION 3. LAND USE

The Riverwalk Vista Specific Plan is a proposal for development of a comprehensive planned community of residential, recreational, and commercial land uses on approximately 120.2 gross acres. Existing transportation uses within Planning Area 1 will remain. The “Land Use Plan” for Riverwalk Vista, as depicted in Exhibit 7 and further described in Table 1, “Riverwalk Vista Statistical Summary”, is designed to respond to both on-site and off-site conditions, as well as anticipated market conditions. New development within Planning Area 2 of Riverwalk Vista will provide quality residential opportunities within a planned community setting. Riverwalk Vista offers a strong identity for residents and visitors through comprehensive community landscape theme, signage, varied architecture, and other unifying community elements. Riverwalk Vista also provides for the necessary infrastructure and public facilities to support project development.

Riverwalk Vista is a pedestrian oriented, liveable community designed to provide connectivity within Riverwalk Vista in the form of a pedestrian friendly streetscape along a Main Loop Road that meanders throughout the community and provides convenient access to the Metrolink rail station located north of Indiana Avenue, commercial development west of La Sierra Avenue and Arizona Intermediate School. The streetscape within the Main Loop Road consists of a curb-separated sidewalk along with a landscaped parkway featuring canopy trees to provide a pleasant and shady walking environment for pedestrians. Additionally, the local interior residential street patterns are designed to direct pedestrian movement toward the Main Loop Street.

Riverwalk Vista is designed as a residential community blending varying types of single family detached housing within five villages creating an integrated neighborhood setting. The five villages share a network of open space, including a 3.63 acre primary active open space area located near a private gated entry into the community at Indiana Avenue. The primary active open space area provides a community gathering place for residents of Riverwalk Vista fostering a sense of positive social interaction among neighbors within the community.

The five villages of Riverwalk Vista offer residential housing types providing for a variety of lifestyle choices among homebuyers, all of whom desire to live in a well-designed master planned environment. Riverwalk Vista provides the following housing types:

- Single Family Conventional Detached Homes (Villages 1, 4, and 5)
- Single Family Detached Cluster Homes (Village 2)
- Single Family Detached Cluster Patio Homes (Village 3)

RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan

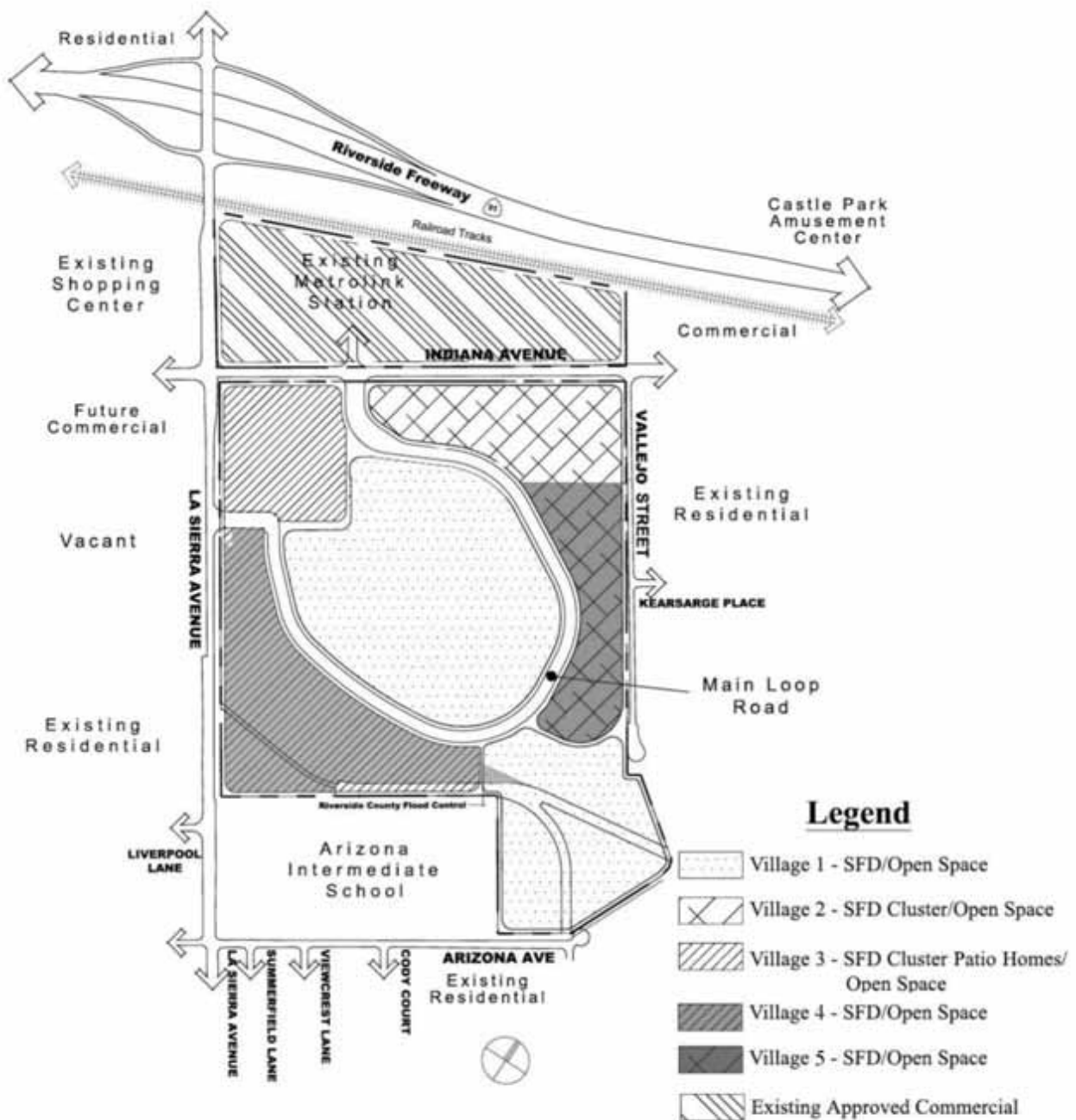


Exhibit 7, "Land Use Plan"
Section 3. Land Use



Table 1 - Riverwalk Vista Statistical Summary

LAND USE SUMMARY		ACRES	
Gross Acres	120.2	Developable Square Footage	Dwelling Units
Planning Area 1	20.5	232,000	
Commercial (site of existing Metrolink Station)			
Planning Area 2	99.7		402
Residential (includes interior roadways, public arterial and local streets, perimeter landscape areas, easements and 20.9 acres of open space)			
Total	120.2	232,000	402
Additional open space improvements include the development of a 2.31 acre pedestrian paseo connecting Arizona Avenue to Vallejo Street			
RESIDENTIAL SUMMARY			
	Acres	Density	Units
<i>Village 1</i>			
Single Family Detached	45.76	2.81 du/ac	±128
<i>Village 2</i>			
Single Family Detached Cluster	12.69	3.78 du/ac	±48
<i>Village 3</i>			
Single Family Detached Cluster Patio Homes	7.65	7.7 du/ac	±59
<i>Village 4</i>			
Single Family Detached	21.89	5.07 du/ac	±111
<i>Village 5</i>			
Single Family Detached	11.72	4.43 du/ac	±52
Total	99.7	4.0 du/ac	±398



3.1 Planning Area 1 –Commercial Use

It is the intent of the Riverwalk Vista Specific Plan to incorporate the land uses previously approved with the La Sierra Specific Plan for Planning Area 1. Planning Area 1 comprises approximately 20.5 acres of Riverwalk Vista located north of Indiana Avenue. Up to 232,000 square feet of retail commercial land uses can be developed within Planning Area 1 pursuant to the City of Riverside C-2-S-2 zoning district and the provisions of the La Sierra Specific Plan, incorporated herein.

3.2 PLANNING AREA 2 - RESIDENTIAL USE

Residential and open space land uses, inclusive of the Riverwalk Specific Plan Amendment revisions, within Planning Area 2 comprise approximately 99.7 acres for the development of up to 398 single family detached residential units with an overall density of 4.0 dwelling units per acre compatible with surrounding residential neighborhoods. Residential land use areas are contained within three distinctive villages linked by a network of streets, sidewalks, and open space as illustrated in Exhibit 8, "Residential Villages".

3.2.1 Variety of Housing Types

Riverwalk Vista provides a variety of conventional low density single family detached residential products as well as higher density single family detached "cluster" residential and patio home style residential products. Altogether a total of 398 residential units will be developed at an overall density of 4.0 dwelling units per gross acre, compatible with existing surrounding neighborhoods to the east, west and south of the Project Site.

3.2.1(a) Single Family Detached – Village 1

Riverwalk Vista will provide for development of up to 128 dwelling units with typical lot sizes of 6,500 square feet at a density of 2.81 dwelling units per acre.

3.2.1(b) Single Family Detached "Cluster" – Village 2



The Riverwalk Vista will provide for development of up to 48 dwelling units in a cluster development concept with typical lot sizes of 4,675 square feet at a density of 3.78 dwelling units per acre.

3.2.1(c) Single Family Detached Cluster "Patio Homes" - Village 3 Riverwalk Vista will provide for development of up to 59 patio homes with typical lot sizes of 2,880 square feet at a density of 7.70 dwelling units per acre.

3.2.1(d) Single Family Detached – Village 4

Riverwalk Vista will provide for development of up to 111 dwelling units with typical lot sizes of 3,905 square feet and a density of 5.07 dwelling units per acre.

3.2.1(e) Single Family Detached – Village 5

Riverwalk Vista will provide for development of up to 52 dwelling units with typical lot sizes of 5,575 square feet and a density of 4.43 dwelling units per acre

3.2.2 Neighborhood Design

Riverwalk Vista offers a strong identity for residents and visitors through a comprehensively planned approach to street design, architecture, and landscape design elements. Street design within villages includes gentle curves adding visual interest and enhancing the pedestrian orientation of residential neighborhoods. Sidewalks separated by a landscaped parkway within the Main Loop Road and the network of sidewalks within other interior streets adjacent to open space promote pedestrian mobility and encourage opportunities for neighbors to meet and greet each other along the street.

The architecture of residences within Riverwalk Vista will be designed to focus on human-scale details to enhance the pedestrian friendly character of each village. Such features may include the use of front porches, railings, enhanced entries, a mix of materials and textures, and authentic detailing on elements such as windows and doors, columns, balconies, and lighting.



Exhibit 8, "Residential Villages"
Section 3. Land Use



3.3 OPEN SPACE

Open space will be provided throughout Riverwalk Vista providing both active and passive recreational amenities for residents of Riverwalk Vista. The plan for open space is illustrated in Exhibit 9, "Pedestrian Circulation and Open Space Master Plan". A 3.63 acre primary active open space area will be developed within Riverwalk Vista to provide recreational opportunities for residents. The primary active open space area will be served by a sidewalk separated from the Main Loop Road by a heavily landscaped parkway leading pedestrians from interior streets within Riverwalk Vista to the park. An 80 foot wide and 1,000 foot long landscaped paseo will also be provided between the terminus of Vallejo Street and Arizona Avenue. Exhibit 10, "Primary Active Open Space Area Conceptual Site Plan" illustrates the Conceptual Site plan for the primary active open space area.

Secondary active open space will be developed within each village adjacent to interior streets providing informal gathering areas for residents to socialize. Exhibit 11, "Secondary Open Space Typical" illustrates the conceptual plan for the secondary open space areas within Riverwalk Vista.

In addition to the open space system to be developed within Riverwalk Vista, the developer will pay City of Riverside park fees in excess of \$1,000,000 as part of the project. Public recreational opportunities will be available within walking distance for the residents of Riverwalk Vista through the improvement of Victoria/Cross Park planned for development by the City at the northwest corner of Cross Street and Victoria Avenue.

3.4 PEDESTRIAN ACCESS

An 80-foot wide public landscaped paseo will be developed off-site totalling approximately 2.31 acres to include a 10 foot wide pedestrian path extending from the secondary entry of Riverwalk Vista at Arizona Avenue to the southerly terminus of Vallejo Street. At the terminus of Vallejo Street pedestrians will transition to a public sidewalk within the right of way of Vallejo Street. This public paseo/sidewalk system will provide north/south pedestrian access connecting to the Arizona Intermediate School ultimately to the City park site located at Cross Street and Victoria Avenue located south of the Project Site.



Within Riverwalk Vista, a pedestrian paseo will be developed within an approximately 1.87 acre portion of a Southern California Gas Company easement extending across the southerly portion of the Project Site in a southeasterly direction. This paseo will extend between La Sierra Avenue and the Main Loop Road connecting to the sidewalk system within Riverwalk Vista. At the point of connection at La Sierra Avenue pedestrians can transition to the public sidewalk system within La Sierra Avenue. This paseo/sidewalk system provides pedestrian access and connectivity within the community and to the commercial center located west of the Project Site.

Pedestrian access points to paseos within Riverwalk Vista will occur at all vehicular entrances to the project and at exclusive pedestrian access points at Vallejo Street and La Sierra Avenue. Pedestrian only access is provided at Vallejo Street and La Sierra Avenue to provide access for students attending Arizona Intermediate School. The pedestrian paseo between Vallejo Street and Arizona Avenue is intended for public use to promote general pedestrian mobility in a north/south direction between Indiana Avenue and Arizona Avenue. Exhibit 12 "Paseos Master Plan" illustrates the paseos and pedestrian connectivity provided within Riverwalk Vista.

3.5 BICYCLE ACCESS

A network of on-street bicycle paths is proposed throughout Riverwalk Vista. This network will provide bicycle access for residents to and from the Metrolink Station, open space, recreational areas, shopping areas located within and adjacent to Riverwalk Vista, and the planned public park located at Cross Street and Victoria Avenue.

A Class II bicycle path system consisting of an on-street striped exclusive bike lane will be constructed as part of the developer improvements to Indiana Avenue and the Main Loop Road. An 11.5 foot wide off street multi-purpose trail will be installed by the City of Riverside as part of the improvements to La Sierra Avenue. Adequate right of way will be provided within all residential streets to accommodate bicycle traffic.

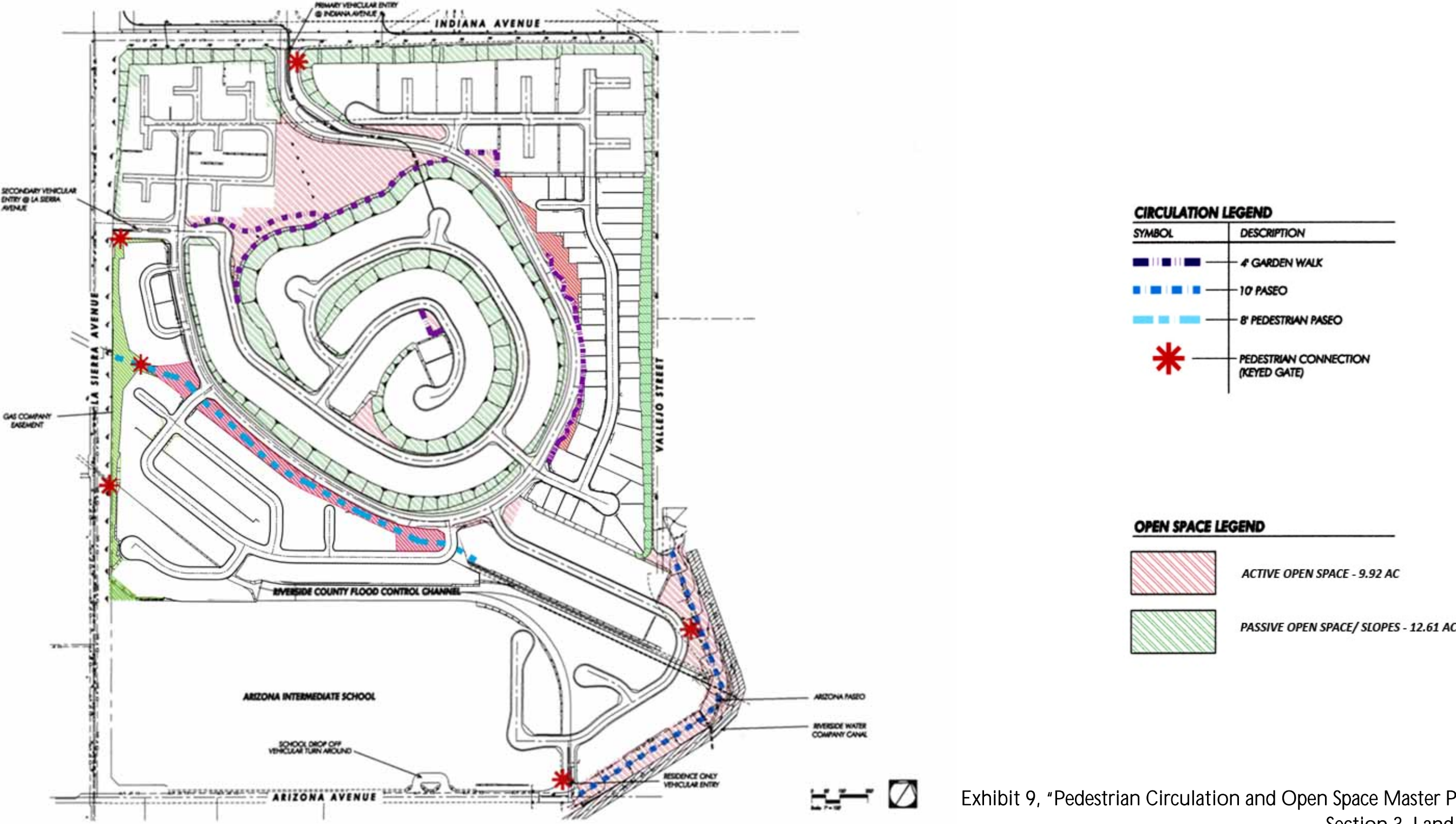


Exhibit 9, "Pedestrian Circulation and Open Space Master Plan"
Section 3. Land Use



LEGEND

1. Primary Entry
2. Entry Walk
3. Main Pool Entry
4. Secondary Pool Entrance
5. 6' Tall Solid Pool Enclosure
6. Low Wall
7. Exercise Pool
8. Wading Pool
9. Fountain
10. Cabana
11. Barbecue
12. Fire Place
13. Bench
14. Restrooms and Equipment Room
15. Tot lot
16. Parking Lot
17. Basketball Half-Court
18. Main Entry Drive
19. Temporary Model Home Drive

KEYMAP



Exhibit 10, "Primary Active Open Space Conceptual Site Plan"
Section 3. Land Use

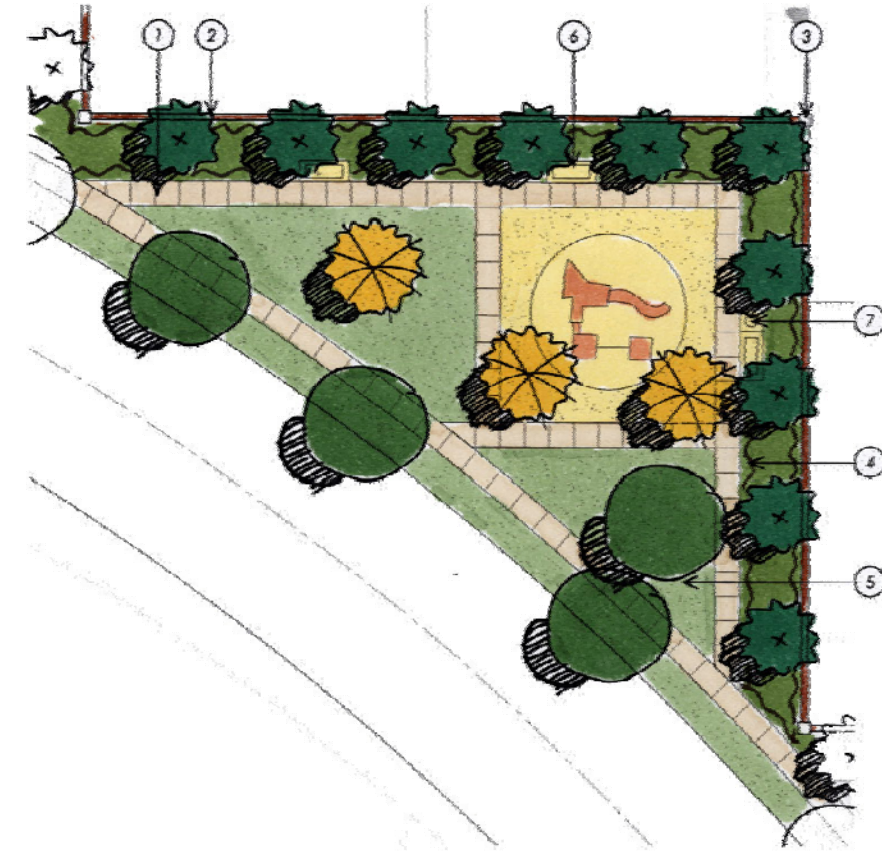


LEGEND

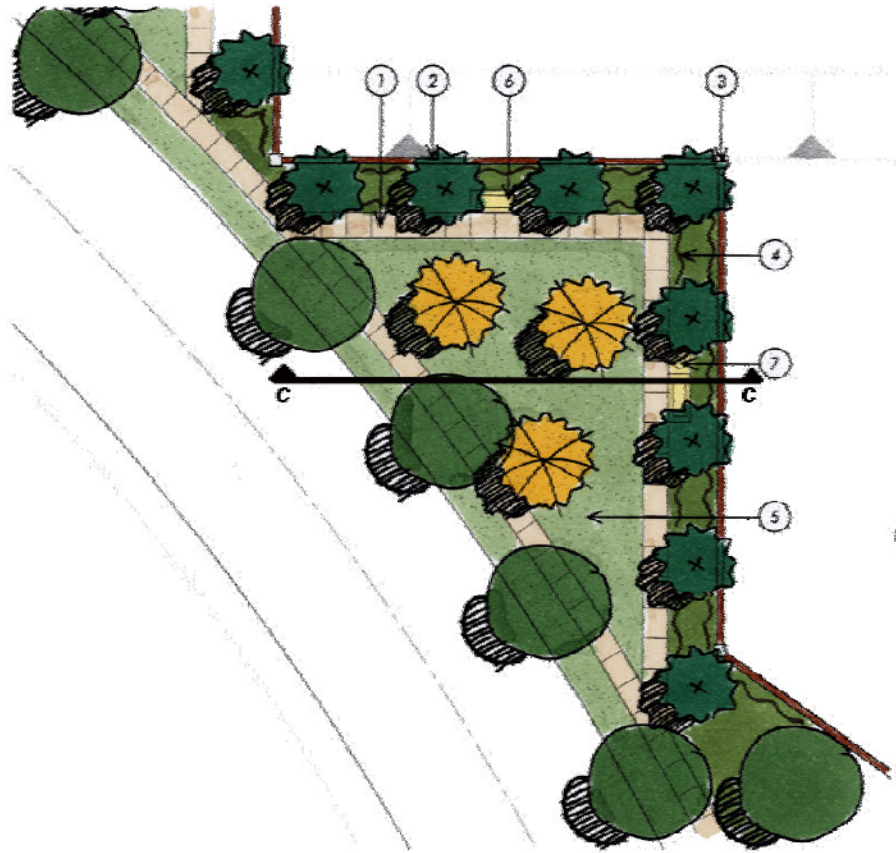
- 1. 4' Wide Walk
- 2. 6 - 10' Tall Block Wall per Specific Plan 5.8.2.e
- 3. 24" Square Stone Veneer Column
- 4. Shrubs/ Groundcover (typical)
- 5. Turf
- 6. Bench
- 7. Trash Receptacle
- 8. Street Tree
- 9. Screen Tree

PLANTING LEGEND

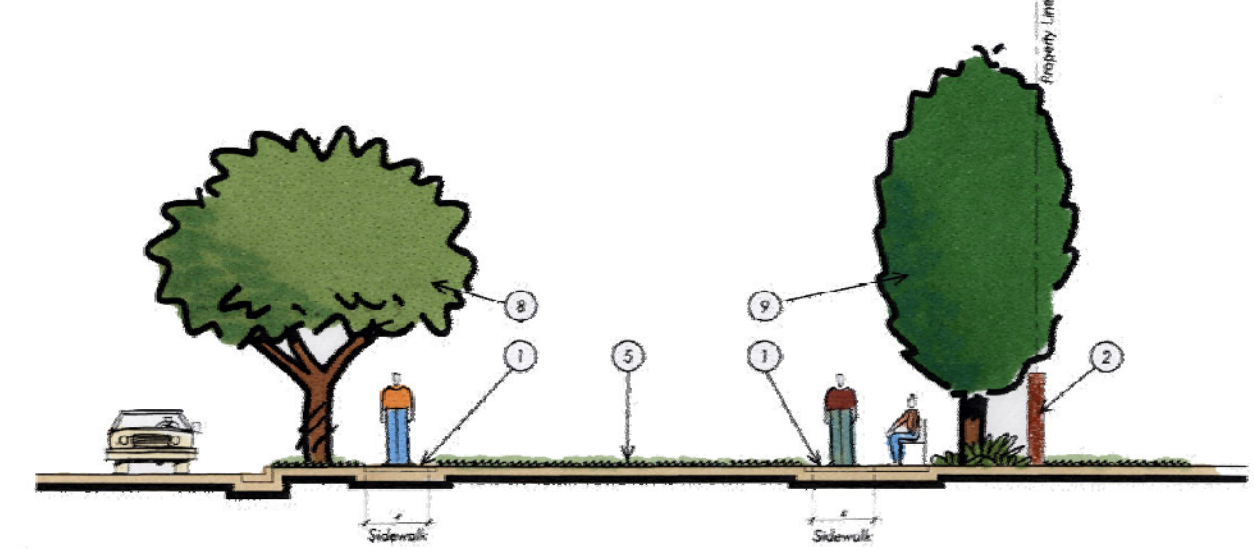
Sym.	Botanical Name	Common Name
TREES: LOOP STREETScape		
	<i>Schinus molle</i>	California Pepper
	<i>Ulmus parvifolia</i>	Chinese Elm
	<i>Platanus racemosa</i>	California Sycamore
	<i>Liriodendron tulipifera</i>	Tulip Tree
	<i>Liquidamber styraciflua</i>	American Sweet Gum
(Theme Tree; 30' o.c.)		
TREES: SLOPES		
	<i>Pinus halepensis</i>	Aleppo Pine
	<i>Eucalyptus spp.</i>	Eucalyptus
SHRUBS and GROUND COVER		
	<i>Raphia lepis sp.</i>	India Hawthorn
	<i>Rhus integrifolia</i>	Lemonade Berry
	<i>Baccharis pilularis</i>	Coyote Bush
	<i>Rosmarinus 'Tuscan Blue'</i>	Rosemary



A RECREATION AREA WITH TOT LOT TYPICAL
PLAN VIEW



B RECREATION AREA TYPICAL
PLAN VIEW



C RECREATION AREA TYPICAL
SECTION

Exhibit 11, "Secondary Active Open Space Typical"
Section 3. Land Use

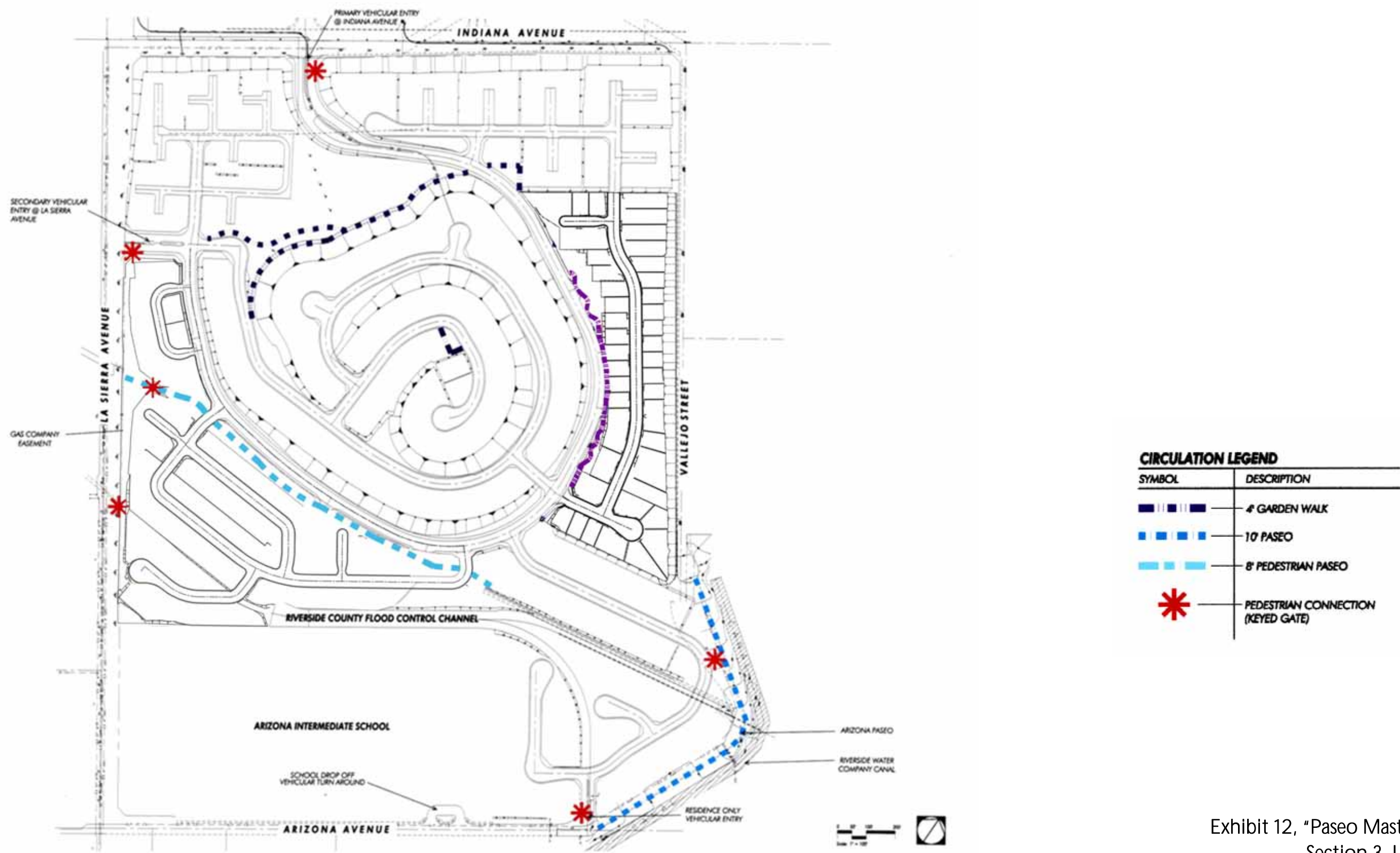


Exhibit 12, "Paseo Master Plan"
Section 3. Land Use



SECTION 4. INFRASTRUCTURE AND SERVICES

The infrastructure, utilities, and public services to be provided as part of the development of Riverwalk Vista are discussed in this section.

4.1 CIRCULATION

The circulation plan for Riverwalk Vista reinforces the concept of a village neighborhood design. In addition to providing safe and efficient movement of vehicular traffic through the community, the circulation plan also provides a safe environment for pedestrian and bicycle movement to and from nearby commercial and educational facilities as well as to the Metrolink rail station located within Planning Area 1. The circulation plan for Riverwalk Vista encourages the pedestrian and bicycle mobility thereby reducing the reliance on the automobile as a means of travel. The "Master Circulation Plan," Exhibit 13 establishes the hierarchy and general location roadways within the Riverwalk Vista Specific Plan.

4.1.1 Streets

Riverwalk Vista is bounded by two of the City of Riverside's public arterial streets and two local streets that will provide access to and from Riverwalk Vista. Within Riverwalk Vista interior residential streets of varying design will provide access and circulation through the community.

4.1.1(a) Indiana Avenue

Indiana Avenue separates Planning Areas 1 and 2 abutting Planning Area 1 on the south and Planning Area 2 on the north. Indiana Avenue is a designated major arterial street (four travel lanes) with a total right of way of 110 feet between La Sierra and the primary project entry to Riverwalk Vista then narrowing to a 94 foot wide right of way from the primary project entry easterly to Vallejo Street. The right of way improvement for Indiana Avenue are illustrated in Exhibit 14, "Indiana Avenue Sections". At the intersection of Indiana Avenue and Vallejo Street an additional 10 feet of right of way will be improved for right turn movements southbound on to Vallejo Street as illustrated in Exhibit 15, "Indiana Avenue at Vallejo Street Section. The developer of Planning Area 2 of Riverwalk Vista will be



responsible for the dedication of any additional needed right of way and the installation of ½ width street improvements along the southerly portion of Indiana Avenue between La Sierra Avenue and Vallejo Street. Improvements are anticipated to include between 44 and 54 feet of paved area and between 10 to 12 feet of parkway with a curb adjacent sidewalk and landscaping between the back of sidewalk and the property line.

4.1.1(b) La Sierra Avenue

La Sierra Avenue abuts Riverwalk Vista on the west and is a designated major arterial (six travel lanes) with a total right of way varying between 118 feet to 151 feet. The City of Riverside will be responsible for the ultimate improvements to La Sierra Avenue, however, the developer of Riverwalk Vista shall contribute to the funding of these improvements through the payment of the Transportation Uniform Mitigation fee. The developer of Planning Area 2 of Riverwalk Vista will be responsible for the dedication of any additional right of way adjacent to the Project Site between Indiana Avenue and Arizona Avenue as well as the development of the parkway. The ultimate right of way improvements required for La Sierra Avenue are illustrated in Exhibit 16, "La Sierra Avenue Sections".



Exhibit 13, "Master Circulation Plan"
Section 4. Infrastructure and Services

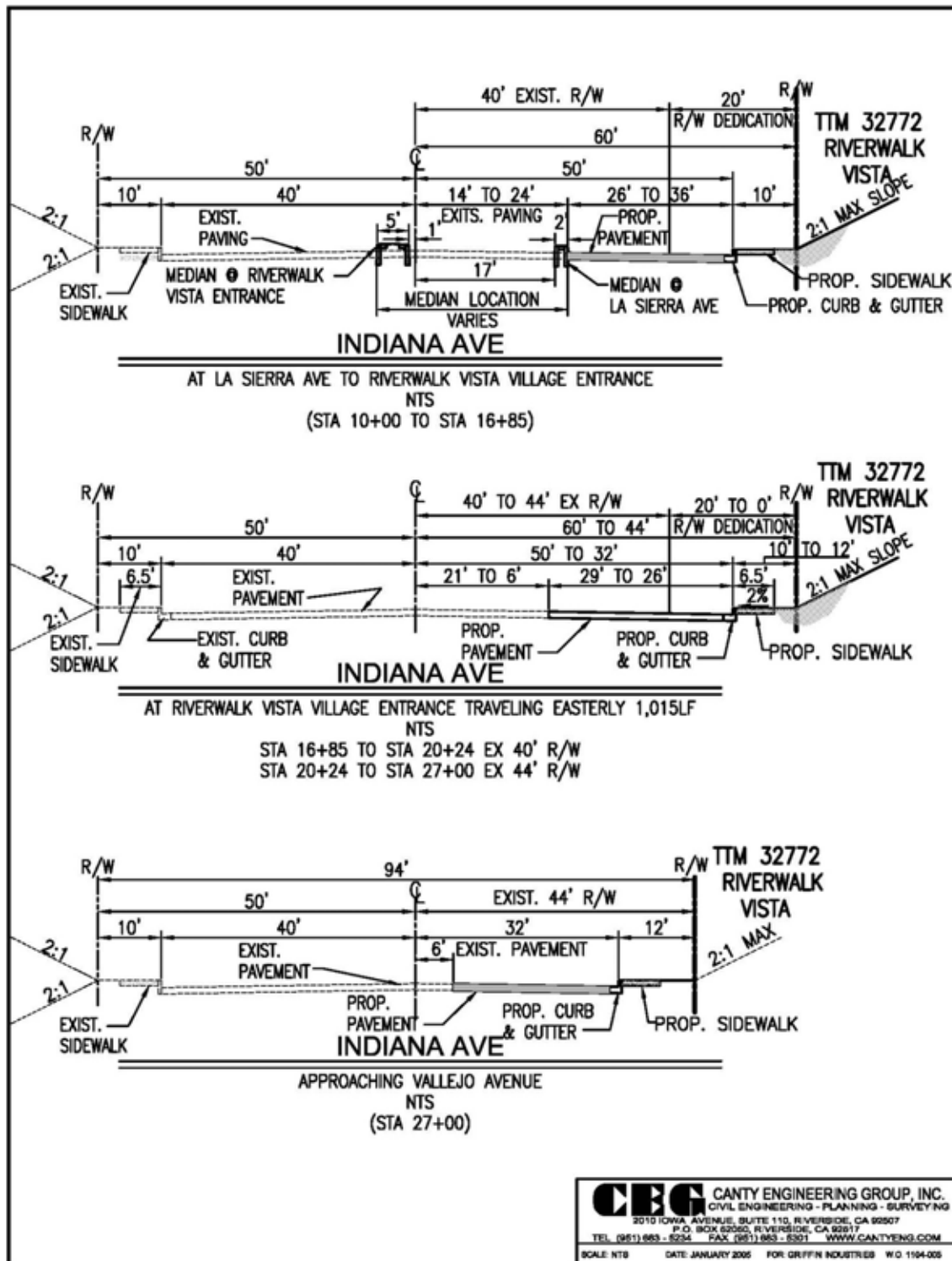


Exhibit 14, "Indiana Avenue Sections"
Section 4. Infrastructure and Services

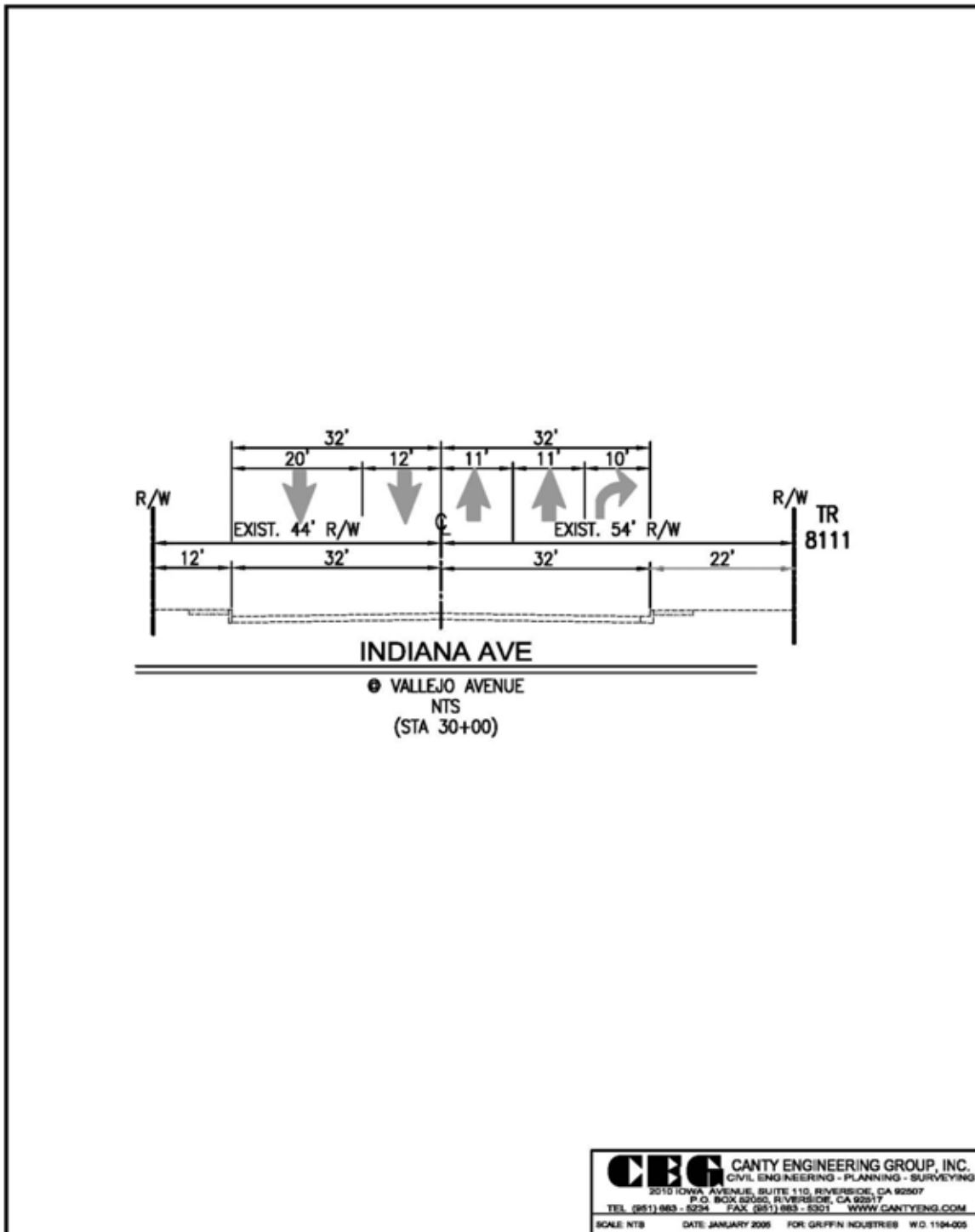


Exhibit 15, "Indiana Avenue @ Vallejo Street Section"
Section 4. Infrastructure and Services

RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan

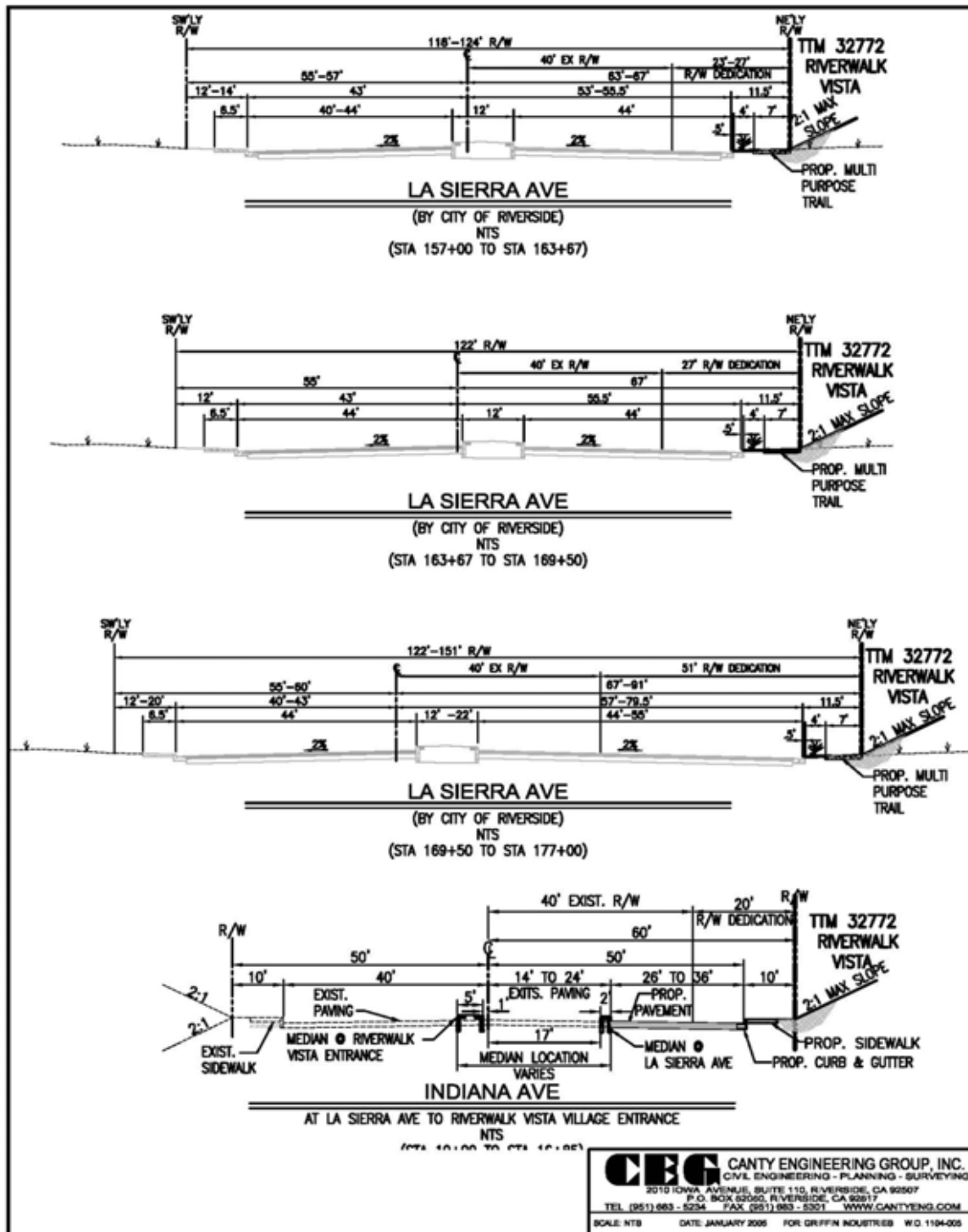


Exhibit 16, "La Sierra Avenue Sections"
Section 4. Infrastructure and Services



4.1.1(c) Vallejo Street

Vallejo Street is a designated Local Street with a total right of way of 53 feet. Vallejo Street is currently improved with 28 feet of paved area and a 13 foot wide parkway. The developer of Planning Area 2 of Riverwalk Vista will be required to improve 20 feet of right of way on the westerly side of Vallejo Street adjacent to the Project Site. Improvements will consist of 14 feet of paved area, a 6 foot wide proposed landscape area, and the installation of a cul-de-sac at the terminus of the street. In addition to the street improvements the developer of Riverwalk Vista will be responsible for the installation of street lights and drainage improvements along Vallejo Street adjacent to the Project Site. The ultimate improvements for Vallejo Street are illustrated in Exhibit 17, "Local Streets Sections."

4.1.1(d) Arizona Avenue

Arizona Avenue abuts Riverwalk Vista on the south. Arizona Avenue is a designated Local Street with a total right of way of 80 feet with 20 feet of paved area and a 20 foot wide parkway on each side of the street. The developer of Planning Area 2 of Riverwalk Vista will install a cul-de-sac at the terminus of Arizona Avenue easterly of the entry to Riverwalk Vista. The ultimate improvements for Arizona Avenue are illustrated in Exhibit 17, "Local Streets Sections." As part of the development of Riverwalk Vista the developers of Planning Area 2 will provide the improvement of a vehicle turnaround /drop off area along Arizona Avenue for students attending the Arizona Intermediate School as illustrated in Exhibit 18, "Vehicle Turnaround at Arizona Avenue".

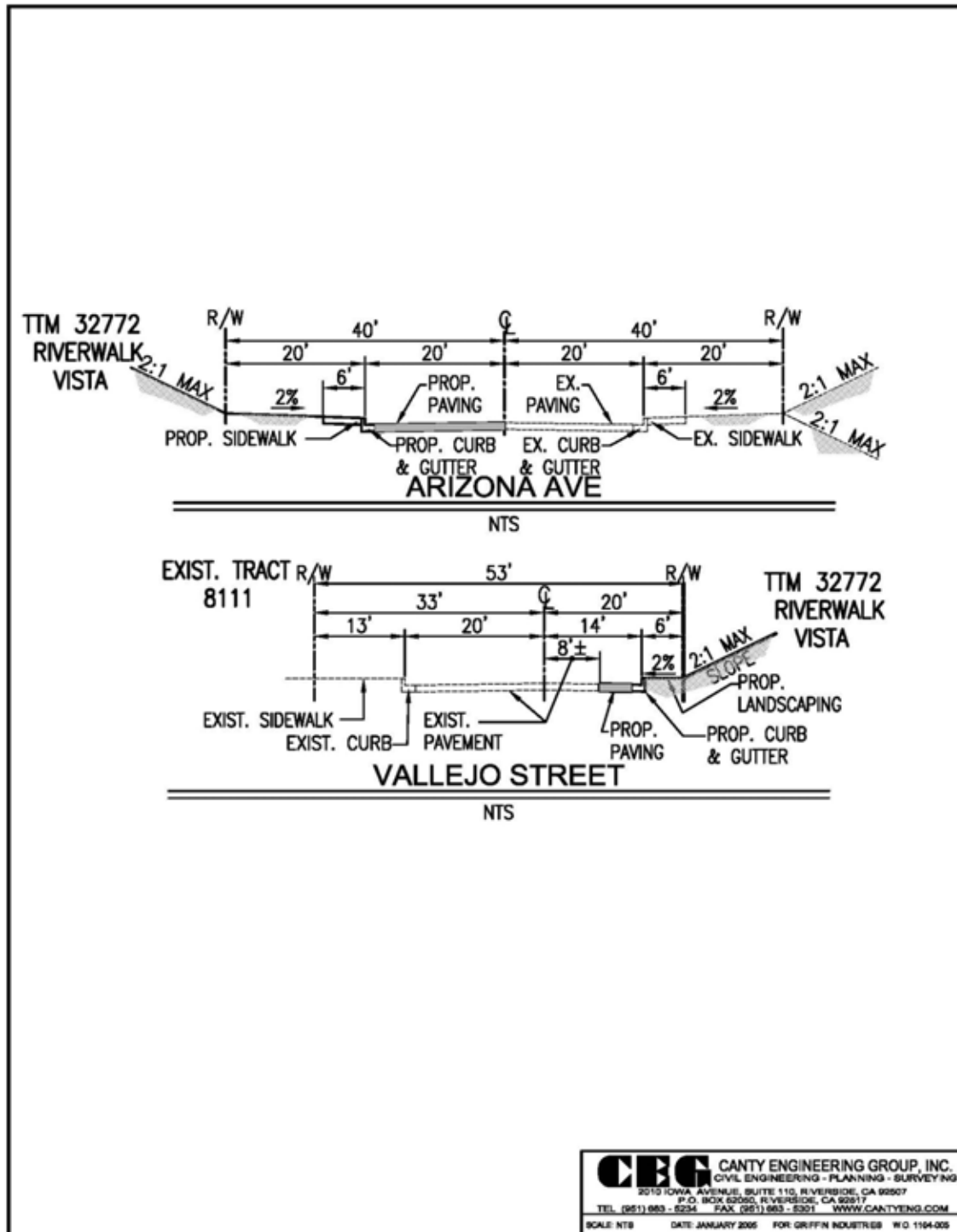


Exhibit 17, "Local Street Sections"
Section 4. Infrastructure and Services



RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan

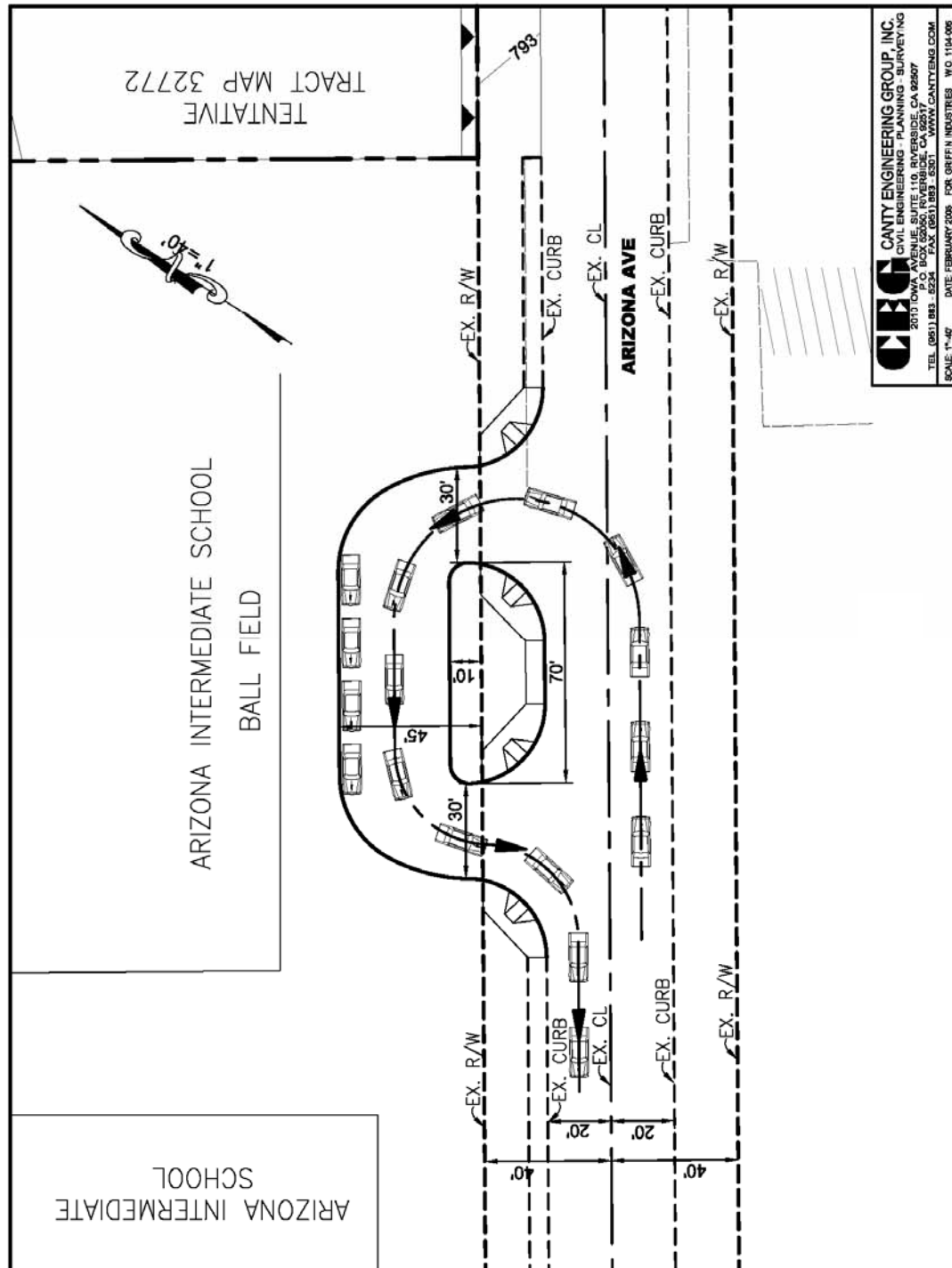


Exhibit 18, "Vehicle Turn around at Arizona Avenue"
Section 4. Infrastructure and Services



4.1.1(e) Private Interior Residential Streets

Residential streets within Riverwalk Vista are designed to distribute vehicular traffic from the public arterial streets adjacent to Riverwalk Vista into and through residential villages as illustrated in Exhibit 19, "Interior Street System". Local streets will be private and have varying widths as described below and illustrated in Exhibit 20, "Private Residential Streets".

Main Loop Road

A Main Loop Road is planned as the backbone interior street serving all three residential villages within Riverwalk Vista. The Main Loop Road will connect with Indiana Avenue on the north meandering through Riverwalk Vista and connecting with La Sierra Avenue on the west. The Main Loop Road will be a pedestrian friendly streetscape with a total right of way of 56 feet with 36 feet of paved area and a 4 foot wide sidewalk separated from the street by a 6 foot wide landscaped parkway. No garage access to homes will occur along the Main Loop Road and no parking will be permitted along this roadway, enhancing the pedestrian environment of the neighborhood.

Interior Residential Streets

Residential streets connecting to the Main Loop Road will serve individual product areas within each village. Within single family detached residential areas, residential streets will have a total right of way of 44 feet with 36 feet of paved area and curb adjacent 4 foot wide sidewalks. Within single family detached cluster residential areas, residential streets will have a total right of way of 36 feet consisting of paving and curb improvements.

Court Drives

Court Drives will serve cluster and patio home products within Village 3. Court Drives of 28 feet in paved width will serve the cluster patio home products within Village 3.

RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan

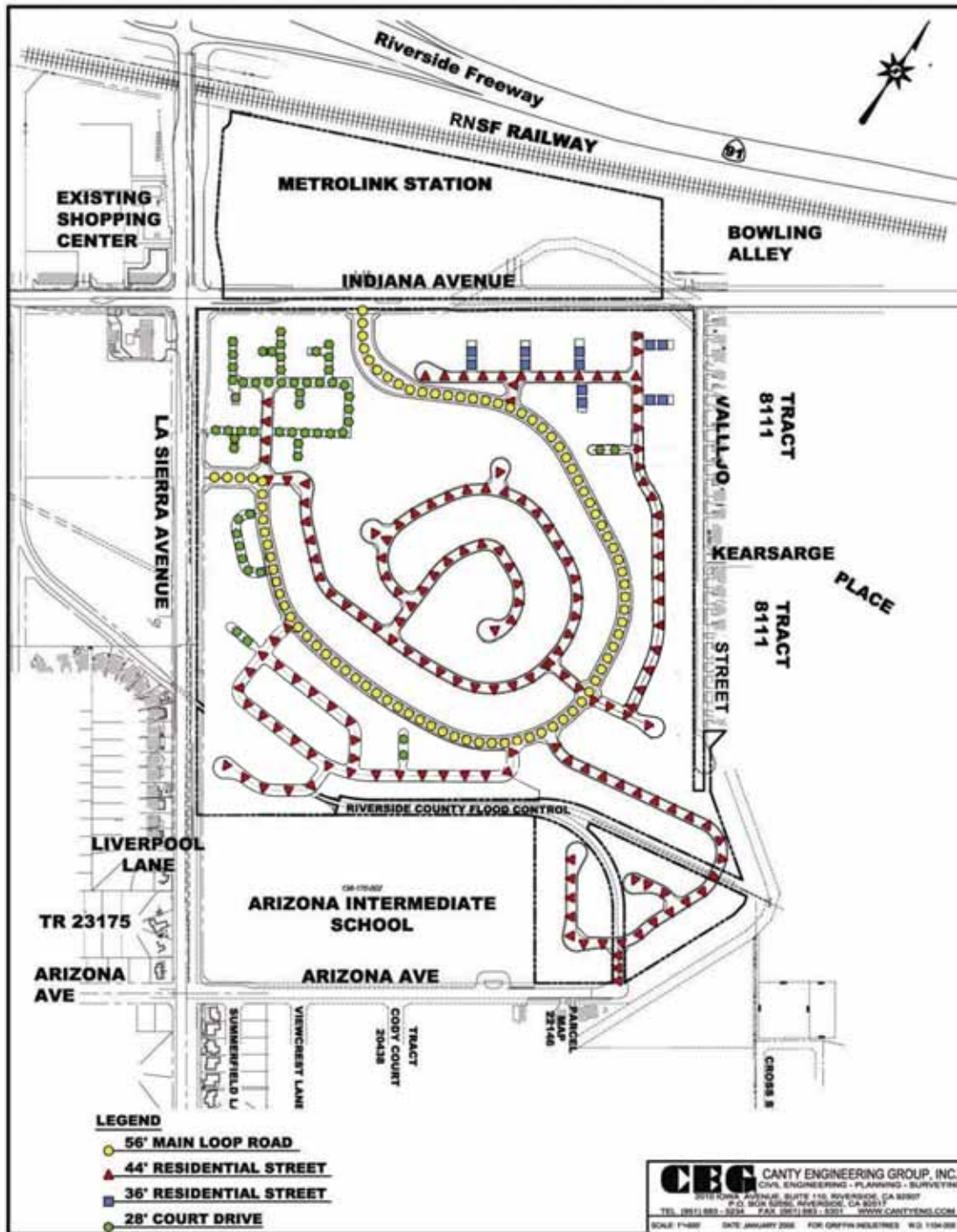


Exhibit 19, "Interior Street System"
Section 4. Infrastructure and Services

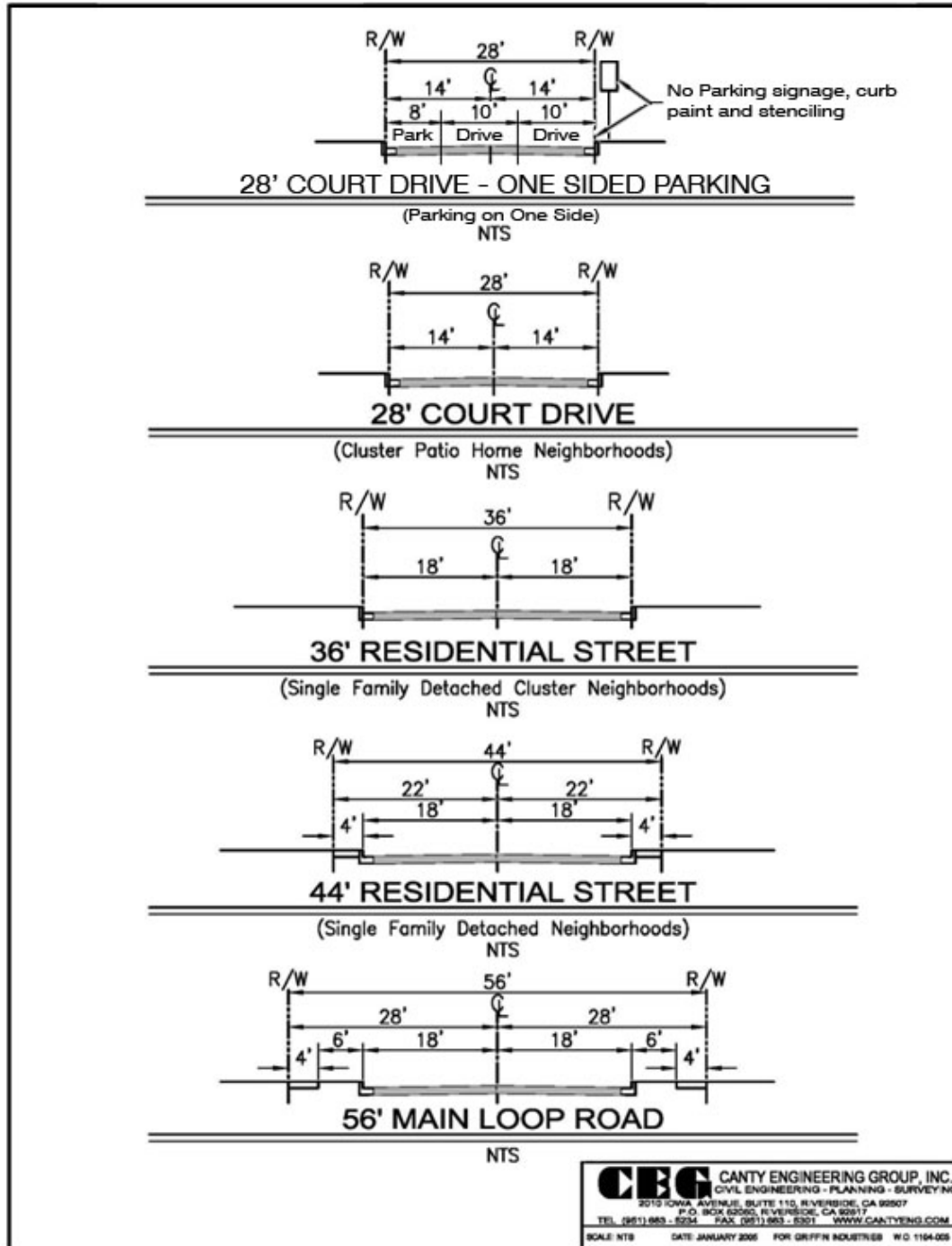


Exhibit 20, "Private Residential Streets"
Section 4. Infrastructure and Services



.1.2 On Street Guest Parking

On street guest parking will be permitted within the private residential streets and court drives of Riverwalk Vista except that no parking will be permitted on the Main Loop Road. On street guest parking will be restricted as illustrated on Exhibit 21, "On Street Guest Parking".

4.13 Traffic Calming

Riverwalk Vista provides for traffic calming to slow traffic and reduce traffic noise on streets contributing to safe and livable neighborhoods in which to walk, bike, and drive.

Traffic calming within Riverwalk Vista will be designed to address the following:

- Reduction in traffic speeds.
- Reduction in traffic related noise.
- A safe and pedestrian friendly circulation system to encourage walking.
- Permit non-restricted access for emergency services vehicles such as police, fire, and ambulances.

Factors affecting traffic speeds are those that influence the driver's perception of the roadway such as:

- Type of adjacent development and distance of development from the roadway.
- Frequency of access points onto the roadway.
- Roadway alignment and curvature.
- Type and massing of landscaping adjacent to the roadway.
- Frequency of traffic control devices along the roadway.
- Narrowness of travel lanes.

The following traffic calming techniques will be implemented in the design of the roadways within Riverwalk Vista.



Local Street Design:

- The Main Loop Road within Riverwalk Vista will be heavily landscaped on each side within parkways to add interest in the street encouraging drivers to slow their travel speed and observe their surroundings.
- Speed humps will be installed in downhill conditions within both the Main Loop Road and Private Interior Residential Streets.

Landscaping:

Landscaping adjacent to streets within Riverwalk Vista will combine the use of shade trees, shrubs, and groundcover adjacent to sidewalks to create a more intimate streetscape encouraging drivers to slow down and observe their surroundings. The landscape concept for Riverwalk Vista is designed to contribute to a sense of the street system as a pedestrian protected area to promote slower traffic speeds.

4.1.4 Mass Transit

The Riverside Transit Agency (RTA) provides public transit services for the Project Site. Transit stops and bus shelters will be installed by the applicant along the major arterial streets adjacent to Riverwalk Vista as required by the RTA.

The existing Metrolink Station located north of Indiana Avenue will remain as part of the development of the Project Site. Transit service provided by Metrolink will continue.

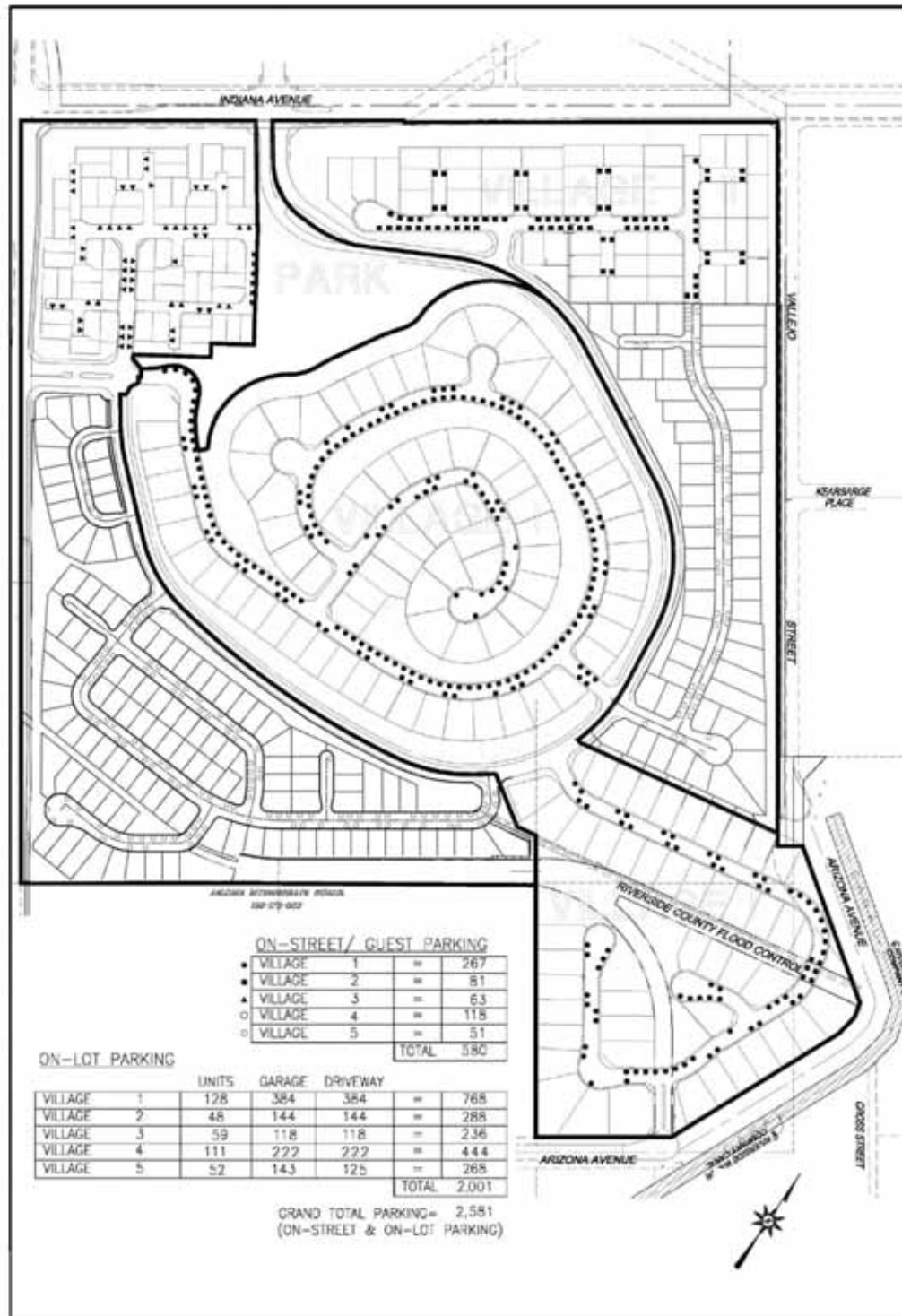


Exhibit 21, "On Street Guest Parking"
Section 4. Infrastructure and Services



4.2 WATER MASTER PLAN

Domestic water for Riverwalk Vista will be provided by the City of Riverside. New water system improvements will be constructed as part of development. The new water system for Planning Area 2 will require connection to the City of Riverside 1100 pressure zone piping in La Sierra Avenue near the intersection of La Sierra Avenue and Middleborough Road to adequately service the Project Site. Extending the 1100 pressure zone to the Project Site will require approximately 2,200 linear feet of off-site water improvements in La Sierra Avenue and approximately 900 linear feet of off-site water improvements from Cross Street. This water system will be a looped system interconnected on-site. Within the Project Site new 8-inch water mains will be developed within the local street system.

The water master plan for Riverwalk Vista is illustrated on Exhibit 22 "Water Improvement Master Plan".

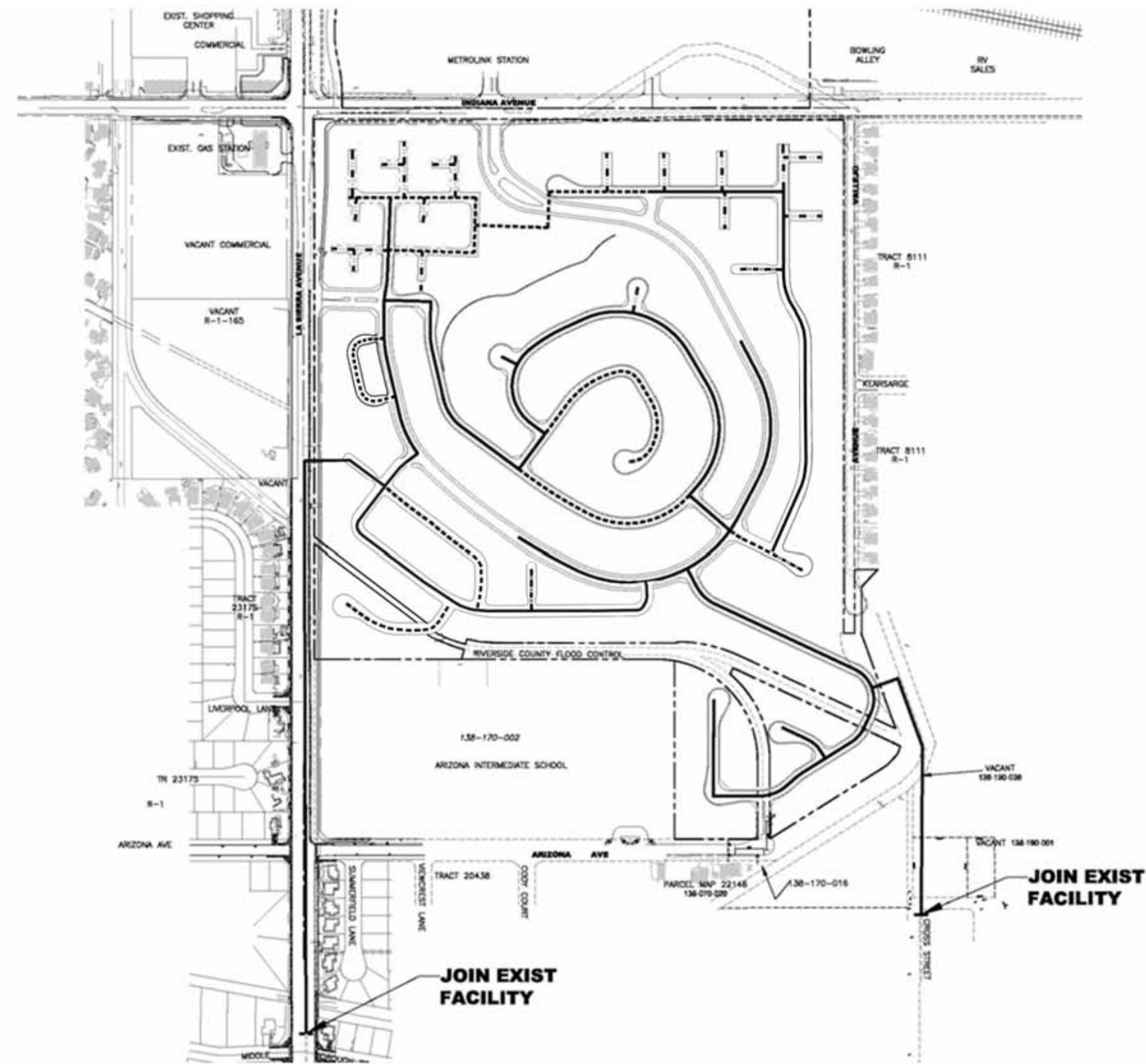


Exhibit 22, "Water Master Plan"
Section 4. Infrastructure and Services



SECTION 5. DEVELOPMENT REGULATIONS

5.1 INTRODUCTION

The provisions contained herein will regulate design and development within the Riverwalk Vista Specific Plan area.

5.2 DEFINITION OF TERMS

The meaning and construction of words, phrases, titles, and terms shall be the same as provided in the City of Riverside Zoning Code, unless otherwise specifically provided herein.

5.3 APPLICABILITY

The development regulations contained herein provide specific standards for land use development within the Riverwalk Vista Specific Plan area. Regulations address commercial and residential land uses as well as landscaping. Application of the following regulations is intended to encourage the most appropriate use of the land, ensure the highest quality of development, and protect the public health, safety, and general welfare.

The adoption of the Riverwalk Vista Specific Plan establishes the General Plan Land Use designation of "Riverwalk Vista Specific Plan" for the Project Site. The City of Riverside Zoning Map designates the Specific Plan area as C-2 within Planning Area 1 and R-1-65 within Planning Area 2. These zoning district classifications will be maintained for the Specific Plan area as the base underlying zoning. Concurrently with the adoption by the City of Riverside of the Riverwalk Vista Specific Plan, a zone change will be approved for the Riverwalk Vista Specific Plan Area to apply the "Specific Plan Overlay (SP)" zoning district to Riverwalk Vista to implement the Riverwalk Vista Specific Plan. The Riverwalk Vista Specific Plan will take precedence over the underlying base zone except where the Specific Plan is silent. In that case, the standards for the underlying base zoning applies. The regulations of the Riverwalk Vista Specific Plan shall reinforce specific site planning, architectural design, and landscape design guidelines contained in Section 6, "Design Guidelines".



5.4 ADMINISTRATION

The Riverwalk Vista Specific Plan is adopted by resolution and will serve as the implementation tool for the General Plan and establish land use and development regulations for the Project Site. The Riverwalk Vista Development Regulations address general provisions, permitted uses, development standards, and design guidelines.

5.5 GENERAL SITE DEVELOPMENT REGULATIONS

The following general site development regulations shall apply to all land development proposed in Riverwalk Vista.

- a. Gross Acres - Except as otherwise indicated, gross acres for all development areas are measured to the existing property line, including any right of way dedications required as part of project implementation.
- b. Grading - Grading concepts shall respond to the design guidelines included in the Riverwalk Vista Specific Plan which guide the development of land use toward the goal of providing for a livable community with streets and entries designed for walking and resident interaction. Development within the Project Site shall comply with grading requirements as described in Title 17 of the City of Riverside Municipal Code except for the following special provisions adopted as part of the Riverwalk Vista Specific Plan:
 - Slope Height:
The height of a fill slope within Riverwalk Vista visible from the surrounding community may exceed 20 feet up to a maximum height of 30 feet as measured from the toe of the fill slope. Slopes must be planted and graded utilizing techniques to mitigate the views of slopes from the surrounding community.
 - Retaining Walls:
Maximum height of retaining walls within Riverwalk Vista in any area shall be eight feet.
- c. Building Modification - Additions and/or projections into setback areas permitted by the Riverwalk Vista Specific Plan shall match the architectural style of the primary unit and shall be constructed of the same materials and colors as the primary unit.

Section 5 – Development Regulations



- d. Utilities - All new and existing public utility distribution lines of 66 kV or less shall be subsurface throughout the planned community.
- f. Technology - All homes shall accommodate the most appropriate state of the art technology system for computer internet access, phone, fax, and television.
- g. Density -The Riverwalk Vista Land Use Plan allocates a total number of units to each village as indicated in Table 1, "Riverwalk Vista Specific Plan Statistical Summary" included in Section 3, "Land Use". Variations in the number and type of dwelling units within each residential village may occur at the time of final design of the village depending upon the residential product identified for development. Increases in allocation of residential units up to a maximum of twenty percent (20%) are permitted among the residential villages within the Riverwalk Vista Specific Plan, provided that the total number of units established for the Riverwalk Vista Specific Plan area is not exceeded.
- h. Maximum Number of Dwelling Units - The maximum number of residential dwelling units permitted within the Riverwalk Vista Specific Plan shall be 398 dwelling units.
- i. Streets- All interior streets within Riverwalk Vista shall be private. All perimeter streets adjacent to Riverwalk Vista shall be public.

5.6 PLANNING AREA 1 - RETAIL COMMERCIAL

5.6.1 GENERAL

This section sets forth the development regulations for development of retail commercial land uses within Planning Area 1 of Riverwalk Vista. The primary use of the retail area within Riverwalk Vista will be multi-tenant retail and upscale restaurants. It is the intent of the Riverwalk Vista Specific Plan to incorporate the permitted and conditionally permitted land uses as previously approved with the La Sierra Specific Plan for Planning Area 1 with the following exception.

- Liquor stores and movie theatres permitted with the La Sierra Specific Plan are conditionally permitted with the Riverwalk Vista Specific Plan.



5.6.2 PERMITTED

All the following uses are permitted as defined in Chapter 19.34 (C-2-S-2, Restricted Commercial, 2 story) of the Zoning Code.

a. Retail Uses

- Apparel & Accessories
- Automotive Accessories
- Hardware Sales
- Business Supply Retail
- Durable Goods
- Restaurant
- Highway Commercial/Showroom
- Pharmacy
- Plants and Gardening Equipment
- Supermarket

b. Office Uses

- Consultants
- Engineering/design
- Insurance
- Administrative and Professional
- Financial Institutions
- Publishing and Printing
- Research and Development

c. Service Uses

- Business Support Services
- Gymnasium
- Repair Services
- Veterinary Clinic
- Vocational Schools

5.6.3 CONDITIONALLY PERMITTED USES

All of the following uses in addition to those defined in Chapter 19.34 (C-2-S-2, Restricted Commercial, 2 Story) are permitted subject to approval of a conditional use permit.

- Fast Food - Excluding Drive - Through
- Liquor Stores
- Movie Theatres



- Automotive Service Stations
- Personal Services

5.6.4 PROHIBITED USES

- Automobile Sales agencies
- Automobile storage garage
- Billiard or pool hall
- Bowling alley
- Conference center
- Day Care
- Disco
- Educational facilities
- Factory outlet mall
- Fast food with drive through
- Hotel or motel
- Laboratory
- Medical/Health Care Services
- Roller skating or ice skating rink
- Night club or bar independent of food service
- Single tenant outlet containing over 140,000 square feet of area
- Tattoo/body piercing parlors



TABLE 2 RETAIL COMMERCIAL SITE DEVELOPMENT STANDARDS

MINIMUM PARCEL AREA	None Required
MAXIMUM DEVELOPED SQUARE FOOTAGE	232,000
MAXIMUM LOT COVERAGE	None Required
MINIMUM BUILDING SETBACKS (1) (2)	15 ft
FROM LA SIERRA AVENUE ROW	20 ft
FROM INDIANA AVENUE ROW	15 ft
FROM PRIVATE INTERIOR STREET PROPERTY LINES	
<u>PARKING & DRIVE AISLE SETBACKS</u>	
FROM PUBLIC ARTERIAL STREETS	15 FT
MAXIMUM BUILDING HEIGHT	
MAIN STRUCTURE	30 ft (2 stories)
ARCHITECTURAL PROJECTIONS AND FOCAL ELEMENTS SUCH AS TOWERS, CUPOLAS, AND OTHER APPURTENANCES (3)	45 ft.
PORTE-COCHERES (4)	1 story
WALLS, FENCES, & HEDGES	
WITHIN STREETSIDE SETBACK	3 FT
ADJACENT TO RIVERSIDE FREEWAY FRONTAGE	6 FT
PARKING SCREENING	PER CHAPTER 19.74 CITY OF RIVERSIDE ZONING CODE
	ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM OFF-SITE VIEWS

FOOTNOTES

1. All setback areas shall be landscaped.
2. All setbacks are measured to habitable area not architectural appurtenance or projection. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, and balconies, and other similar elements. Such elements may project a maximum of 3 feet into setback areas.
3. Architectural element only, not to be used for signage, subject to Planning Director approval.
4. Porte-Cocheres shall be open on three sides.



5.7 PLANNING AREA 2 - RESIDENTIAL DEVELOPMENT

5.7.1 General

The purpose of the residential standards for single family detached housing is to establish the minimum criteria for the development of these product types on individual lots within the Villages specified within Riverwalk Vista.

5.7.2 Permitted Uses

1. Single family detached dwelling units and their accessory uses.
2. Open space, recreational buildings, recreational facilities including pools, spas, sports courts, and greenbelts.,
3. Accessory structures and uses to include the following:
 - Garages.
 - Granny Flats - permitted in Village 1 only (*i.e. Second Dwelling Units, in accordance the City's Zoning Code.*)
 - Home occupations in accordance with the City's Zoning Code.
 - Swimming pools, spas, sports courts, and other similar outdoor recreational amenities.
 - Patios and patio covers (per Exhibit 28).
 - Storage, garden structures, cabanas, and greenhouses.
 - Temporary uses such as model home and subdivision sales trailers; temporary construction parking, offices, and facilities; real estate signs, signage indicating future development and directional signage.
 - Child care facilities/Day care facilities in accordance with the City's Zoning Code.

5.7.3 Conditionally Permitted Uses

1. Places of worship including but not limited to churches and synagogues. Refer to development standards tables for setback requirements
 - Table 3 – Village 1
 - Table 4 – Village 2
 - Table 5 – Village 3
 - Table 6 – Village 4
 - Table 7 – Village 5

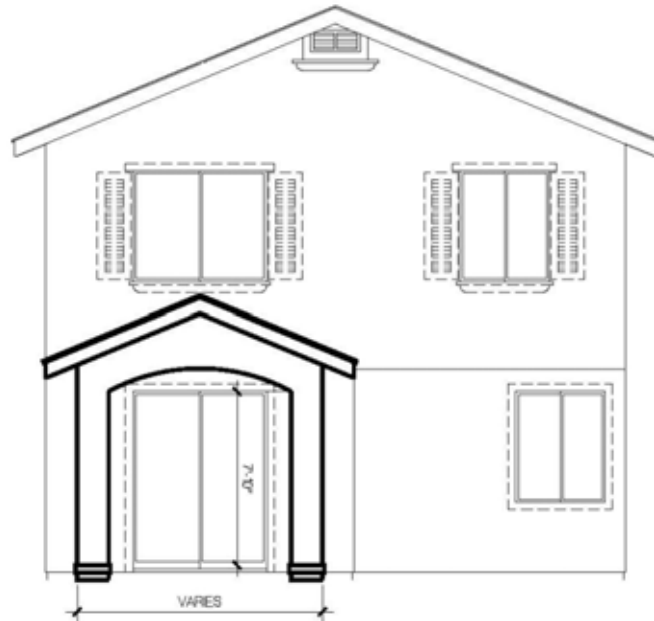
RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan



Solid cover with roof
tile to match house



Open trellis of
Aluminum or wood

Exhibit 28, "Patios and Patio Covers"
Section 5 – Development Regulations



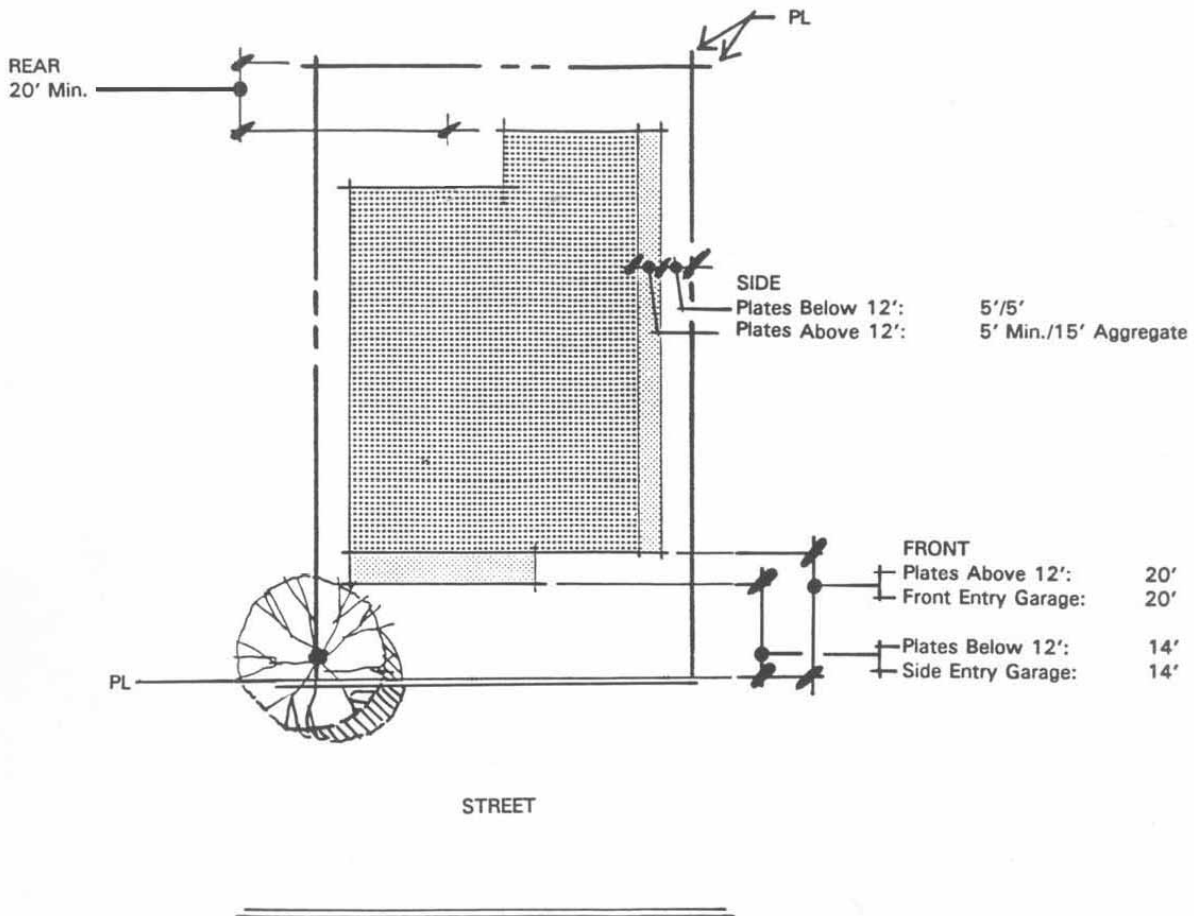
**TABLE 3 RESIDENTIAL SINGLE FAMILY DETACHED Site Development Standards -
VILLAGE I**

CRITERIA	STANDARD
TYPICAL LOT SIZE	Typical 6,500 S.F. LOTS (6,000 min.)
TYPICAL LOT DIMENSIONS	Typical 65' x 100' (60' x 100' min.)
MINIMUM SETBACKS ^(1, 2)	
Front	
• Living Area / Porch	
Plates Below 12':	14'
Plates Above 12':	20'
• Front Entry Garage	
Plates Below 12':	20'
Plates Above 12':	20'
• Side Entry Garage	
Plates Below 12':	14'
Plates Above 12':	20'
Rear	
Plate Above 12':	20' Min
Plates Below 12':	20' Min
Side ⁽³⁾	
Plates Below 12':	5'/5'
Plate Above 12':	5' Min / 15' Agg
Corner Side	
Living Area	
Plates Below 12':	10'
Plates Above 12':	15'
Porches	
Plates Below 12':	5'
Plates Above 12':	10'
Porte Cochere (15' Max. Ht.)	Subject to approval by master developer and city staff.
Rear Patio Covers (Measured to Fascia)	10'
Rear 2 nd Story Decks	
Plates Below 12':	10'
Plates Above 12':	15'
FRONT COURTYARD WALLS	
Wall Ht. Below 5'	
Front:	5'
Side:	0'
Corner Side	5'
Wall Ht. Above 5'	
Front:	10'
Side:	0'
Corner Side:	5'
CC. STRUCTURES (Max. 12' Plate) (Casitas, Guest Houses, Detached Garages, Etc)	
Front:	15'
Side/Rear	5'
MAX BUILDING COVERAGE (Excluding Porches & Patio Covers)	
Single Story Residences	60%
2-Story Residences	50%
MAX. BUILDING HEIGHT	35'
PARKING	Per Chapter 19.34, City of Riverside Zoning Code

RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan



NOTES

1. Front and corner setbacks are measured from the back of walk or back of curb where there is no walk.
2. Interior side and rear setbacks are measured from the property line.

Exhibit 29, "Village 1: Setback Envelope" Section 5 – Development Regulations

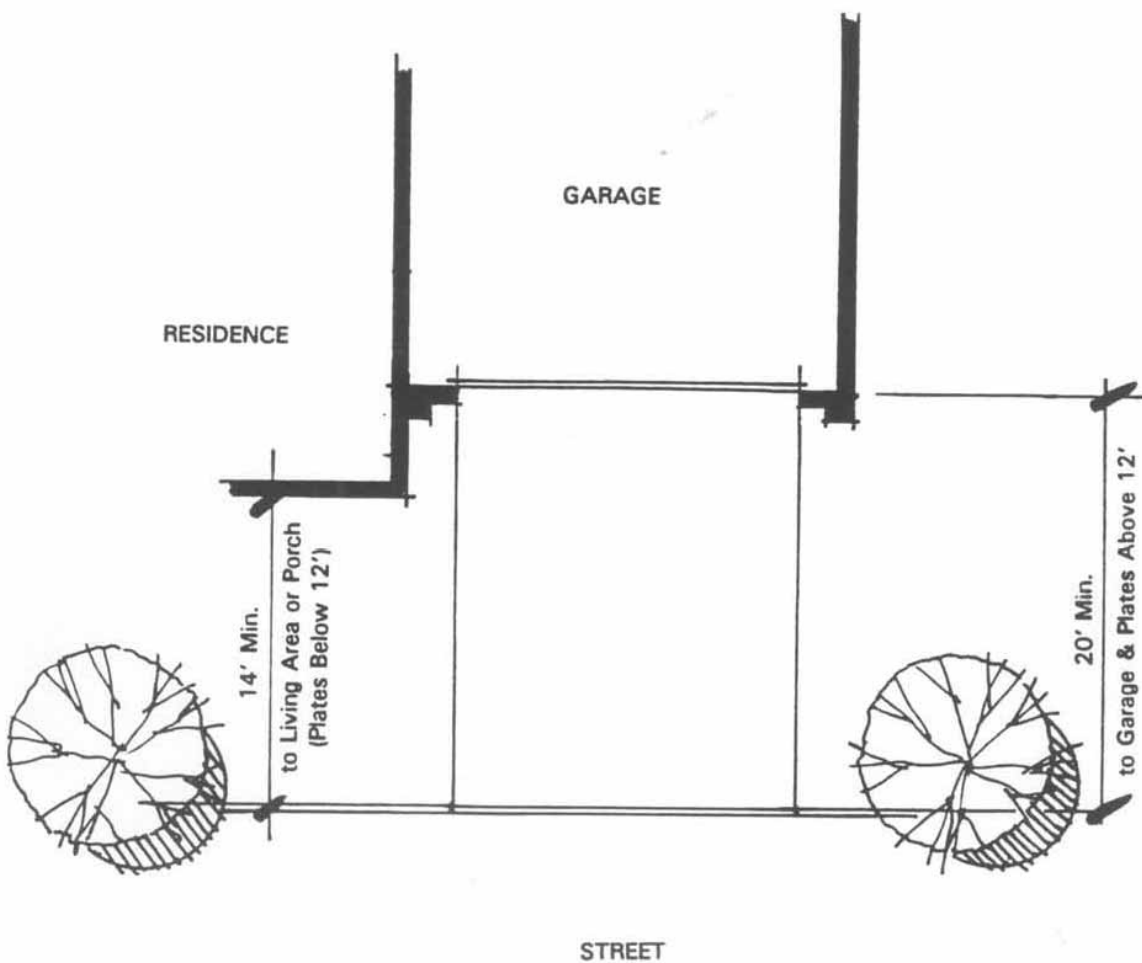


Exhibit 30, "Village 1: Front Entry Garage"
Section 5 – Development Regulations

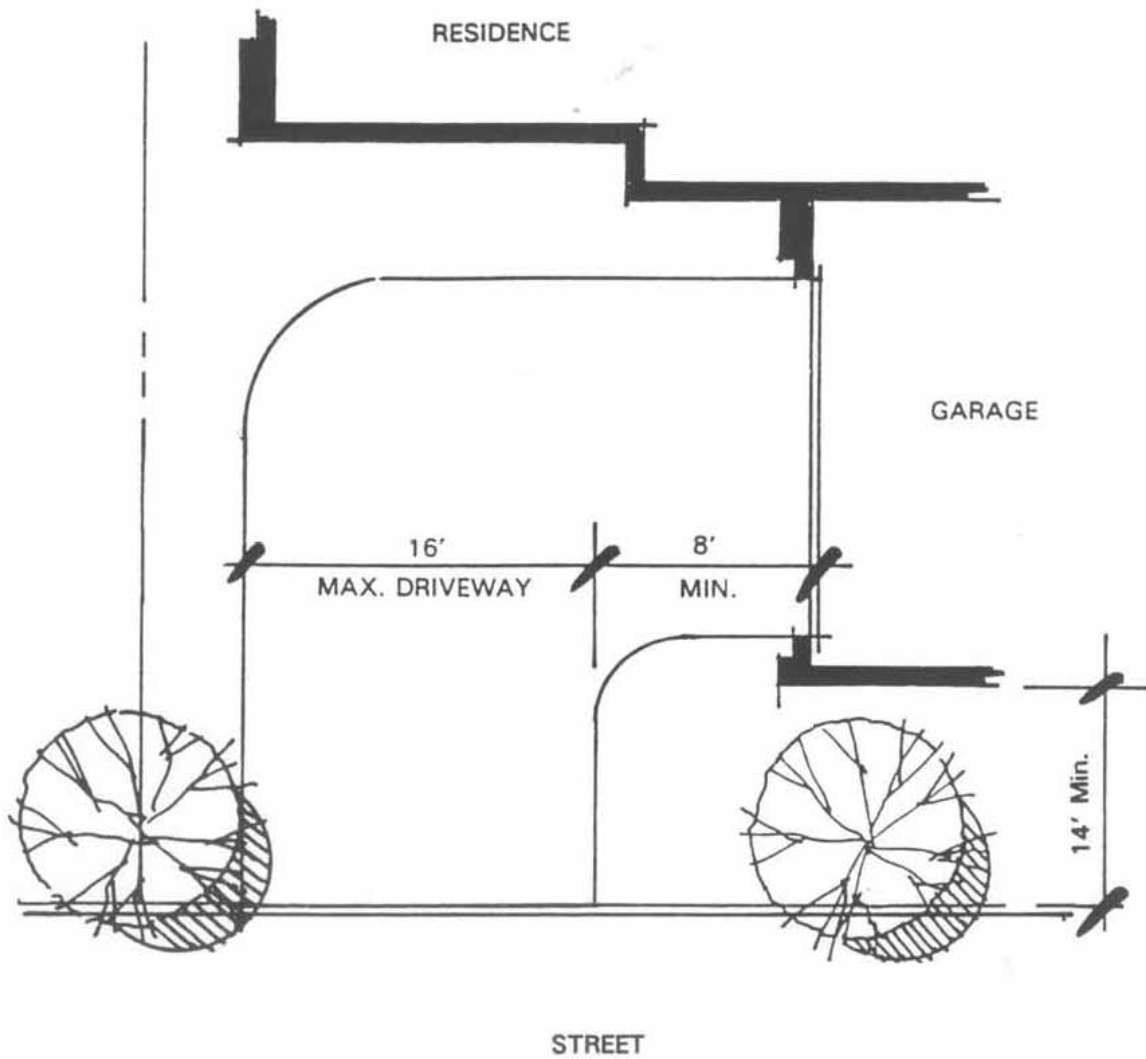


Exhibit 31, "Village 1: Side Entry Garage"
Section 5 – Development Regulations



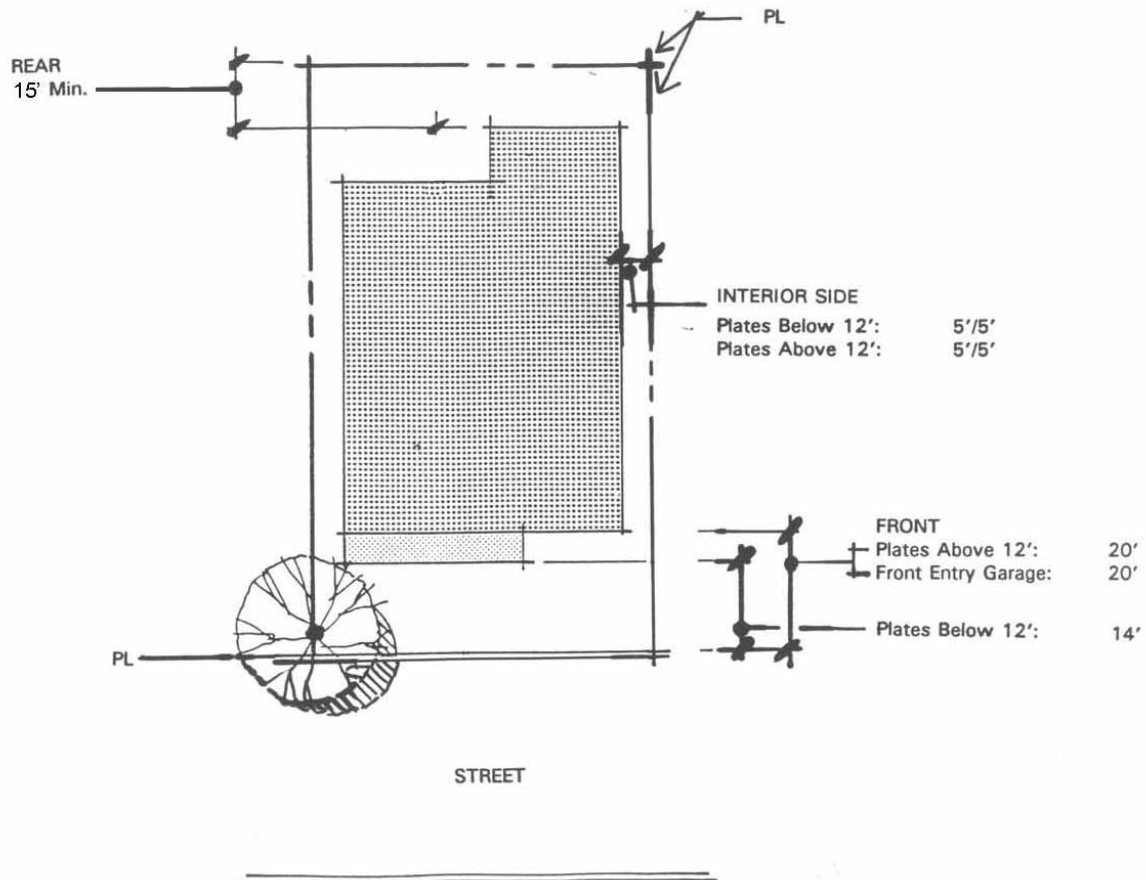
TABLE 4 RESIDENTIAL SINGLE FAMILY DETACHED CLUSTER Site Development Standards - VILLAGE 2

CRITERIA	STANDARD
TYPICAL LOT SIZE	Typ. 4,675 S.F. LOTS (4,200 min.)
TYPICAL LOT DIMENSIONS	Typ. 55' x 85'
MINIMUM LOT WIDTH	50'
MINIMUM LOT DEPTH	80'
MINIMUM SETBACKS ^(1, 2)	
Front ⁽²⁾	
▪ Living Area/Porch	
Plates Below 12':	14'
Plates Above 12':	20'
▪ Front Entry Garage	
Plates Below 12':	20'
Plates Above 12':	20'
Rear	
Plates Above 12':	15' Min
Plates Below 12':	15' Min
Side ⁽³⁾	
Living Area	
Plates Below 12':	5'/5'
Plates Above 12':	5'/5'
Porches	
Plates Below 12':	3'
Plates Above 12':	5'
Corner Side	
Living Area	
Plates Below 12':	10'
Plates Above 12':	10'
Porches	
Plates Below 12':	5'
Plates Above 12':	10'
Porte Cochere (15' Max. Ht.)	Subject to approval by M. D. & City
Rear Patio Covers / 2nd Story Decks (Measured to Fascia) Plates Below 12'	10'
Plates Above 12'	10'
FRONT COURTYARD WALLS	
Wall Ht. Below 5'	
Front:	5'
Side:	0'
Corner Side:	5'
Wall Ht. Above 5'	
Front:	10'
Side:	0'
Corner Side:	5'
MAX. BUILDING COVERAGE (Excluding Porches & Patio Covers)	
Single Story Residences	60%
2-Story Residences	50%
MAX. BUILDING HEIGHT	35'
PARKING	Per Chapter 19.74, City of Riverside Zoning Code

RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

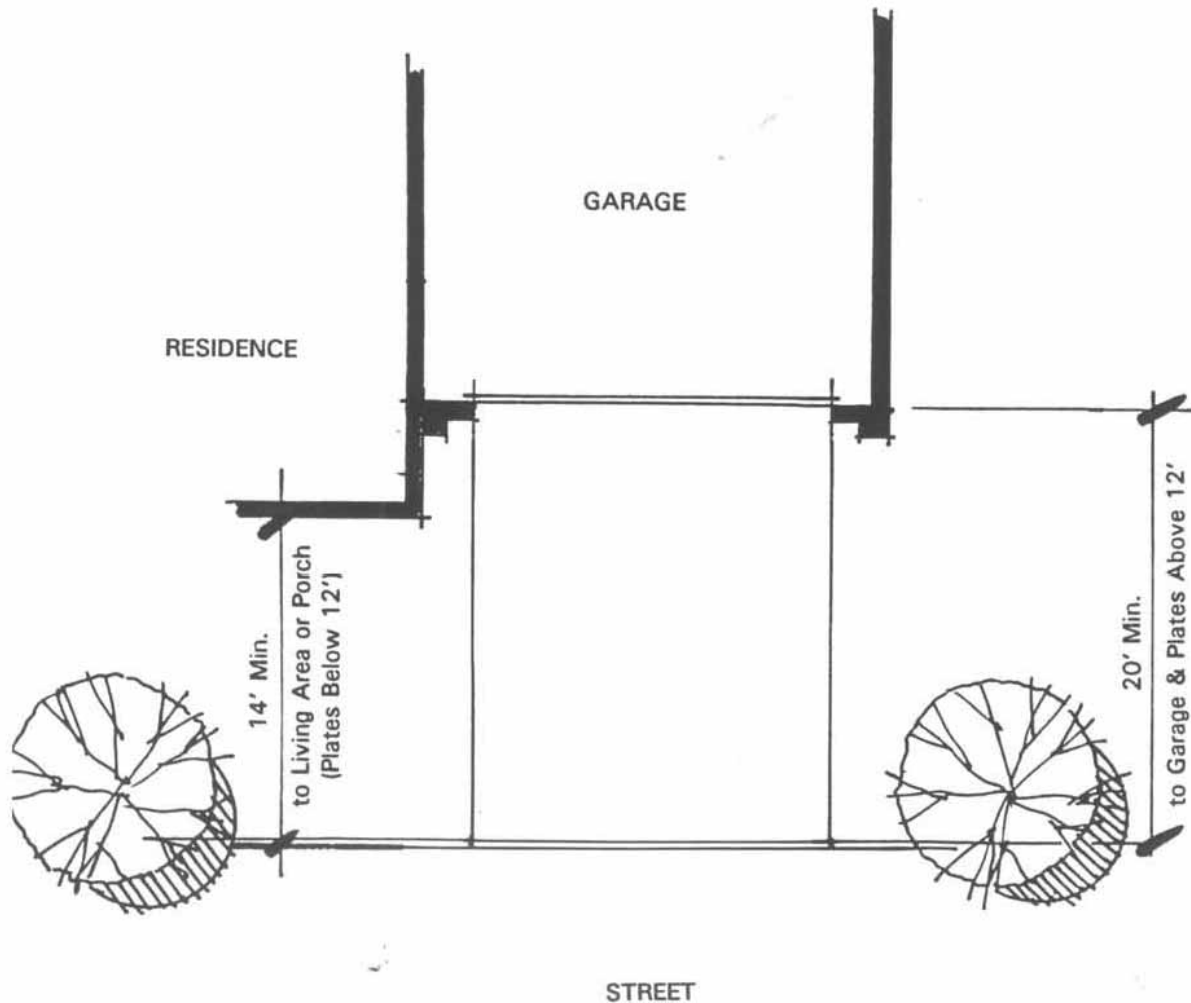
Specific Plan



NOTES

1. Front setbacks and corner side setbacks are measured from the back of walk or back of curb where there is no walk.
2. Interior side and rear setbacks are measured from property line.

Exhibit 32, "Village 2: Setback Envelope" Section 5 – Development Regulations



NOTE

1. Front setbacks are measured from the back of walk or back of curb where there is no walk.



**TABLE 5 RESIDENTIAL SINGLE FAMILY DETACHED CLUSTER PATIO HOMES Site Development Standards -
VILLAGE 3**

CRITERIA	STANDARD
Typical Lot Size & Dimension	Refer to Exhibit34
MINIMUM SETBACKS ^(1, 2)	
From Residential Street	10' to building 5' to porch, courtyard wall, balcony or similar elements
From Drive Aisle	3' – 8' or 18'+ to garage door face 10' to building 5' to porch, courtyard wall, balcony or similar elements
From Interior Side PL ⁽³⁾	5'
From Interior Rear PL	12'
Rear Patio Covers / 2nd Story Decks (Measured to Fascia) Plates Below 12' Plates Above 12'	5' 5'
MAX. BUILDING HEIGHT	35'
PARKING ⁽⁴⁾	Per Chapter 19.74, City of Riverside Zoning Code

Footnotes Tables 3 thru 5

1. Architectural projections may project a maximum of 3 feet into required front, rear or side setback areas; however, in no case shall such projection be closer than 3 feet to any property line. An architectural projection is defined as an element that articulates the building elevation such as, media niches, library niches, bay windows, chimneys, balconies and other similar elements.
2. Widow and door pop-out surrounds, pot shelves, enhanced window sills, shutter details, window trim, entry gates and projecting eaves shall be governed by the provisions of the Uniform Building Code (UBC), Section 503.2 and Section 705.
3. Side yard slopes may not encroach more than 50% into side yard setback areas.
4. Parking prohibited on side of street opposite of garage door face.

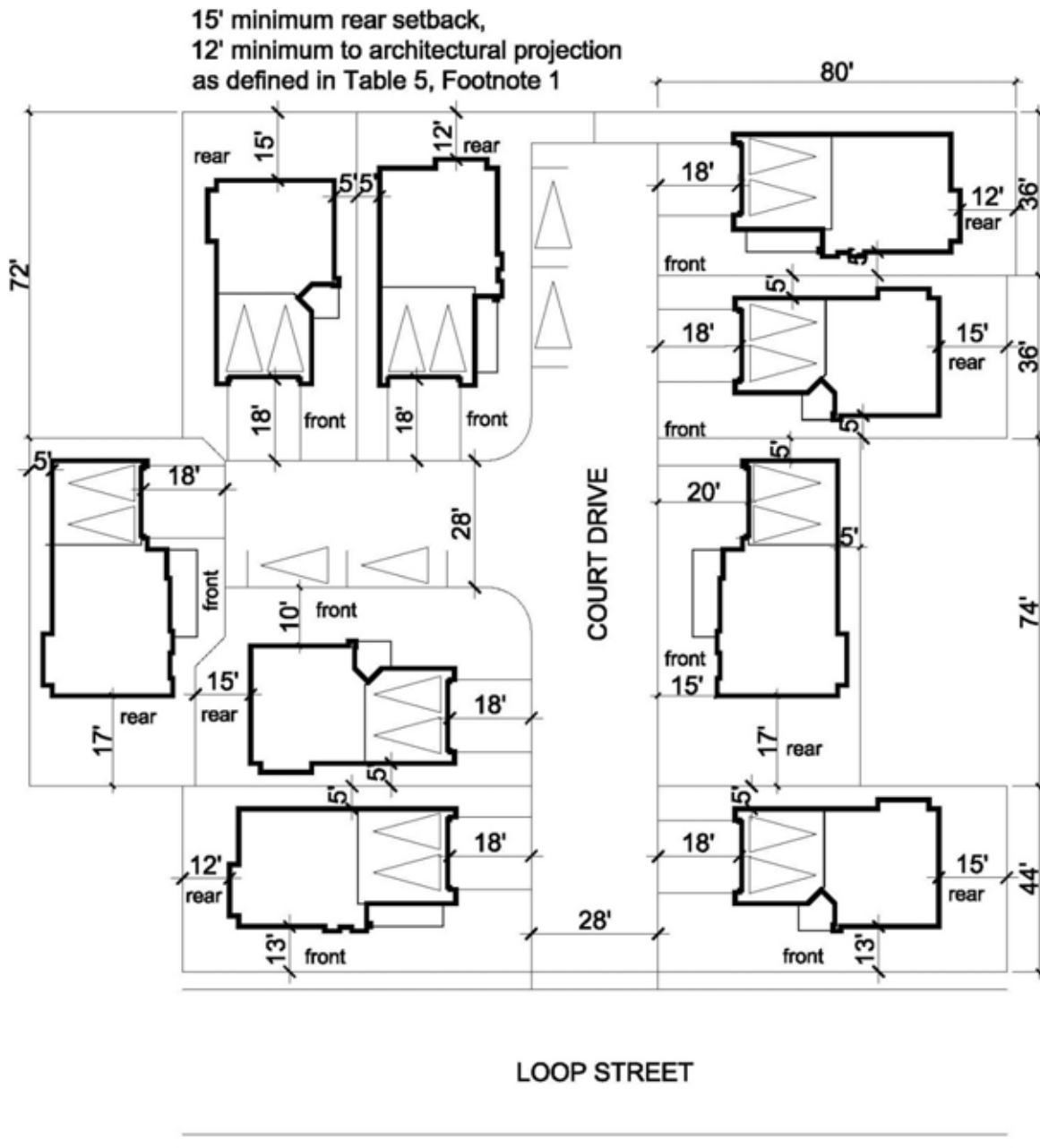


Exhibit 34, "Village 3: Setback Envelope"
Section 5 – Development Regulations

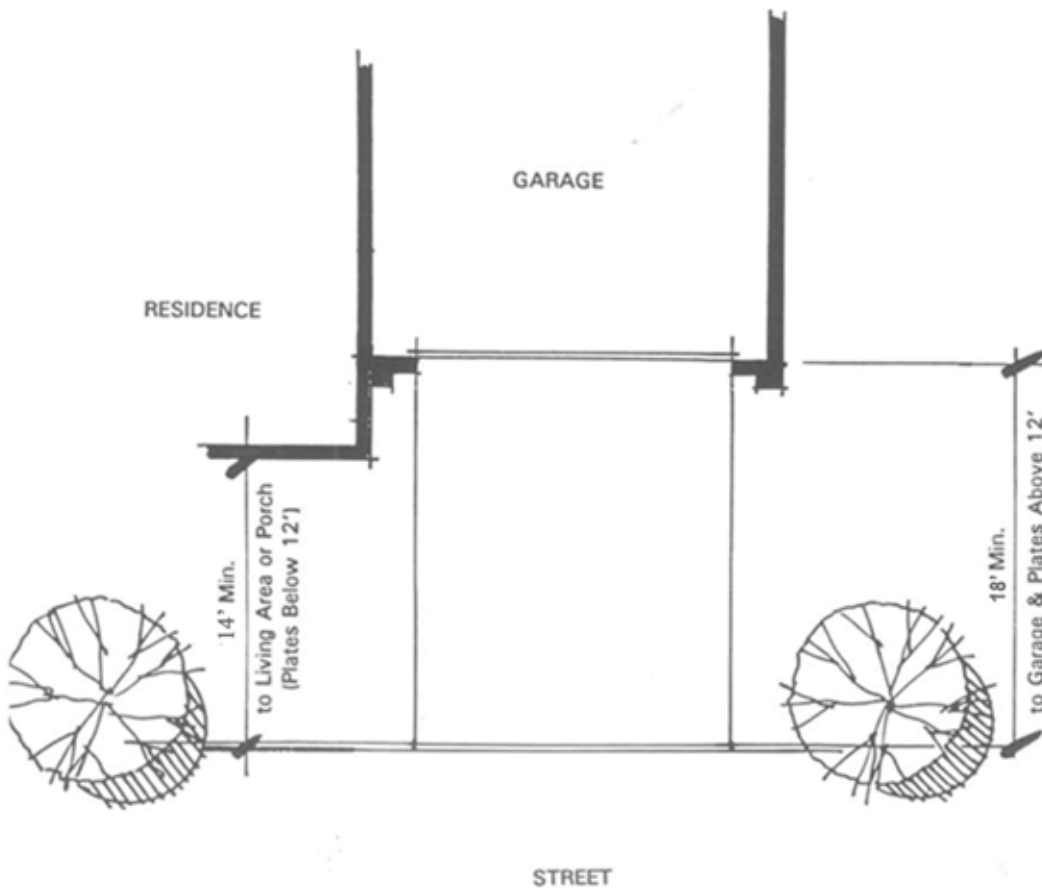


TABLE 6 RESIDENTIAL SINGLE FAMILY DETACHED CLUSTER Site Development Standards - VILLAGE 4

CRITERIA	STANDARD
TYPICAL LOT SIZE	Typ. 3,905 S.F. LOTS (3,285 min.)
TYPICAL LOT DIMENSIONS	Typ. 45' x 75'
MINIMUM LOT WIDTH	45'
MINIMUM LOT DEPTH	73'
MINIMUM SETBACKS ^(1, 2)	
Front ⁽²⁾	
▪ Living Area/Porch	
Plates Below 12':	14' ¹
Plates Above 12':	18'
▪ Front Entry Garage	
Plates Below 12':	18'
Plates Above 12':	18'
Rear	
Plates Above 12':	15' Min
Plates Below 12':	15' Min
Side ⁽³⁾	
Living Area	
Plates Below 12':	5'/5'
Plates Above 12':	5'/5'
Porches	
Plates Below 12':	3'
Plates Above 12':	5'
Corner Side	
Living Area	
Plates Below 12':	10'
Plates Above 12':	10'
Porches	
Plates Below 12':	5'
Plates Above 12':	10'
Porte Cochere (15' Max. Ht.)	Subject to approval by M. D. & City
Rear Patio Covers / 2nd Story Decks (Measured to Fascia) Plates Below 12'	5' (to the post with no overhang) ²
Plates Above 12'	5' ²
FRONT COURTYARD WALLS	
Wall Ht. Below 5'	
Front:	12' ¹
Side:	0'
Corner Side:	5'
Wall Ht. Above 5'	
Front:	18'
Side:	0'
Corner Side:	5'
MAX. BUILDING COVERAGE (Excluding Porches & Patio Covers)	
Single Story Residences	60%
2-Story Residences	50%
MAX. BUILDING HEIGHT	35'
PARKING	Per Chapter 19.74, City of Riverside Zoning Code

¹ The Zoning Administrator may allow up to 20% of lots to have a reduced front yard setback of 10-feet for courtyards and a 12-feet front yard setback for front porch. ² If overhang provided, a minimum distance of 5-feet shall be required to the edge of the overhang.

Section 5 – Development Regulations



NOTE

1. Front setbacks are measured from the back of walk or back of curb where there is no walk.



TABLE 7 RESIDENTIAL SINGLE FAMILY DETACHED CLUSTER Site Development Standards - VILLAGE 5

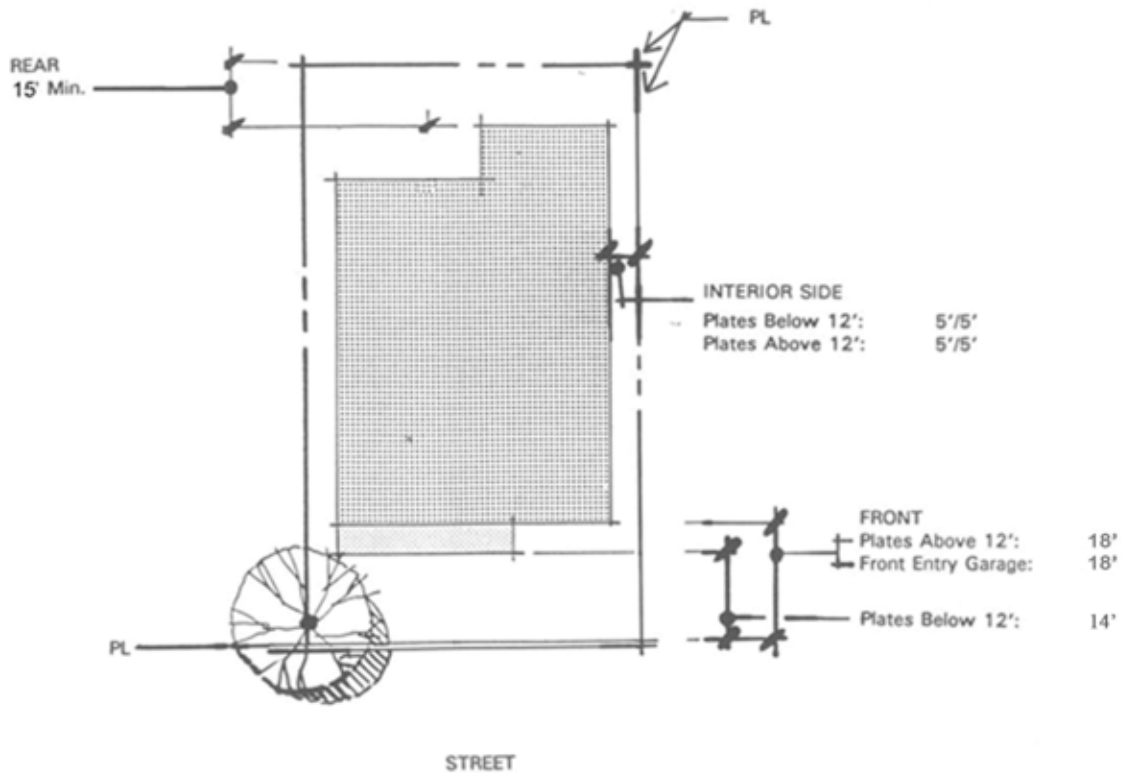
CRITERIA	STANDARD
TYPICAL LOT SIZE	Typ. 5,575 S.F. LOTS (3,869 min.)
TYPICAL LOT DIMENSIONS	Typ. 55' x 80'
MINIMUM LOT WIDTH	53'
MINIMUM LOT DEPTH	73'
MINIMUM SETBACKS ^(1, 2)	
Front ⁽²⁾ <ul style="list-style-type: none"> ▪ Living Area/Porch Plates Below 12': Plates Above 12': <ul style="list-style-type: none"> ▪ Front Entry Garage Plates Below 12': Plates Above 12':	14' ¹ 18' 18' 18'
Rear Plates Above 12': Plates Below 12'	15' Min 15' Min
Side ⁽³⁾ <ul style="list-style-type: none"> Living Area Plates Below 12': Plates Above 12': <ul style="list-style-type: none"> Porches Plates Below 12': Plates Above 12':	5' 5' 5' 5' 3' 5'
Corner Side <ul style="list-style-type: none"> Living Area Plates Below 12': Plates Above 12': <ul style="list-style-type: none"> Porches Plates Below 12': Plates Above 12':	10' 10' 5' 10'
Porte Cochere (15' Max. Ht.)	Subject to approval by M. D. & City
Rear Patio Covers / 2nd Story Decks (Measured to Fascia) Plates Below 12' Plates Above 12'	5' (to the post with no overhang) ² 5' ²
FRONT COURTYARD WALLS Wall Ht. Below 5' Front: Side: Corner Side: Wall Ht. Above 5' Front: Side: Corner Side:	12' ¹ 0' 5' 18' 0' 5'
MAX. BUILDING COVERAGE (Excluding Porches & Patio Covers) Single Story Residences 2-Story Residences	60% 50%
MAX. BUILDING HEIGHT	35'
PARKING	Per Chapter 19.74, City of Riverside Zoning Code

¹ The Zoning Administrator may allow up to 20% of lots to have a reduced front yard setback of 10-feet for courtyards and a 12-foot front yard setback for front porch. ² If overhang provided, a minimum distance of 5-feet shall be required to the edge of the overhang.

RIVERWALK VISTA

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Forestar Riverside, LLC

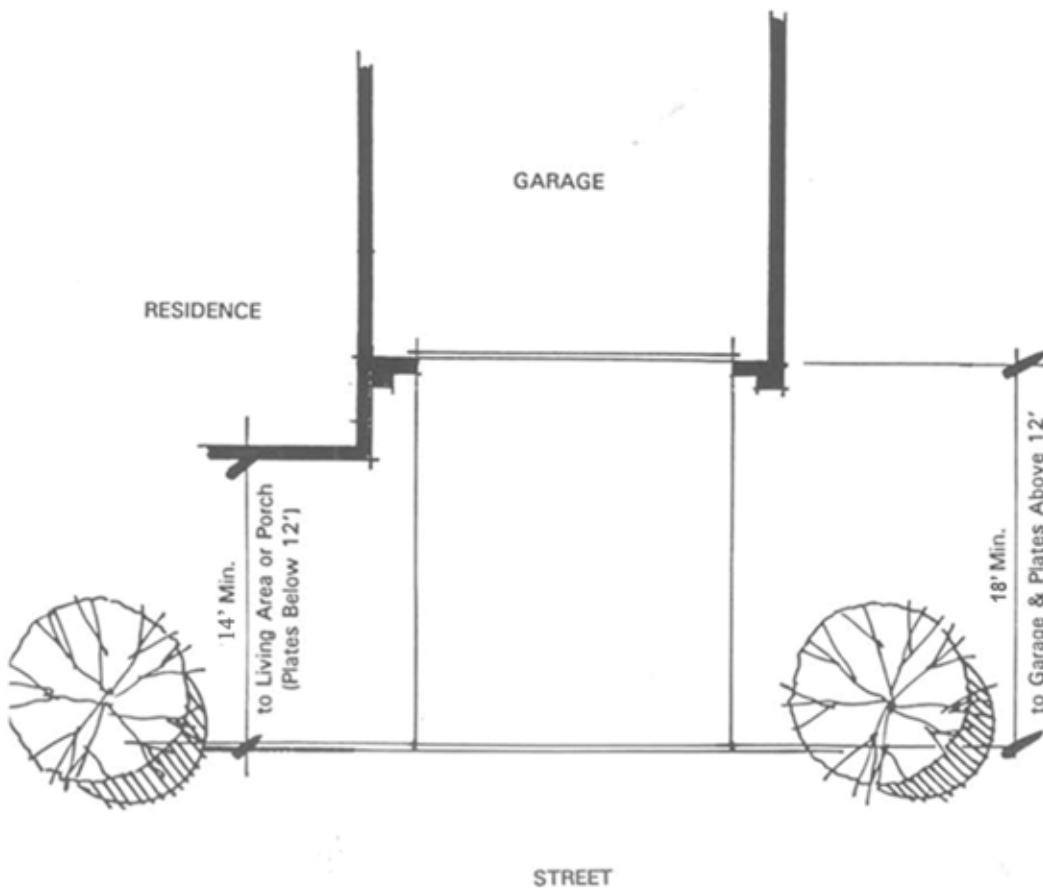
Specific Plan



NOTES

1. Front setbacks and corner side setbacks are measured from the back of walk or back of curb where there is no walk.
2. Interior side and rear setbacks are measured from property line.

Exhibit 34C, "Village 5: Setback Envelopes" Section 5 – Development Regulations



NOTE

1. Front setbacks are measured from the back of walk or back of curb where there is no walk.



5.8 ARCHITECTURAL STANDARDS

5.8.1 *General Provisions*

The following items shall be incorporated into the final architectural site plan for both Village 4 and 5;

- a) A minimum of three unit types be utilized within Villages 4 and 5.
- b) No identical unit and architectural plan types be plotted on adjacent lots within Villages 4 and 5.
- c) Each model type be represented on a minimum of 20% of the lots within Village 4 and 5
- d) At least 60% of the units within Villages 4 and 5 either have a useable front porch or front courtyard area.

5.9 LANDSCAPE STANDARDS

5.9.1 *General Provisions*

- e) All landscape plans, streetscape plans and graphic designs with regard to the identity of the Riverwalk Vista identity or entry monumentation shall conform to the design guidelines and regulations as set forth herein and shall be subject to review and approval by the City of Riverside Planning Department.
- f) The Landscape/Streetscape improvements for the Riverwalk Vista Specific Plan shall establish a landscape theme reminiscent of the regional landscape character of the surrounding area.



5.9.2 Landscape Standards

- a) Landscaping within the Riverwalk Vista Specific Plan shall be provided in accordance with the Design Guidelines for Streetscapes and Entries utilizing plant materials specified on the Plant Palette included in Section 6, "Design Guidelines" established for the Riverwalk Vista Specific Plan.
- b) Boundary landscaping will be required adjacent to residential and commercial areas. Landscaping shall generally be placed along the entire property line.
- c) Landscaping and irrigation systems, within the public rights of way of the Riverwalk Vista Specific Plan area, shall be reviewed and approved by the Planning Department and the Park and Recreation Department and shall be installed by the developer.
- d) Landscaping within common areas of each village shall be installed by the developer.
- e) Walls and Fencing - Perimeter walls shall be constructed in locations and of a design consistent with the "Wall and Fence Plan", Exhibit 35. Perimeter walls shall not exceed a maximum height of six (6) feet in height from finished grade. Walls of a maximum height of ten (10) feet from finished grade may be permitted as appropriate and in limited situations for screening and/or sound attenuation subject to approval in conjunction with plot plan approval. Perimeter walls shall be constructed of either masonry or other permanent, durable, low maintenance material. Fencing utilized within the Project Site shall be constructed of tubular steel or other durable materials and will be subject to approval by the City Planning Department.

Residential side and rear yard walls and fencing shall not exceed six (6) feet in height from highest adjacent finished grade. Residential side and rear yard walls and/or fencing of a maximum height of eight (8) feet from highest adjacent finished grade may be permitted as appropriate and in limited situations for screening and/or sound attenuation subject to approval in conjunction with plot plan approval. Walls and fencing within the residential front yard setback area shall not exceed three (3) feet in

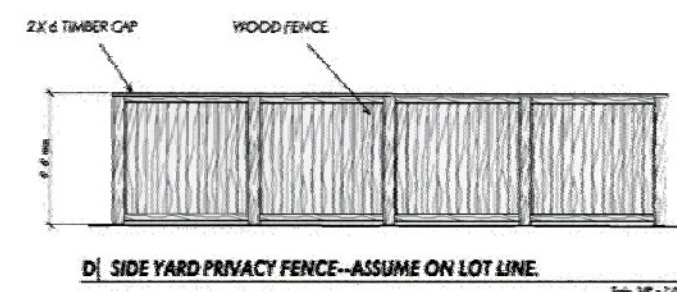
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height. Walls shall be of masonry construction or other permanent low maintenance materials. Front yard fences may be constructed of any durable material with a wood like appearance, subject to approval by the City Planning Department. View fencing may be decorative tubular steel, glass, plexiglass, or other durable material approved by the City Planning Department.

Residential vehicular entry gates shall not exceed twelve (12) feet in height. Pedestrian entry gates shall be the same height as the adjacent wall or fence structure on which it is attached.

- f) All perimeter wall and fence materials throughout Riverwalk Vista will be of uniform manufacture with colors specified for the overall design theme.
- g) The developer will provide site inspection of all construction and installation of open space areas in accordance with City of Riverside requirements.
- h) Non-toxic vegetation shall be utilized adjacent to all public open space areas.



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5.9.3 Lighting

a) Glare

No glare incidental to any use shall be visible beyond any boundary line of the parcel.

b) Street Lighting

Street lighting in the Specific Plan area will require lighting levels and uniformity ratios meeting the Riverside Public Utility Department specifications. The minimum height of street lights shall be 25 feet.

c) Walkway Lighting

Low “pedestrian” level lighting shall be installed at selected intersections along walkways, trails, and recreation/open space areas.

- Bollard lighting is recommended along sidewalks.
- Fixtures shall be uniform and unobtrusive.
- Shielded fixtures are required to prevent uplighting and to shield lighting source from adjacent residential areas.

5.10 SIGNAGE

5.10.1 GENERAL

Signs permitted within Planning Area 1, Retail Commercial, of Riverwalk Vista are subject to the provisions of Chapter 19.76 of the City of Riverside Zoning Code. Signs permitted within Planning Area 2, Residential, shall conform to the criteria in this section and the permitting requirements of the Section 19.76.21 of the City of Riverside Zoning Code.

A Master Sign Plan shall be submitted by the developer of Riverwalk Vista and approved by the City of Riverside through the City’s design review process to permit the following signs within Planning Area 2 of Riverwalk Vista. The final design and design theme for the Master Sign Program shall be approved by the



Zoning Administrator. The Master Sign Plan for Planning Area 2 of Riverwalk Vista shall address, at a minimum, the following:

- a) The hierarchy of signage.
- b) Types of signs proposed.
- c) Locations and dimensions for signs.
- d) Sign types, styles, construction materials, colors, and lettering styles.

Throughout the Riverwalk Vista Specific Plan area, only such signs as are specifically permitted in this Section or any unchanged portion of the Riverside Zoning Code, Section 19.76, "Signs" may be placed, erected, maintained, displayed or used, and the placement, erection, maintenance, display or use of signs shall be subject to all restrictions, limitations and regulations contained in this Specific Plan. The placement, erection, maintenance, display or use of all other signs is prohibited.

5.10.2 Prohibited Signs

The following signs are prohibited within Planning Area 2 of Riverwalk Vista.

- a) Electronic message center signs, blinking signs, and moving signs.
- b) Signs with more than two sign faces.
- c) Off-premises signs advertising or identifying an activity not conducted within Riverwalk Vista, except political signs as permitted by this chapter.
- d) Portable signs that are not permanently fixed to the ground, to a legally established building, or to another structure where signs may be legally placed, except for Temporary Signs as further described in this section.
- e) Signs in the public rights-of-way, except for Announcement Monumentation as described in Section 6, "Design Guidelines".
- f) Signs interfering with traffic safety by obstructing clear view of pedestrian and vehicular traffic.
- g) Signs or sign structures which by color, wording, or location resemble or conflict with any traffic control sign or device.
- h) Roof signs.
- i) Advertising statuary.
- j) Bench signs, including bus stop commercial advertising.
- k) Lewd signs that display a message or graphic representation that is lewd, indecent or otherwise offensive to public morals.
- l) Other monument and directional signage not described herein, such as temporary weekend bootleg signs and kiosks, such as local BIA signage.

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5.10.3 Permitted Signs

The following categories of signs are permitted within Planning Area 2 of Riverwalk Vista.

a. Master Plan and Subdivision Signs

Master Plan and Subdivision Signs are comprised of the following sign types:

1. *Community Monuments*

- La Sierra Avenue at Indiana Avenue
- Eastern Gateway at Vallejo Street
- Southern Gateway north of Arizona Avenue

2. *Community Entries*

- Primary Entry at Indiana Avenue
- Primary Entry at La Sierra Avenue
- Secondary Entry at Arizona Avenue

3. *Community Kiosks, Temporary Signs*

Community Kiosks will be located at various points along La Sierra Avenue and Indiana Avenue, directing visitors to the Riverwalk Vista villages and community amenities. They are located within the landscaped area of these two streets, outside of street rights-of way. Up to eight Community Kiosks may be placed throughout Planning Area 2 of Riverwalk Vista.

Community Kiosks shall not exceed 15 square feet of sign face area within an overall monument area not to exceed 50 square feet. The maximum height of a community kiosk is 7'-6" and its maximum length is 7'.

b. Construction Period Signs

The following signs are permitted during the construction period of Planning Area 2 of Riverwalk Vista.

1. *Future Development Signage*

One temporary sign may be erected in each village prior to construction that displays the future name of the village, logo, prices, builder name and other pertinent information. This sign shall not

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exceed 48 square feet of sign face area and shall not exceed 12 feet in overall height.

2. Construction Signs

One unlighted freestanding or wall sign is allowed in each village displaying the names of contractors, developers, architects, engineers, funding sources, real estate agents and other persons or entities participating in the design or construction of the village. Such signs shall be displayed only on the lot or parcel on which the construction is occurring and only during the construction period. Such signs and support structure and fasteners shall be totally removed at project build-out. This sign shall not exceed 32 square feet of sign face and shall not exceed 8 feet in overall height if freestanding.

3. Construction Traffic Directional Signs

Up to three temporary signs are allowed to identify and direct construction traffic to its proper route. This signage must be coordinated with all other builder marketing signs for the parcel. Each sign shall not exceed 16 square feet in sign face area and 5 feet in overall height.

c. For Sale, Rental, or Lease Signs

One free standing, double-faced, unlighted real estate advertising sign, for sale, lease or rent of an individual residence after builder close-out is allowed. Such signs shall not exceed 6 square feet in area and 6 feet in overall height.

Such sign shall be situated within the property and in no event shall encroach upon the public right-of-way or community association areas. Such sign shall remain only during the period of time that the premises are being offered for sale, lease, or rent and in any event shall be removed within thirty days following close of escrow or other finalization of sale, rental or lease.

d. Political Signs

Temporary political signs are permitted subject to the limitations of the Section 19.76, "Signs", of the City of Riverside Zoning Code.



e. Temporary Signs

All paper signs, balloons, streamers, placards, pennants, or portable signs that direct, promote, attract, service, or which are otherwise designed to attract attention are prohibited, unless specifically allowed as follows:

1. Subdivision Signage

In all residential areas, a maximum of two unlighted double-faced temporary subdivision signs, not exceeding 48 square feet in area per display face and 15' in overall height, may be erected and maintained within a subdivision during the period of the 36 successive months following the recording of the final subdivision map, or within 60 days of builder close-out, whichever period is shorter. Such signs shall be located internal to the subdivision and shall be a minimum distance of 120' apart from each other.

2. Model Center Signage

Up to four parking or parking directional signs may be provided in each village with each sign not to exceed 10 square feet in area. The maximum height of Model Center Parking Directional signage shall not exceed 4 feet and its maximum length is 5 feet.

3. Model Center Identification Sign

One sign may be provided on the canopy in front of the sales office indicating the project name, logo and/or "Sales Information".

4. Model Home Identification Sign

One sign per model home may be provided showing the name of the model and/or plan designation and shall not exceed 6 square feet in area. Model Home Identification Signs shall not exceed 3 feet in height and 4 feet in length.

**f. Subdivision Flags**

Each subdivision may feature up to 10 subdivision/village flags placed adjacent to the neighborhood entry and/or model village complex the sales period of the subdivision. Design and colors shall be subject to the approval of the Master Developer. Such banners shall be removed within 60 days of builder close-out.

Subdivision flags shall not exceed 25 square feet on not more than maximum 20' high poles. Such poles must be situated not closer than 10' from the public right-of-way. If separate poles are used, the distance from one pole to another shall not exceed 10'.

g. Lighted Versus Non-lighted Signs

Unless otherwise prohibited in this Section, signs may be externally illuminated (internally illuminated signs are prohibited, except for address plaques). No illuminated sign or lighting device shall be placed or directed so as to permit or cause glare or reflection which may constitute a traffic or safety hazard or interfere with the use and enjoyment of a public street, walkway, or adjacent properties. All power conduit and transformers shall be concealed.

h. Address Plaques

For each residence within the Riverwalk Vista Specific Plan area, one address sign, not exceeding one square foot in area, displaying the address of the owner or occupant is permitted. Address plaques may be internally illuminated. In addition, one building mounted nameplate for each separate address, not exceeding one square foot in area, is permitted indicating the name of the occupant or occupants at each separate address. These signs may be combined into one plaque with an area not exceeding two square feet.

5.9.4 Abandoned Signs

The City of Riverside may require any sign that has been abandoned for a period of 90 days or more to be removed upon written notification to the owner of the property on which the sign is located. Abandoned signs must be completely removed, including all poles, structures, cabinets, faces and electrical devices, within 30 days of the mailing of such a notice.

Section 5 – Development Regulations



5.10.4. Permissible Sign Locations

Unless specifically stated otherwise in the Riverwalk Vista Specific Plan, the location of all signs shall be subject to the provisions of the City's design review process as approved by the Planning Director.

5.10.5 Design Review

An application for a sign permit to construct or erect a new sign for a development shall be reviewed by the Planning Director. The Planning Director shall approve the application if the Director finds that such application satisfies the standards set forth in the Riverwalk Vista Specific Plan. Any decision made by the Planning Director may be appealed to the Planning Commission.

5.10.6 Permits, Maintenance, and Code Enforcement

All signage is subject to the provisions for permits, maintenance, and code enforcement of the Riverside Zoning Code, Section 19.76.210.

5.10.7 Amendments to Master Sign Plan

The Master Sign Plan approved for Riverwalk Vista may be amended by filing new or revised criteria with the Planning Director. These amendments may add to, delete, clarify or otherwise modify any part of the criteria as deemed necessary by the developer. The Planning Director shall approve the application if the Director finds that such application satisfies the standards set forth in these criteria. Any decision made by the Planning Director may be appealed to the Planning Commission.



SECTION 6. DESIGN GUIDELINES

The Riverwalk Vista design guidelines have been prepared to provide the framework for high quality design within the Project Site and to consider project wide issues as well as site specific issues. The guidelines express the desired character of future development and address site planning, architecture, and landscaping. Riverwalk Vista is designed to be an integrated residential community. Common development features such as signage, landscape and hardscape, walls and fences, and architecture are controlled throughout the development to provide unity and express a strong collective design statement.

The Design Guidelines establish development criteria to ensure a unified environment within the master plan. This document is not intended to limit innovative design, but rather to provide clear direction and design criteria.

The goals of the Riverwalk Vista Design Guidelines are as follows:

- To provide the City of Riverside with the necessary assurances that development within the master planned community will attain the desired level of quality;
- To serve as design criteria for use by planners, architects, landscape architects, engineers, builders and future property owners;
- To provide guidance to City Staff, Planning Commission and the City Council when reviewing future development within the Specific Plan area; and
- To provide a viable framework and clear direction without limiting the creativity of the designer, to avoid unnecessary delays.

The following guidelines apply to all uses within the Riverwalk Vista Specific Plan:

6.1. SITE DESIGN CONSIDERATIONS

- a. The proposed development shall be of a quality and character that is consistent with the City of Riverside design goals and policies including but not limited to scale, height, bulk, materials, cohesiveness, colors, roof pitch, roof eaves and the preservation of privacy.
- b. The design shall improve the overall appearance of the development by avoiding excessive variety and monotonous repetition.



- c. Proposed signage and landscaping shall be an integral architectural feature that does not overwhelm or dominate the structure or property.
- d. Lighting shall be stationary and deflected away from all adjacent properties, public streets and rights-of-way.
- e. Mechanical equipment, storage, trash areas, and utilities shall be architecturally screened from public views.
- f. Both sides of all perimeter wall or view fences shall be architecturally treated when visible to public view.
- g. Public bus shelters shall be designed in a manner compatible with the overall character and architecture represented in Riverwalk Vista.

6.2 RESIDENTIAL ARCHITECTURAL GUIDELINES

Based on the existing character and building development history of the area, several architectural themes are appropriate for the Riverwalk Vista residential community. Although these styles have historical reference, other themes that can be derived from the area's agrarian past may also be considered. Distinguishing characteristics of each architectural style envisioned for Riverwalk Vista are described below and in Tables 6 through 8 which follow.

Ranch / Agricultural Theme

- Horizontal emphasis of building forms
- Low character enhanced through the use of low-pitched roofs
- Frequently feature covered front porches, often covered with a broken-pitch roof
- Flat shake-like concrete roof tiles
- Use of accent materials and details providing a rustic appearance like siding materials or masonry wainscot.

Spanish Adobe

- Red tile sloping roofs in gable and cross-gable roof forms
- Stucco walls
- Courtyards
- Trellises
- Punched Windows or treated with trim



- Brightly colored ceramic tile as accents
- Decorative elements in gable ends

Mediterranean

- Combination of one and two-story building masses, often asymmetrical in form
- Hip roofs with the occasional use of gable roof forms
- Low pitched tiled roofs with minimum overhangs
- Articulation to building forms using tower elements or arcades
- Often feature arched elements at principal doors and/or windows
- Decorative elements such as patterned tiles, grille work, shutters are often used

Craftsman

- Horizontal character to building forms
- Low pitched gable roof forms
- Primary roof forms covering porch elements
- Decorative use of cross beams and braces
- Often feature tapered columns and pilasters
- Brick or stone elements visually anchoring the building mass to the ground plane

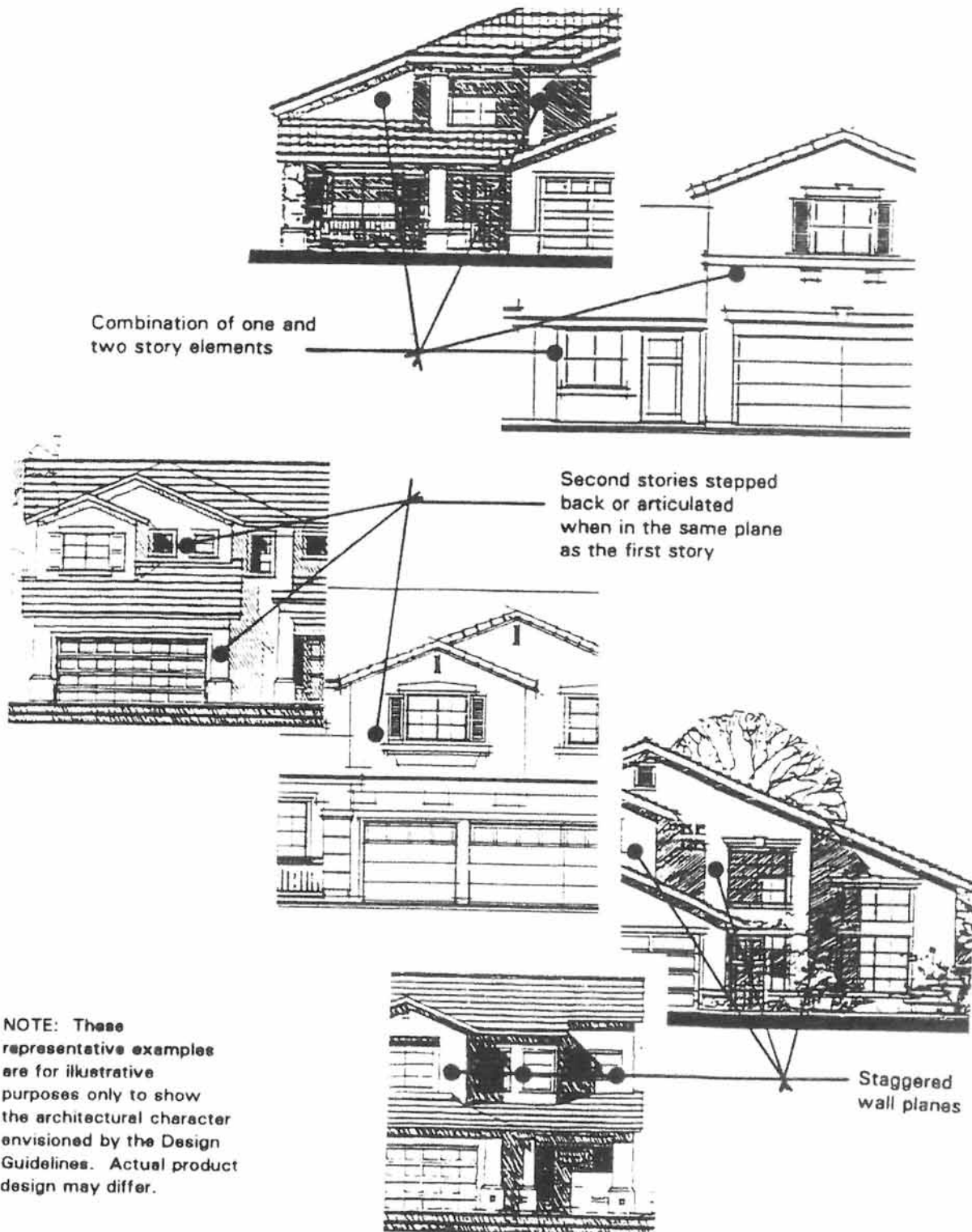
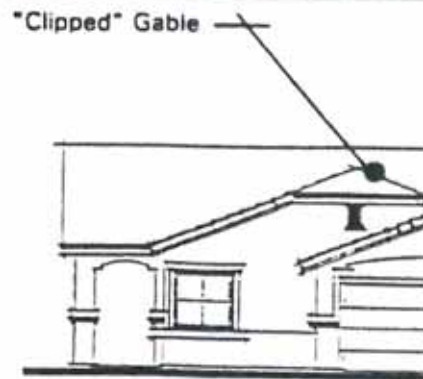


Exhibit 36, "Building Façade Vignettes"
Section 6. Design Guidelines



Gable Roof



Roof pitches between
4:12 and 8:12

NOTE: These
representative examples
are for illustrative
purposes only to show
the architectural character
envisioned by the Design
Guidelines. Actual product
design may differ.



Concrete or Clay Tiles



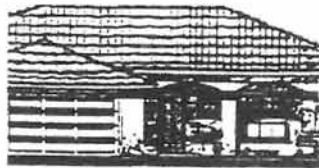
Roof overhangs
extending over porches
or entry elements



Exhibit 37, "Building Façade Vignettes"
Section 6. Design Guidelines



NOTE: These representative examples are for illustrative purposes only to show the architectural character envisioned by the Design Guidelines. Actual product design may differ.



Porches or courtyards integrated with the architecture of the building

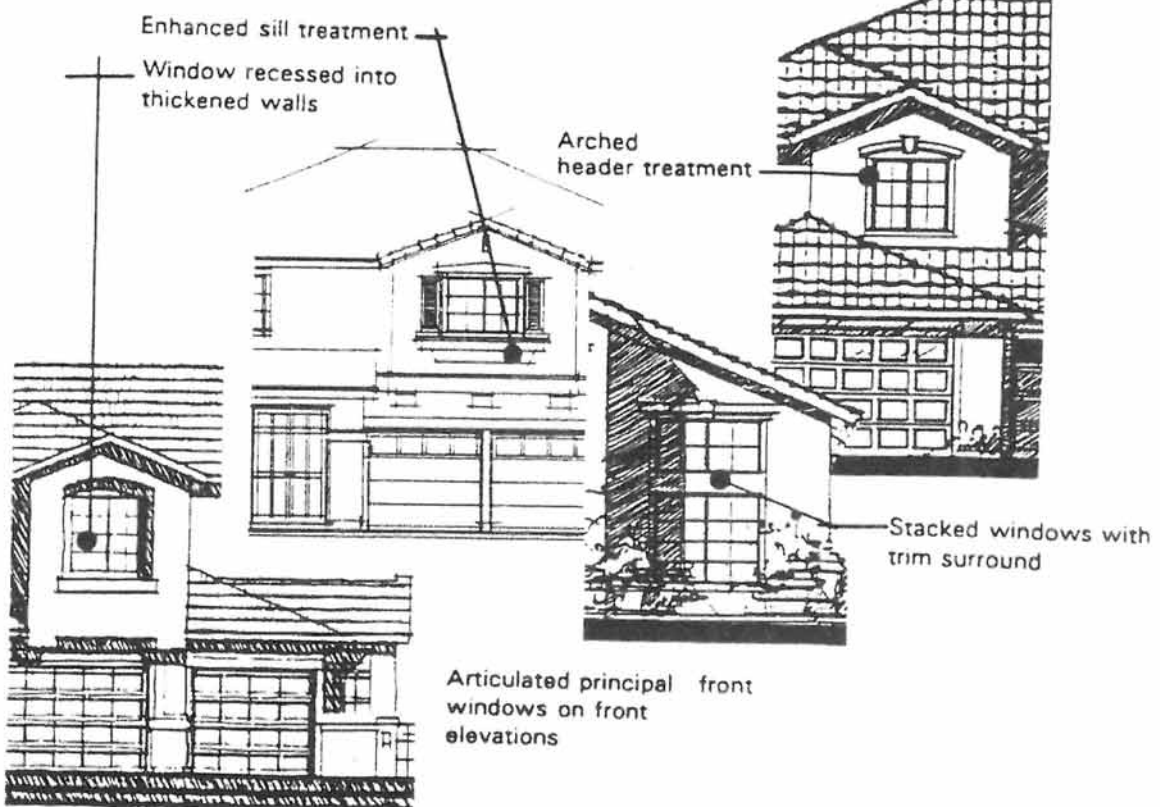


Exhibit 38, "Features and Accents Vignettes"
Section 6. Design Guidelines

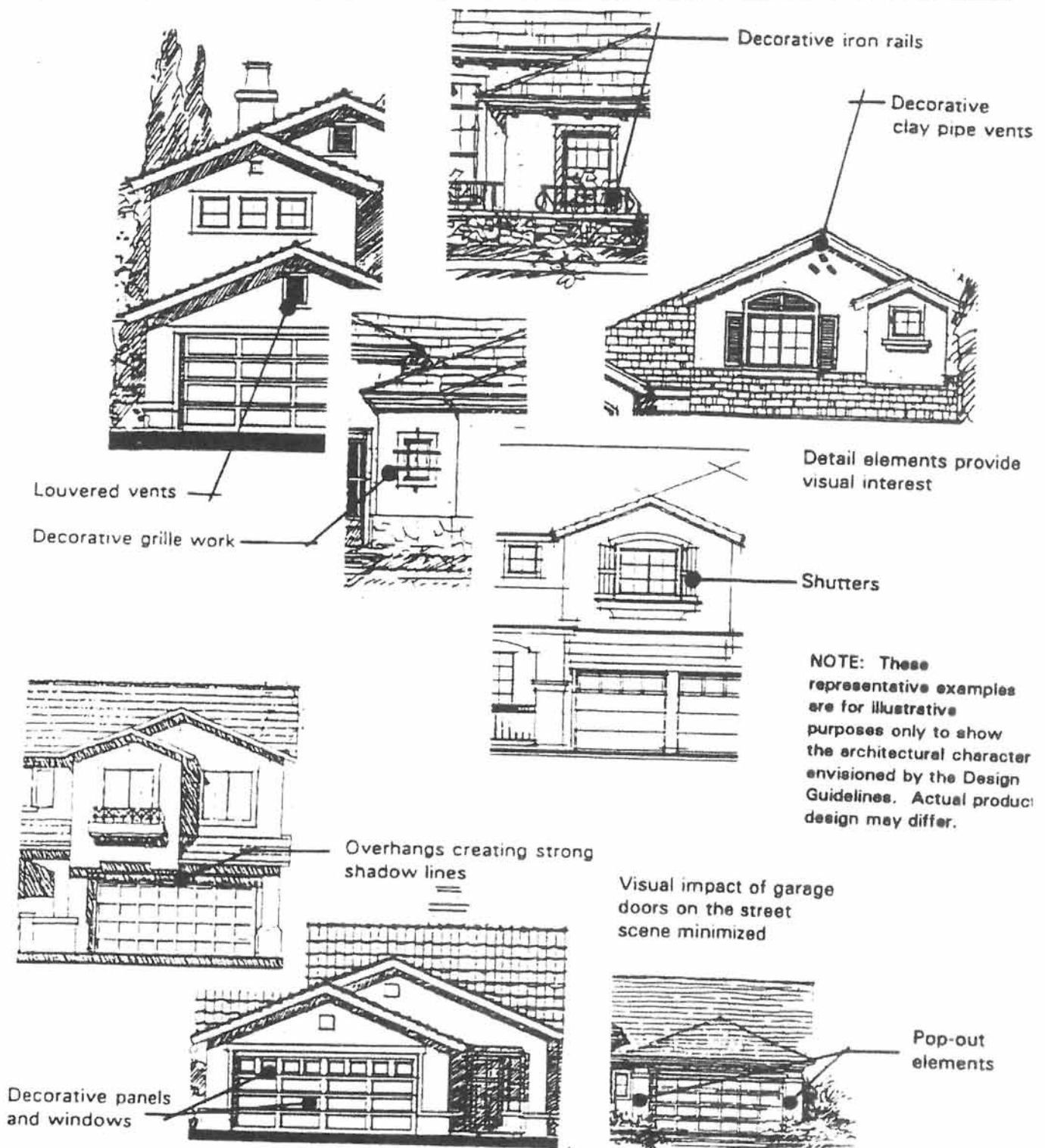


Exhibit 39, "Features and Accents Vignettes"
Section 6. Design Guidelines



TABLE 8 SINGLE FAMILY DETACHED DESIGN GUIDELINE MATRIX – VILLAGE 1

ARCHITECTURAL STYLE	
Architectural styles permitted within Single Family Detached neighborhoods	Ranch Spanish Adobe Mediterranean Craftsman
FLOOR PLANS / ELEVATIONS	
Floor Plans / Elevation Options	Single Family Detached neighborhoods shall consist of a minimum of 3 floor plans and 3 elevations options for each floor plan.
BUILDING MASSING AND SCALE	
Single Story Elements:	<ol style="list-style-type: none"> 1) At least 15% of the dwellings within a subdivision must be single story; <p style="text-align: center;">OR</p> <ol style="list-style-type: none"> 2) At least 15% of the dwellings within a subdivision must have a building mass which combines single story and two story building forms; <p style="text-align: center;">OR</p> <ol style="list-style-type: none"> 3) A combination of 1) and 2) above totaling at least 15% of the dwellings within the subdivision.
Staggered Wall Planes	<p>No building wall facing a public street or adjacent residential uses outside of Riverwalk Vista, shall extend more than 25' vertically or horizontally without a visual break created by a minimum 2' offset in the exterior wall or created by architectural detailing.</p> <ul style="list-style-type: none"> • Single Story Units <p>No more than 75% of the front elevation can be composed of a single wall plane.</p> <ul style="list-style-type: none"> • Two Story Units <p>No more than 60% of the front elevation can be composed of a single wall plane.</p>
WINDOW OPENINGS	
Front Elevations	<p>At least one principal window recessed into thickened walls or projected forward of the wall plane (Min. Recess or Projection is 12") And one of the following:</p> <ul style="list-style-type: none"> • Extended roof overhangs at principal windows (Minimum Overhang: 12") • Trim surrounds, headers, or sills at all windows (Min. Trim Material: 2" x 6") • Shutters at principal windows



Side and Rear Elevations –
2nd story windows which are visible from
perimeter streets, community open space
or other public spaces

A principal window created in one of the following ways is
required:

- Being recessed into thickened walls or projected
forward of the wall plane (Min. Recess or Projection
6")
- Extended roof overhangs at principal window
(Minimum Overhang: 12")
- Shutters at Principal window
- Trim surrounds, headers, or sills at all windows
(Minimum Trim Material 2" x 6")

BUILDING MATERIAL & COLOR BLOCKING

Any elevation visible from interior streets,
perimeter streets, community open space
or other public spaces

Material and color blocking shall not terminate at an outside
corner

COLOR SCHEMES

Number of color schemes required:

4 color schemes (min.) per subdivision. Each color scheme
shall have at least 3 colors, including:

- Base Color 70% Maximum (Front Elevation)
- Accent -
- Trim -

ROOFS

Main Roof Form	Percent of Units
Side / Side Gable	45% Max.
Front / Rear Gable	45% Max.
Hip / Partial Hip	45% Max

Roof Pitch	4:12 to 8:12
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Roof Overhang	<ul style="list-style-type: none"> • Roof eaves shall have a minimum of 12" overhang; or may be reduced to a 6" overhang when a corresponding fascia element 12" or greater in height is provided. • Rakes may be tight or have a 12" overhang as appropriate to the architectural style of the residence.
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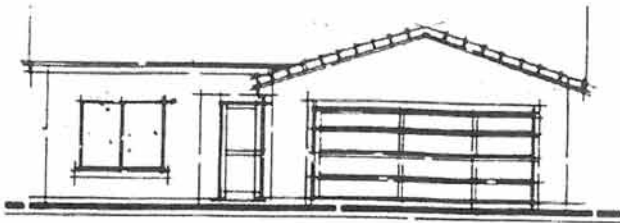
Roof Material	<ul style="list-style-type: none"> • Concrete or Clay Tiles in shapes consistent with the selected architectural style.
---------------	--

Roof Finish	<ul style="list-style-type: none"> • Matte finish to minimize glare
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Section 6. Design Guidelines



Skylights	<ul style="list-style-type: none"> Framing material shall be colored to match the adjoining roof. White dome skylights are not permitted.
Mechanical Equipment	<ul style="list-style-type: none"> Roof mounted air conditioners are not permitted. All pipes, vents and other similar equipment shall be painted to match the roof surface
MISCELLANEOUS	
Light and Glare	<ul style="list-style-type: none"> Street lighting shall be per City standards Homeowner and association lighting other than street lighting, shall be shielded to minimize illumination of adjacent lots or properties and to reduce glare. Freestanding poles used for homeowner or association lighting other than street lighting, shall not exceed a maximum height of 14'.
Utilities	All utility connections from the main line in the public right-of-way to building shall be located underground.



SINGLE STORY

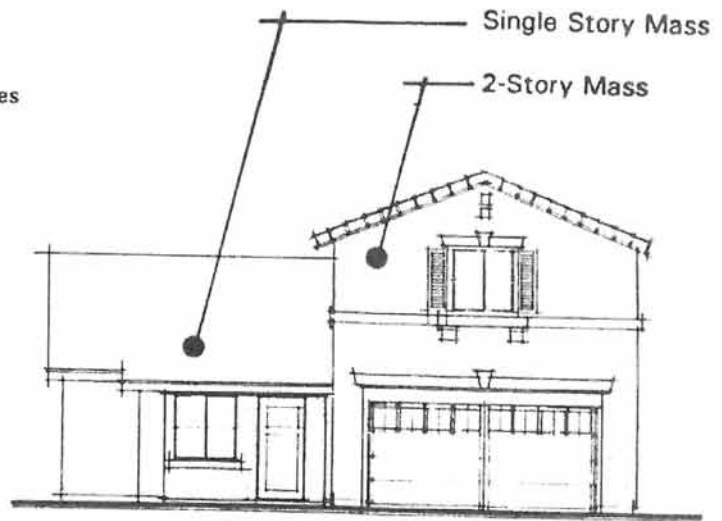
1) At least 15% of the dwellings within a subdivision must be single story;

OR

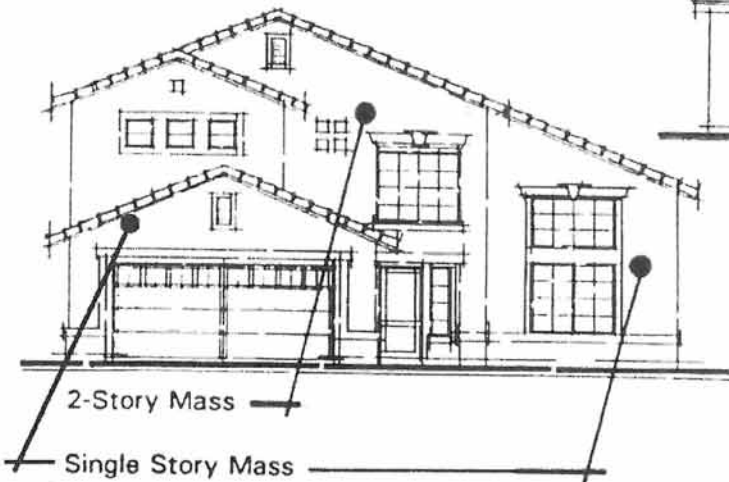
2) At least 15% of the dwellings within a subdivision must have a building mass which combines single story and two story building forms;

OR

3) A combination of 1) and 2) above totalling at least 15% of the dwellings within the subdivision.



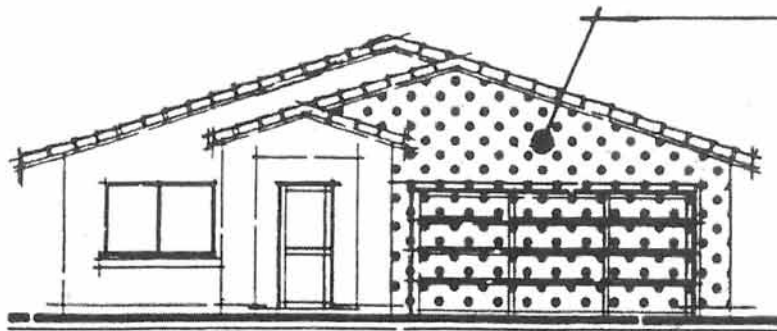
**COMBINATION
SINGLE STORY & TWO STORY**



RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

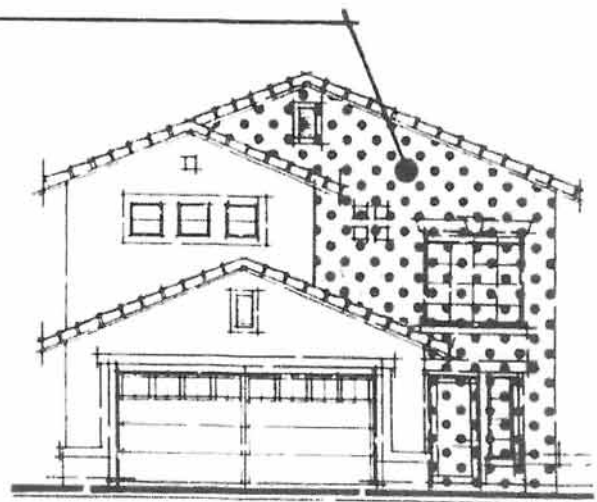
Specific Plan



SINGLE STORY UNITS
No more than 75% of
the front elevation can
be composed of a single
wall plane.

SINGLE STORY

TWO STORY UNITS
No more than 60% of
the front elevation can
be composed of a single
wall plane.

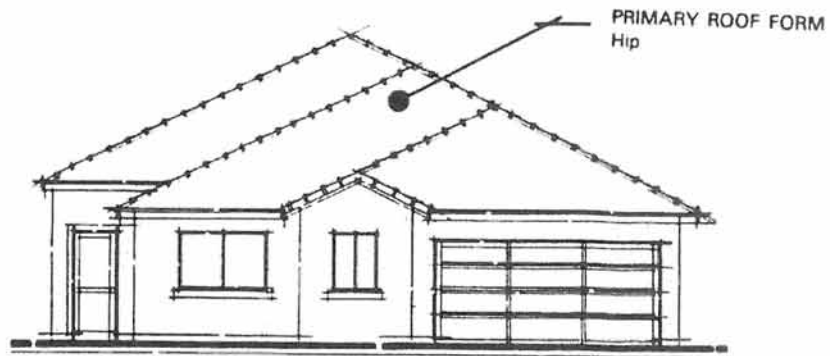
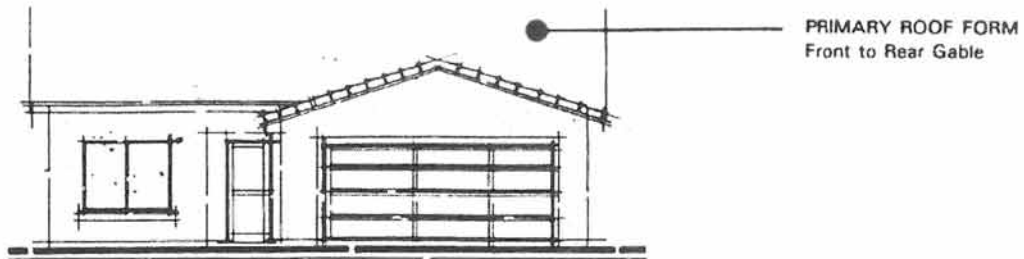


TWO STORY

NOTE

Minimum vertical or
horizontal offset is 2'.

Exhibit 41, "Village 1: Staggered Wall Planes"
Section 6. Design Guidelines



The primary roof form is a key element in creating diversity and visual interest to the street scene. In order to ensure that this diversity is achieved, the primary roof forms must meet these minimum requirements:

Side/Side Gable	Max. 45% of units in subdivision
Front/Rear Gable	Max. 45% of units in subdivision
Hip/Partial Hip	Max. 45% of units in subdivision

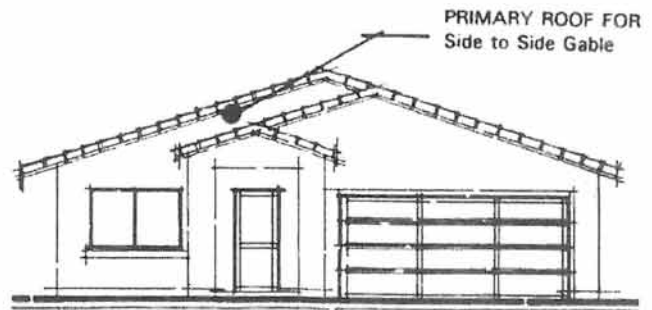


Exhibit 42, "Village 1: Primary Roof Forms"
Section 6. Design Guidelines



TABLE 9 SINGLE FAMILY DETACHED CLUSTER DESIGN MATRIX – VILLAGE 2

ARCHITECTURAL STYLE	
Architectural styles permitted within Single Family Detached Cluster neighborhoods	Ranch Spanish Adobe Mediterranean Craftsman
FLOOR PLANS / ELEVATIONS	
Floor Plans / Elevation Options	SFD Cluster neighborhoods shall consist of a minimum of 3 floor plans and 3 elevations options for each floor plan.
BUILDING MASSING AND SCALE	
Single Story Elements:	At least 15% of the dwellings within a subdivision shall have a single story element (porches qualify as a single story element).
Staggered Wall Planes	No building wall facing a public street or adjacent residential uses outside of Riverwalk Vista, shall extend more than 25' vertically or horizontally without a visual break created by a minimum 1' offset in the exterior wall or created by architectural detailing. No more than 60% of the front elevation on a 2-story residence can be composed of a single wall plane.
WINDOW OPENINGS	
Front Elevations	Front elevations must feature at least one of the following: <ul style="list-style-type: none"> Extended roof overhangs at principal windows (Minimum Overhang: 12") Trim surrounds, headers, or sills at all windows (Min. Trim Material: 2" x 6") Shutters at principal windows
Side and Rear Elevations - 2nd story windows which are visible from perimeter streets, community open space or other public spaces	A principal window as one of the following is required: <ul style="list-style-type: none"> Recessed into thickened walls or projected forward of the wall plane (Min. Recess or Projection 6") Extended roof overhangs at principal window (Minimum Overhang: 12") Shutters at Principal window Trim surrounds, headers, or sills at all windows. (Minimum Trim Material 2" x 6")
BUILDING MATERIAL & COLOR BLOCKING	
Any elevation visible from interior streets, perimeter streets, community open space or other public spaces	Material and color blocking shall not terminate at an outside corner.



COLOR SCHEMES

Number of color schemes required:	4 color schemes (min.) per subdivision. Each color scheme shall have at least 3 colors, including: Base Color 70% Maximum (Front Elevation) Accent - Trim -
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ROOFS

Main Roof Form	Percentage of Units
Side / Side Gable	45% Max.
Front / Rear Gable	45% Max.
Hip / Partial Hip	45% Max.
Roof Pitch	4:12 to 8:12
Roof Overhang	Roof eaves shall have a minimum of 12" overhang; or may be reduced to a 6" overhang when a corresponding fascia element 12" or greater in height is provided. Rakes may be tight or have a 12" overhang as appropriate to the architectural style of the residence.
Roof Material	Concrete or Clay Tiles in shapes consistent with the selected architectural style.
Roof Finish	Matte finish to minimize glare
Skylights	Framing material shall be colored to match the adjoining roof. White dome skylights are not permitted.
Mechanical Equipment	Roof mounted air conditioners are not permitted. All pipes, vents and other similar equipment shall be painted to match the roof surface

MISCELLANEOUS

Light and Glare	Street lighting shall be per City standards. Homeowner and association lighting other than street lighting, shall be shielded to minimize illumination of adjacent lots or properties and to reduce glare. Freestanding poles used for homeowner or association lighting other than street lighting, shall not exceed a maximum height of 14'.
Utilities	All utility connections from the main line in the public right-of-way to building shall be located underground.



Single Story
Element



Single Story
Element

At least 15% of the dwellings within a subdivision shall have a single story element (porches qualify as a single story element).

Single Story
Element



Exhibit 43, "Village 2: Building Massing/Single-Story Elements"
Section 6. Design Guidelines



On two story units, no more than 60% of the from elevation can be composed of a single wall plane



Varying wall planes

Varying wall planes, no more than 60% as a single wall plane



Exhibit 44, "Village 2: Staggered Wall Planes"
Section 6. Design Guidelines

RIVERWALK VISTA

Griffin Industries
Forestar Riverside, LLC

Specific Plan



Primary Roof Form
Front to Rear Gable
Max. 45% of units



Primary Roof Form
Hip
Max. 45% of units

The primary roof form is a key element in creating diversity and visual interest to the street scene. In order to ensure that this diversity is achieved, the primary roof forms must meet the minimum requirements as noted.



Primary Roof Form
Side to Side Gable
Max. 45% of units

Exhibit 45, "Village 2: Primary Roof Forms" Section 6. Design Guidelines



Table 10 Single Family Detached Cluster Patio Homes Design Matrix – Village 3

ARCHITECTURAL STYLE		
Architectural styles permitted within Single Family Detached Cluster neighborhoods	Ranch Spanish Adobe	Mediterranean Craftsman
FLOOR PLANS / ELEVATIONS		
Floor Plans / Elevation Options	SFD Cluster Patio neighborhoods shall consist of a minimum of 3 floor plans and 3 elevations options for each floor plan.	
BUILDING MASSING AND SCALE		
Single Story Elements:	At least 15% of the dwellings within a subdivision shall have single story element (porch element qualifies).	
Staggered Wall Planes	No more than 60% of the front elevation can be composed of a single wall plane.	
WINDOW OPENINGS		
Front Elevations	Front elevations must feature at least one of the following: <ul style="list-style-type: none">Extended roof overhangs at principal windows (Minimum Overhang: 12")Trim surrounds, headers, or sills at all windows (Min. Trim Material: 2" x 6")Shutters at principal windows	
Side and Rear Elevations - 2nd story windows which are visible from perimeter streets, community open space or other public spaces	A principal window as one of the following is required: <ul style="list-style-type: none">Recessed into thickened walls or projected forward of the wall plane (Min. Recess or Projection 6")Extended roof overhangs at principal window (Minimum Overhang: 12")Shutters at Principal windowTrim surrounds, headers, or sills at all windows. (Minimum Trim Material 2" x 6")	
BUILDING MATERIAL & COLOR BLOCKING		
Any elevation visible from interior streets, perimeter streets, community open space or other public spaces	Material and color blocking shall not terminate at an outside corner.	
COLOR SCHEMES		
Number of color schemes required:	4 color schemes (min.) per subdivision. Each color scheme shall have at least 3 colors, including:	

Section 6. Design Guidelines



Base Color 70% Maximum (Front Elevation)
 Accent -
 Trim -

ROOFS

Roof Pitch	4:12 to 8:12
Roof Overhang	Roof eaves shall have a minimum of 12" overhang; or may be reduced to a 6" overhang when a corresponding fascia element 12" or greater in height is provided. Rakes may be tight or have a 12" overhang as appropriate to the architectural style of the residence.
Roof Material	Concrete or Clay Tiles in shapes consistent with the selected architectural style.
Roof Finish	Matte finish to minimize glare
Skylights	Framing material shall be colored to match the adjoining roof. White dome skylights are not permitted.
Mechanical Equipment	Roof mounted air conditioners are not permitted. All pipes, vents and other similar equipment shall be painted to match the roof surface

MISCELLANEOUS

Light and Glare	Street lighting shall be per City standards. Homeowner and association lighting other than street lighting, shall be shielded to minimize illumination of adjacent lots or properties and to reduce glare. Freestanding poles used for homeowner or association lighting other than street lighting, shall not exceed a maximum height of 14'.
Utilities	All utility connections from the main line in the public right-of-way to building shall be located underground.



Single Story
Element



Single Story
Element



At least 15% of the dwellings within a subdivision shall have a single story element (porches qualify as a single story element).

Single Story
Element



Exhibit 46 "Village 3" Building Massing"
Section 6. Design Guidelines



TABLE 11 SINGLE FAMILY DETACHED CLUSTER DESIGN MATRIX – VILLAGE 4

ARCHITECTURAL STYLE	
Architectural styles permitted within Single Family Detached Cluster neighborhoods	Spanish Mediterranean Craftsman Ranch
FLOOR PLANS / ELEVATIONS	
Floor Plans / Elevation Options	Single Family Detached neighborhoods shall consist of a minimum of 3 floor plans and 3 elevations options for each floor plan.
BUILDING MASSING AND SCALE	
Single Story Elements:	At least 15% of the dwellings within a subdivision shall have a single story element (porches qualify as a single story element).
Staggered Wall Planes	No building wall facing a public street or adjacent residential uses outside of Riverwalk Vista, shall extend more than 25' vertically or horizontally without a visual break created by a minimum 1' offset in the exterior wall or created by architectural detailing. No more than 65% of the front elevation on a 2-story residence can be composed of a single wall plane.
WINDOW OPENINGS	
Front Elevations	All windows to have trim surrounds, headers or sills (min trim material 1X4) and window grids. Front elevations should feature one principal window with at least one of the following: <ul style="list-style-type: none"> • Extended roof overhangs at principal window (Minimum Overhang: 12") • Potshelf or expanded sill at principal window • 5 ½" min. recess or projection at principal window • Wrought iron grill at principal window • Shutters at principal window
Side and Rear Elevations - 2nd story windows which are visible from perimeter streets, community open space or other public spaces	All second story, visible windows to have trim surrounds, headers or sills (min. trim material 1x4) and window grids. One principal window as one of the following is encouraged: <ul style="list-style-type: none"> ▪ Recessed into thickened walls or projected forward of the wall plane (Min. Recess or Projection 5 ½") ▪ Extended roof overhangs at principal window (Minimum Overhang: 12") ▪ Shutters at Principal window ▪ Potshelf or expanded sill at principal window

Section 6. Design Guidelines



BUILDING MATERIAL & COLOR BLOCKING

Any elevation visible from interior streets, perimeter streets, community open space or other public spaces

Material and color blocking shall not terminate at an outside corner in front elevation. At sides, provide minimum 18" return at siding and 24" at masonry or stucco wainscot.

COLOR SCHEMES

Number of color schemes required:

4 color schemes (min.) per subdivision. Each color scheme shall have at least 3 colors, including:
Base Color
Trim
Accent or second trim color

ROOFS

Main Roof Form

Percentage of Units

Side / Side Gable
Front / Rear Gable
Hip / Partial Hip

30% Max.
70% Max.
70% Max.

Roof Pitch

4:12 to 8:12

Roof Overhang

Roof eaves shall have a minimum of 12" overhang; or may be reduced to a 6" overhang when a corresponding fascia element 12" or greater in height is provided. Rakes may be tight or have a 6-12" overhang as appropriate to the architectural style of the residence.

Roof Material

Concrete or Clay Tiles in shapes consistent with the selected architectural style.

Roof Finish

Matte finish to minimize glare

Skylights

Framing material shall be colored to match the adjoining roof.
White dome skylights are not permitted.

Mechanical Equipment

Roof mounted air conditioners are not permitted. All pipes, vents and other similar equipment shall be painted to match the roof surface

FRONT PORCHES AND COURTYARDS

Within each neighborhood, 60% of homes to have either a front porch or courtyard

- Front porches and courtyards are to be a minimum 60 sf with minimum dimension of 6'-0"
- Typical porch setback to be 14'-0" min., but one home configuration per village can have 10'-6" setback minimum
- Front courtyard to have a max 59" height wall with 5'-0" minimum front setback. Limited wall elements can have 60" height and wall material to be compatible with the architectural style of the home.

Section 6. Design Guidelines



MISCELLANEOUS

Light and Glare

Street lighting shall be per City standards. Homeowner and association lighting other than street lighting, shall be shielded to minimize illumination of adjacent lots or properties and to reduce glare. Freestanding poles used for homeowner or association lighting other than street lighting, shall not exceed a maximum height of 14'.

Utilities

All utility connections from the main line in the public right-of-way to building shall be located underground.



Single Story
Element



Single Story
Element

At least 15% of the dwellings within a subdivision shall have a single story element (porches qualify as a single story element).

Single Story
Element



Exhibit 46 A "Village 4: Building Massing/Single Story Elements"
Section 6. Design Guidelines



On two story units,
no more than 65% of
the front elevation
can be composed of
a single wall plane

Varying wall
planes



Varying wall planes,
no more than 65% as
a single wall plane



Exhibit 46 B, "Village 4: Staggered Wall Planes"
Section 6. Design Guidelines



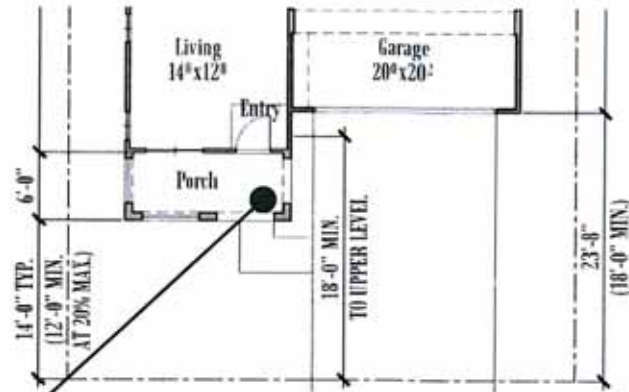
Primary Roof Form
Hip
Max. 70% of units

The primary roof form is a key element in creating diversity and visual interest to the street scene. In order to ensure that this diversity is achieved, the primary roof forms must meet the minimum requirements as noted.



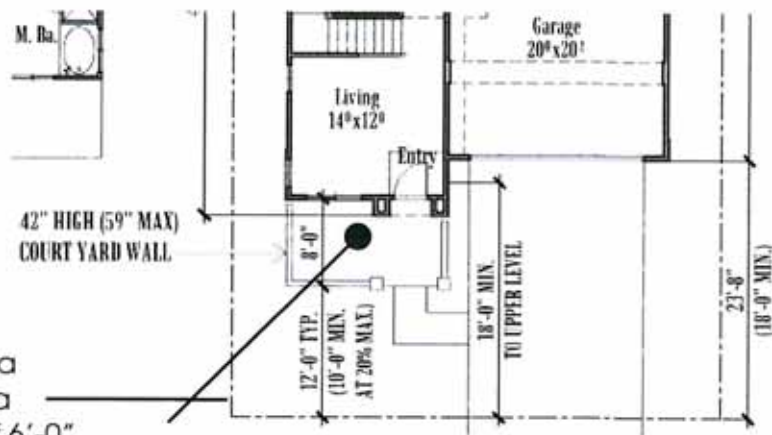
Primary Roof Form
Front to Rear Gable
Max. 70% of units

Exhibit 46 C "Village 4: Primary Roof Forms"
Section 6. Design Guidelines



Front Porch to be a
Minimum of 60 sf with a
minimum dimension of 6'-0"

60 % of homes in each neighborhood
to have either front porch or courtyard



Front Courtyard to be a
Minimum of 60 sf with a
minimum dimension of 6'-0"

Exhibit 46 D "Village 4: Front Porches and Courtyards"
Section 6. Design Guidelines



TABLE 12 SINGLE FAMILY DETACHED CLUSTER DESIGN MATRIX – VILLAGE 5

ARCHITECTURAL STYLE	
Architectural styles permitted within Single Family Detached Cluster neighborhoods	Spanish Mediterranean Ranch Craftsman
FLOOR PLANS / ELEVATIONS	
Floor Plans / Elevation Options	Single Family Detached neighborhood shall consist of a minimum of 3 floor plans and 3 elevations options for each floor plan.
BUILDING MASSING AND SCALE	
Single Story Elements:	At least 15% of the dwellings within a subdivision shall have a single story element (porches qualify as a single story element).
Staggered Wall Planes	No building wall facing a public street or adjacent residential uses outside of Riverwalk Vista, shall extend more than 25' vertically or horizontally without a visual break created by a minimum 1' offset in the exterior wall or created by architectural detailing. No more than 65% of the front elevation on a 2-story residence can be composed of a single wall plane.
WINDOW OPENINGS	
Front Elevations	All windows to have trim surrounds, headers or sills (min trim material 1X4) and window grids. Front elevations should feature one principal window with at least one of the following: <ul style="list-style-type: none"> Extended roof overhangs at principal window (Minimum Overhang: 12") Potshelf or expanded sill at principal window 5 ½" min. recess or projection at principal window Wrought iron grill at principal window Shutters at principal window
Side and Rear Elevations - 2nd story windows which are visible from perimeter streets, community open space or other public spaces	All second story, visible windows to have trim surrounds, headers or sills (min. trim material 1x4) and window grids. One principal window as one of the following is encouraged: <ul style="list-style-type: none"> Recessed into thickened walls or projected forward of the wall plane (Min. Recess or Projection 5 ½") Extended roof overhangs at principal window (Minimum Overhang: 12") Shutters at Principal window Potshelf or expanded sill at principal window

**BUILDING MATERIAL & COLOR BLOCKING**

Any elevation visible from interior streets, perimeter streets, community open space or other public spaces

Material and color blocking shall not terminate at an outside corner in front elevation. At sides, provide minimum 18" return at siding and 24" at masonry or stucco wainscot.

COLOR SCHEMES

Number of color schemes required:

4 color schemes (min.) per subdivision. Each color scheme shall have at least 3 colors, including:

Base Color

Trim

Accent or second trim color

ROOFS

Main Roof Form

Percentage of Units

Side / Side Gable

30% Max.

Front / Rear Gable

70% Max.

Hip / Partial Hip

70% Max.

Roof Pitch

4:12 to 8:12

Roof Overhang

Roof eaves shall have a minimum of 12" overhang; or may be reduced to a 6" overhang when a corresponding fascia element 12" or greater in height is provided. Rakes may be tight or have a 6"-12" overhang as appropriate to the architectural style of the residence.

Roof Material

Concrete or Clay Tiles in shapes consistent with the selected architectural style.

Roof Finish

Matte finish to minimize glare

Skylights

Framing material shall be colored to match the adjoining roof.
White dome skylights are not permitted.

Mechanical Equipment

Roof mounted air conditioners are not permitted. All pipes, vents and other similar equipment shall be painted to match the roof surface

FRONT PORCHES AND COURTYARDS

Within each neighborhood, 60% of homes to have either a front porch or courtyard

- Front porches and courtyards are to be a minimum 60 sf with minimum dimension of 6'-0" X 10'-0".
- Typical porch setback to be 14'-0" min.
- Front courtyard to have a maximum 59" height wall with 12'-0" minimum front setback. Limited wall elements can have 60" height and wall material to be compatible with architectural style of the home.



MISCELLANEOUS

Light and Glare

Street lighting shall be per City standards. Homeowner and association lighting other than street lighting, shall be shielded to minimize illumination of adjacent lots or properties and to reduce glare. Freestanding poles used for homeowner or association lighting other than street lighting, shall not exceed a maximum height of 14'.

Utilities

All utility connections from the main line in the public right-of-way to building shall be located underground.



Single Story
Element



Single Story
Element

At least 15% of the dwellings within a subdivision shall have a single story element (porches qualify as a single story element).

Single Story
Element



Exhibit 46 E "Village 5: Building Massing/Single Story Elements"
Section 6. Design Guidelines



On two story units, no more than 60% of the front elevation can be composed of a single wall plane

Varying wall planes



Varying wall planes, no more than 60% as a single wall plane



Exhibit 46 F "Village 5: Staggered Wall Planes"
Section 6. Design Guidelines



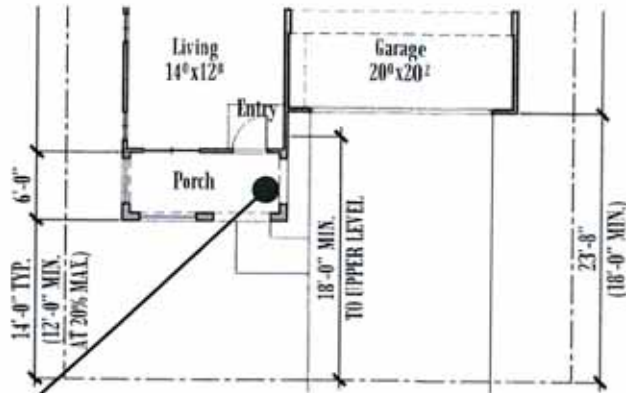
Primary Roof Form
Hip
Max. 70% of units

The primary roof form is a key element in creating diversity and visual interest to the street scene. In order to ensure that this diversity is achieved, the primary roof forms must meet the minimum requirements as noted.



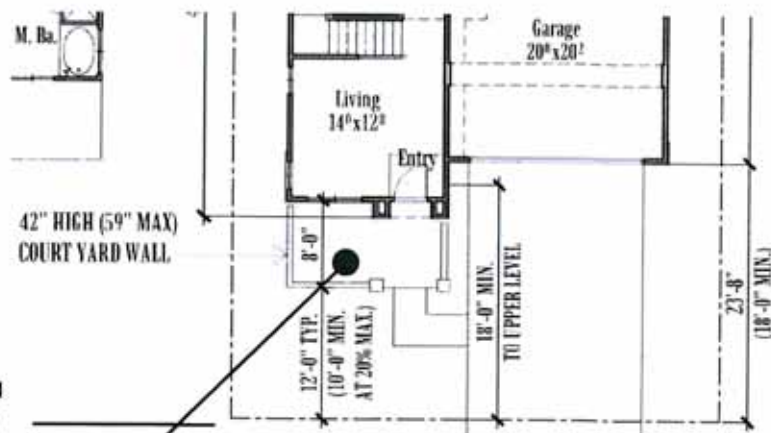
Primary Roof Form
Front to Rear Gable
Max. 70% of units

Exhibit 46 G "Village 5: Primary Roof Forms"
Section 6. Design Guidelines



Front Porch to be a
Minimum of 60 sf with a
minimum dimension of 6'-0"

60 % of homes in each neighborhood
to have either front porch or courtyard



Front Courtyard to be a
Minimum of 60 sf with a
minimum dimension of 6'-0"

Exhibit 46 H "Village 5: Front Porches and Courtyards"
Section 6. Design Guidelines



6.3 COMMERCIAL ARCHITECTURAL DESIGN GUIDELINES

The architectural theme of commercial areas within Riverwalk Vista should be similar to the blend of traditional and contemporary styles found in the Riverside area. These styles include traditional southwest themes such as Spanish Colonial, California Mission, Pueblo and Territorial. Contemporary architecture found in the Riverside area includes modern interpretations of classical styles. Distinguishing characteristics of commercial architectural style for Riverwalk Vista are described below.

6.3.1 *Form, Height, and Massing*

- a. Architecture should address public areas with high quality materials and should contain architectural elements and other detail relating to the human scale.
- b. Structures should project a "stately" appearance. This requires that groups of buildings be arranged in clusters around elements such as landscaped pedestrian walkways or landscaped areas.
- c. Use of varied roof forms and offsets in the project is encouraged over singular monolithic roofs.
- d. All roof equipment shall be enclosed behind the parapet, in a penthouse or otherwise screened as to not be visible from a public street or right of way.
- e. Retail and restaurant buildings with facades parallel to the street with covered pedestrian arcades are encouraged. Long unarticulated facades should be avoided.

6.3.2 *Materials*

- a. Use of attractive, durable, high quality, weather resistant materials should be required for all visible and weather exposed surfaces on the building exterior.
- b. The use of integrally colored inorganic materials such as brick, concrete, stone, copper, core ten steel, and anodized aluminum are encouraged.
- c. The use of bright vibrant colors and primary colors are acceptable for signage but otherwise should be limited to accents graciously employed.



6.4 *Landscape Design Guidelines*

Riverwalk Vista is a unique project, taking advantage of its natural views and combining them with a mix of informal and formal plantings to instill character and a sense of community. The following design criteria should be used as a guide to create a safe and enjoyable community for all.

In both public and private spaces, the following general criteria should be followed:

- Select plant material that compliments the scale of the architecture
- Select plant material that is considerate of water use and long term maintenance needs
- Use formal plant and tree groupings against community architecture. Tree sizes should be consistent in these spaces.
- Use a combination of formal and informal plant and tree groupings along natural open spaces and trails. In informal areas, tree sizes should vary.
- Buffer undesirable perimeter slope edges by using evergreen trees and shrubs rather than tall, obtrusive walls.
- Consider view opportunities from the neighborhoods to the surrounding landscape. Frame these views rather than leave them completely open.
- Pedestrian connections and residential streets should offer canopy trees and flowering accent trees to provide shade and color.
- Specimen trees (minimum 48" box) should be used at entries, within open space areas, at the end of long streets, and in key planting medians to provide focal points. These trees will help create the feeling of an older, well-established, neighborhood.
- Fountains may be located at the main entries and street entries. Fountains should reflect the character and scale of the neighborhood.

6.4.1 *Streetscapes*

A unified street tree program will be used throughout the community to reinforce the character of Riverwalk Vista. The interior streets consist of a "Main Loop Road" and various interior residential streets. The perimeter streetscapes of Indiana Avenue, Arizona Avenue, Vallejo Street, and La Sierra Avenue, should be developed using the City of Riverside standards. Below are the criteria that should be followed to develop the interior streetscapes of Riverwalk Vista.



Main Loop Road

The Main Loop Road is a key street that serves to link the two main entrances into Riverwalk Vista, the primary entrance at Indiana Avenue and the entrance at La Sierra Avenue. As the primary street running through the development, the Main Loop Road serves to set a relaxed and informal tone that characterizes Riverwalk Vista. Bordered by open space and natural landscaped slopes, the Main Loop Road provides an inviting street scene, as well and encourages a leisurely drive through the community.

Key design elements of the Main Loop Road are as follows:

- Trees along the Main Loop Road provide a consistent flow creating a strong vehicular path.
- Informal and open spacing allows for views of the surrounding area.
- Natural planting along Main Loop Road reinforces the relaxed and informal character of Riverwalk Vista.
- Parkway separated sidewalks provide for a safe and pleasant walk in the shade of trees without obstructing surrounding views.
- Informal groupings of deciduous and evergreen trees along the main road create an aesthetically pleasing streetscape throughout the seasons.
- Active and passive open space with benches and informal garden areas allow for a relaxing stroll through Riverwalk Vista.

Interior Residential Streets

Stemming from the Main Loop Road, the Interior Residential streets provide access to the residential neighborhoods. One of the goals within the Riverwalk Vista Master Plan is to create a walkable interior streetscape, allowing for neighborhood interaction and activity.

Key design elements of the Interior Residential Streetscape are as follows:

- Street trees should be a minimum of 24" box and 30' to 40' on center planted in accordance with the most current City planting standards.
- Street fronting homes encourage friendly interaction between residents and passersby.
- Shaded walks encourage active and social neighborhoods.

Section 6. Design Guidelines



- Varied street trees create unique and intimate neighborhoods.
- Open space integrated within interior streets to assist in creating a neighborhood core.

6.4.2 Themed Entries and Community Monuments

Riverwalk Vista will have two main entries, one along Indiana Avenue and one along La Sierra Avenue. The entries will use a combination of built and natural materials to provide a recognizable gateway to the site. These entries are to include the following:

- Enhanced stone entry walls
- Decorative iron vehicular and pedestrian gates
- Decorative project signage
- Enhanced plant material and specimen trees

In addition to the main entries, an additional monument will be located at the corner of Indiana Avenue and La Sierra Avenue. This monument will serve as the main project announcement and will give identity to the Project Site. Integrated against the backdrop of the large slope area, the monument will include the use of rock and water to create a sublime yet unobtrusive feel to the corner. The use of an informal setting of evergreen and deciduous trees will further enhance the entity and give it a natural feel.

6.4.3 Open Space

Riverwalk Vista includes a large amount of open space that can be used for both passive and active recreation. The open space areas are linked by trails and sidewalks to create a sense of one cohesive greenspace throughout the community.

In all open space conditions, plant material should be selected using the following criteria:

- Select plant material that is consistent with the scale of the space.
- Use a combination of deciduous and evergreen specimens that compliment the seasonal change of the area.
- Combine plant material of different colors and textures to create visual interest.
- Layer plant material in passive areas to create "garden rooms"

Section 6. Design Guidelines



Passive Open Space

Passive open space is located throughout every neighborhood in the community. Elements in these areas are to include:

- Enhanced sidewalks
- Metal or wood benches
- Small traditional garden spaces
- Garden ornament

These spaces can be used for private reflection or can be utilized as meeting points, family picnic areas, or small play areas.

Active Open Space

A primary active open space area will be located just to the south of the main entry off of Indiana Avenue. This primary active open space area may include the following elements:

- A 25 meter junior Olympic size swimming pool
- half-court basketball courts
- Tot lot
- Restrooms
- Fireplace
- Barbecues
- Open turf areas for active play

Other, smaller secondary active open space areas may occur throughout the community. These smaller areas may contain the following elements.

- Tot lots
- Benches
- Large open turf areas for play

6.4.4 Perimeter Conditions

Walls and Fences

- Perimeter "green" walls surround the development in order to create a soft appearance yet enhance the natural character of Riverwalk Vista.



- Walls and fences should relate to the style and scale of architecture.
- Privacy walls along Main Loop Road and Interior Residential Streets serve to define private space from public space.
- Wood fences are permitted to enclose the rear and side yards not visible from the project perimeter or interior streets or courts.
- Tubular steel fence along residential property lines at the top of the Main Loop Road allow for maximum exposure to views of the surrounding area.
- View fencing interrupts green walls along the perimeter for peeks into Riverwalk Vista.

Slopes

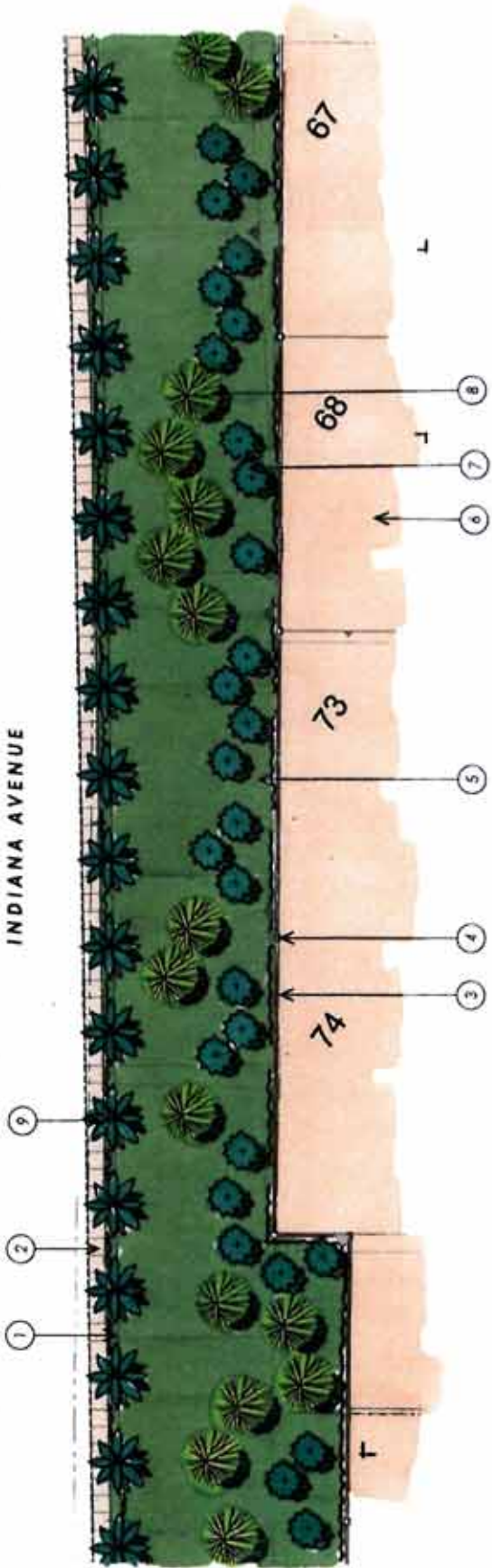
The perimeter slopes serve as a buffer from the adjacent streets, as well as assist in creating the natural, informal atmosphere of Riverwalk Vista.

Key design elements of the Perimeter Slopes are as follows:

- Slope planting helps to ensure safety and privacy.
- The slopes serve to enhance the natural design character of Riverwalk Vista.
- Openings within the tree groupings allow peeks into and out of the development.
- Informal grouping of deciduous and evergreen trees along perimeter slope serve to create a year round buffer.

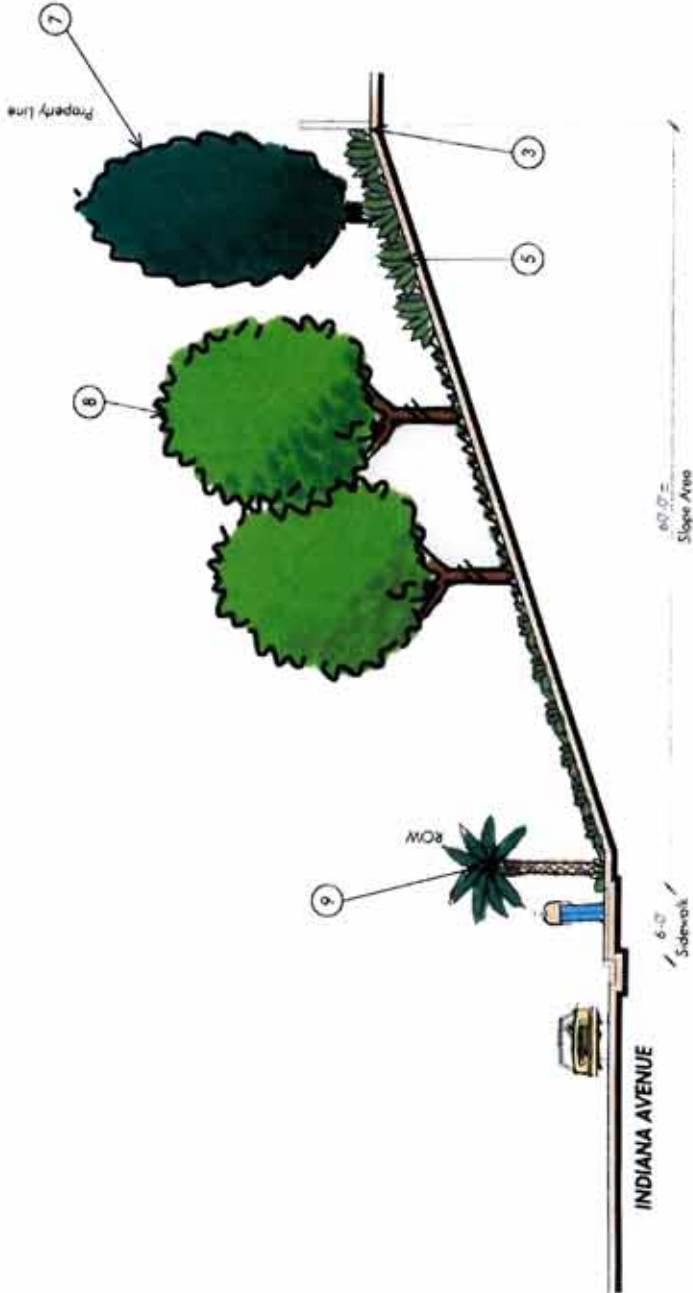


INDIANA AVENUE



A INDIANA AVENUE
PLAN VIEW

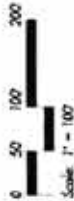
Scale: 1" = 20'



B INDIANA AVENUE
ELEVATION

6'-0" =
Slope Area

6'-0" =
Sidewalk



Scale: 3/16" = 1'-0"



LEGEND

1. Right-of-Way
2. 6' Wide Curb Adjacent Walk
3. 6' x 10' Tail Block Wall per Specific Plan 5.3.8 e
4. Stone Veneer Column
5. Shrubs, Groundcover (typical)
6. Production Pods (Lans)
7. Screen Tree
8. Accent Tree
9. Street Tree

PLANTING LEGEND

Sym.	Botanical Name	Common Name
	TREES: INDIANA AVENUE STREETSCAPE	
	Brechea edulis	Guadalupe Palm
	(Theme Tree: 30 o.c.)	*Theme tree per city as approved

TREES, SLOPES

	Pinus halepensis	Neppoo Pine
	Eucalyptus spp.	Eucalyptus
	Lagerstroemia indica	Crape Myrtle
	Platanus racemosa	California Sycamore
	Alnus rhombifolia	White Alder

PRELIMINARY PLANT PALETTE

SHRUBS and GROUND COVER

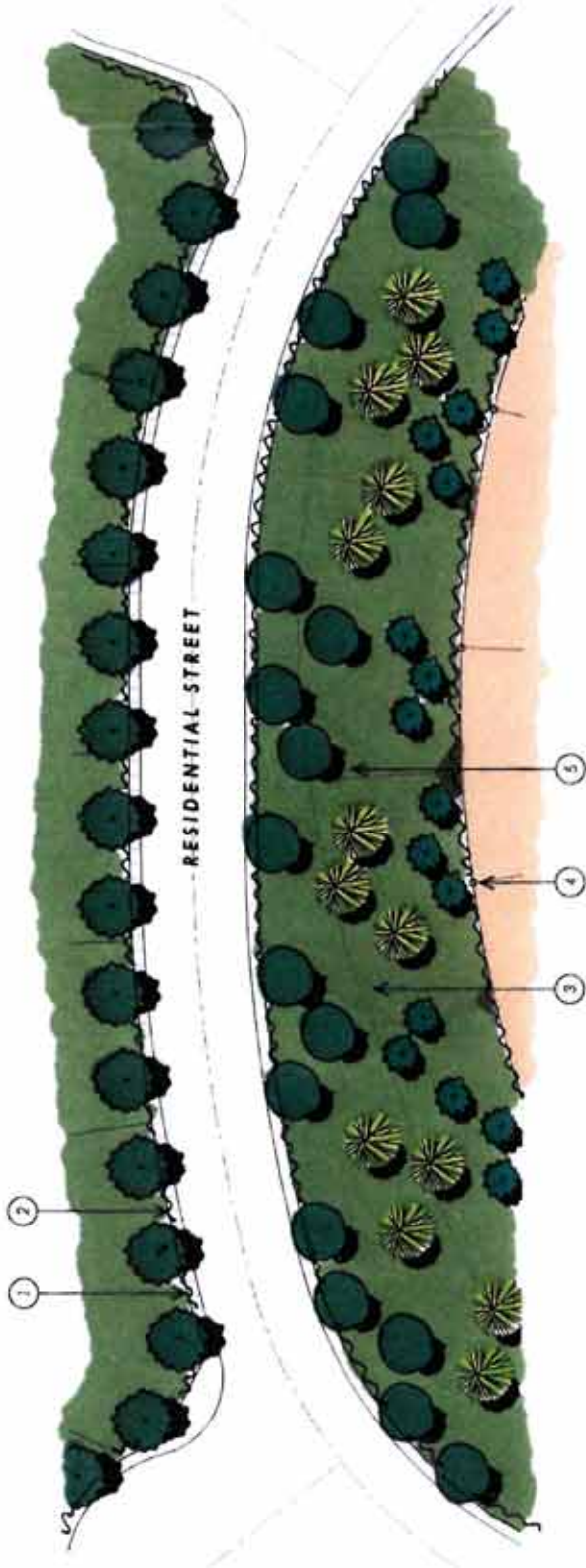
	Acacia redolens	Acacia
	Agave attenuata	Lily-of-the-Nile
	Baccharis pilularis	Coyote Bush
	Delonix bicolor	Flamingo Lily
	Hemerocallis 'Yellow'	Daylily
	Juniperus spp.	Spina Juniper
	Leptodermis s. 'Ruby Glow'	New Zealand Tea Tree
	Lonicera japonica	Japanese Honeysuckle
	Phlox paniculata	Bronze Fox
	Philadelphus 'Clara'	Tobacco
	Rosa 'Blue Rosemary'	Indigo Hawthorn
	Viburnum suspensum	Tuscan Blue Rosemary

KEYMAP



Exhibit 48, "Indiana Avenue Typical Condition"
Section 6. Design Guidelines

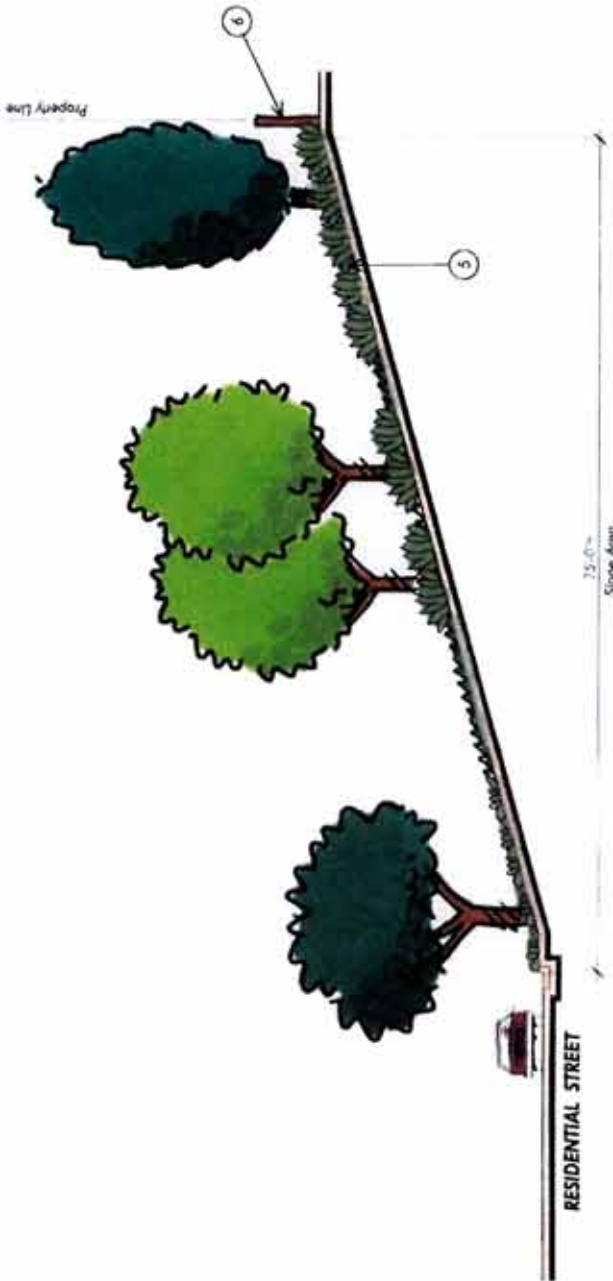




A
RESIDENTIAL STREET
PLAN VIEW



Scale: 1"=20'



B
RESIDENTIAL STREET
ELEVATION

Scale: 3/16"=1'-0'

LEGEND

1. Right-of-Way
2. 4' Wide Curb Adjacent Walk
3. Slope Area
4. 24" Square Stone Veneer Column
5. Shrub / Groundcover (typical)
6. Production Wall

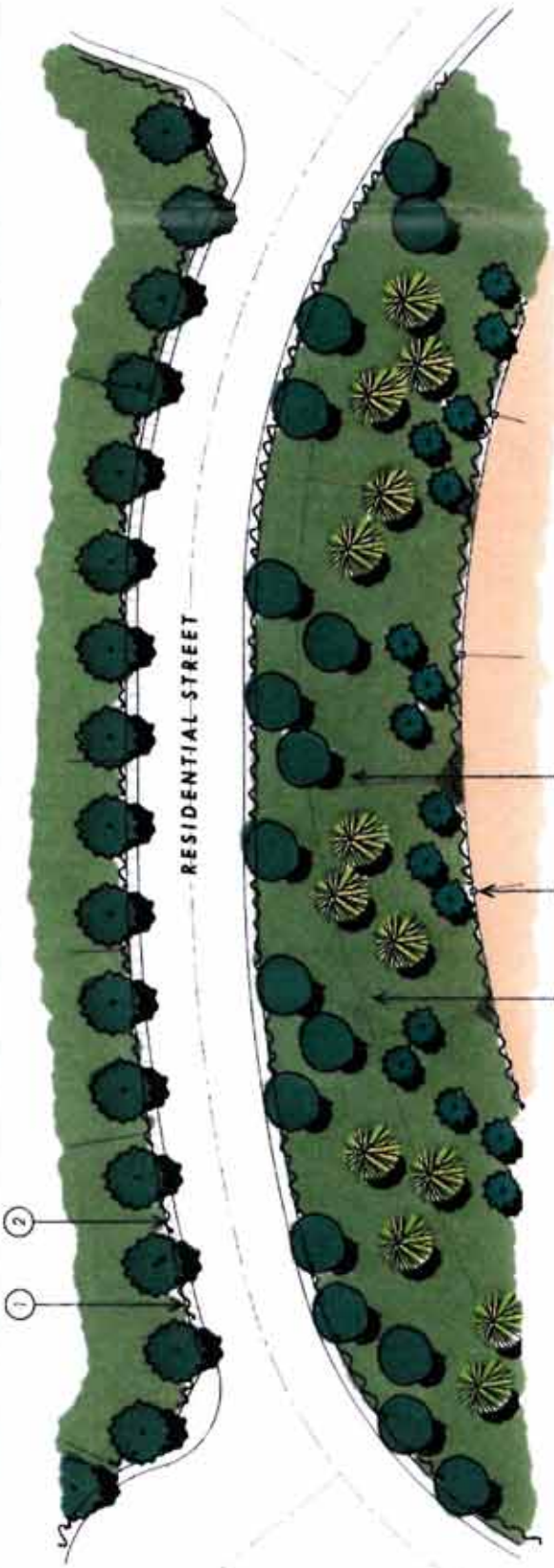
PLANTING LEGEND

Sym.	Botanical Name	Common Name
TREES: LOOP STREETSCAPE		
	Cinnamomum camphor	Camphor Tree
	Podocarpus gracilliar	Yew Pine
	Cupressopsis encorcladates	Carriewood
TREES: SLOPES		
	Alnus sp.	Alder
	Liquidambar styraciflua	American Sweet Gum
	Platanus racemosa	California Sycamore
	Schinus molle	Collomia Pepper
	Eucalyptus spp.	Eucalyptus
	Pinus halepensis	Alapoo Pine
	Tittobatis conferta	Brisbane Box
SHRUBS and GROUND COVER		
	Rhaphiolepis sp.	India Hawthorn
	Rhus integrifolia	Lemonade Berry
	Baccharis pilularis	Coyote Bush
	Rosmarinus Tuscan Blue	Rosemary

KEYMAP

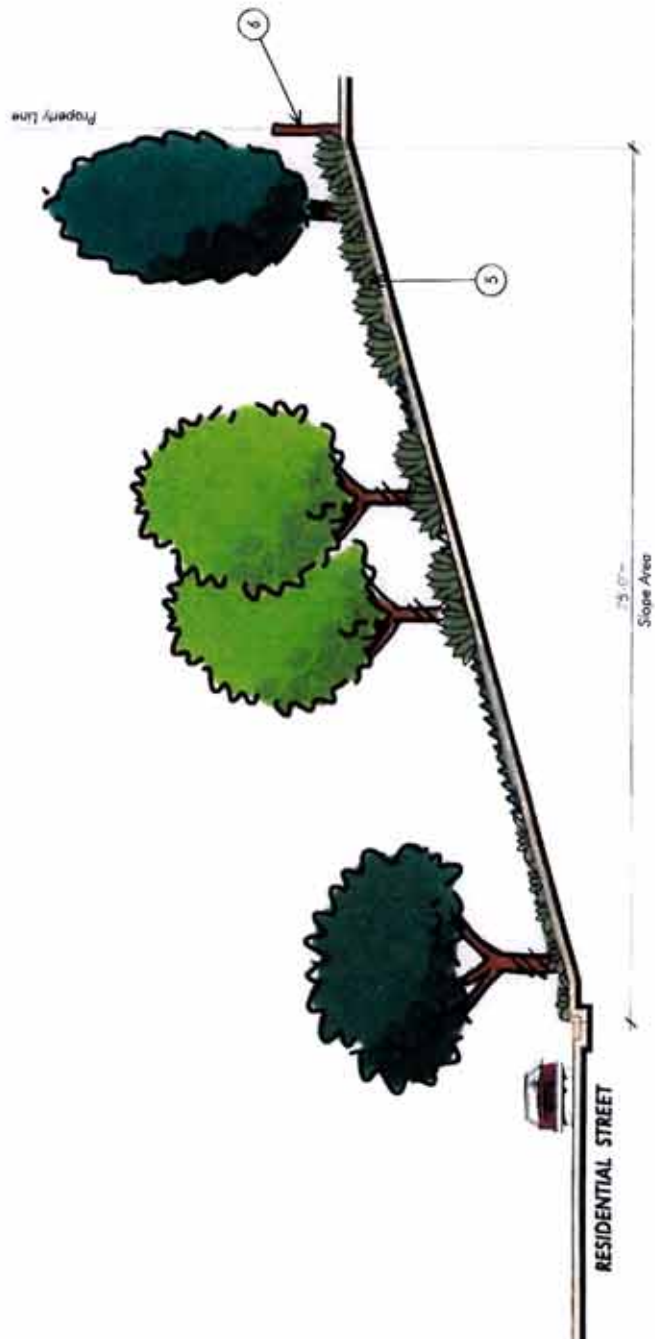


Exhibit 51, "Loop Street Typical Condition"
Section 6. Design Guidelines



Scale: 1"=20'

A RESIDENTIAL STREET
PLAN VIEW



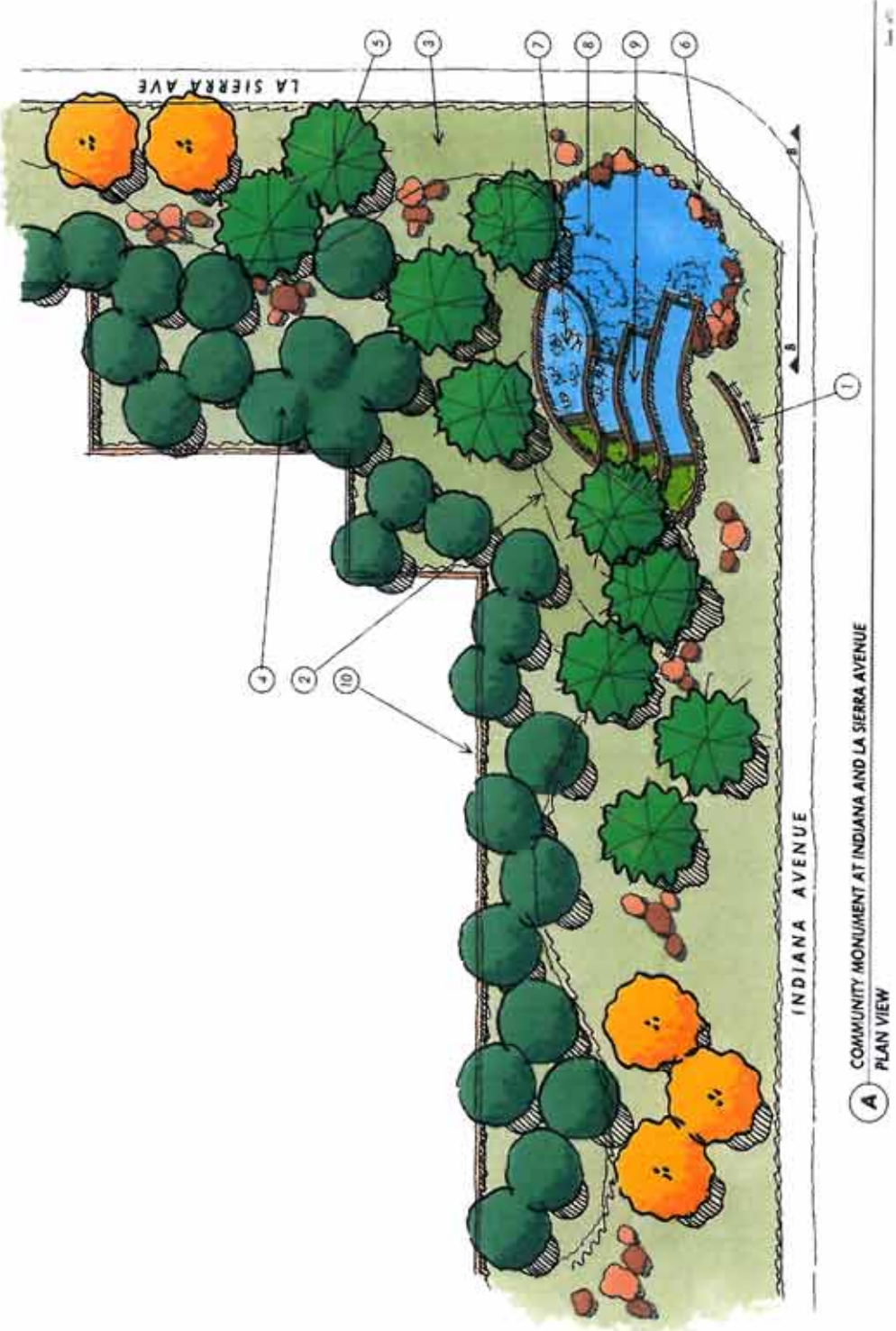
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B RESIDENTIAL STREET
ELEVATION

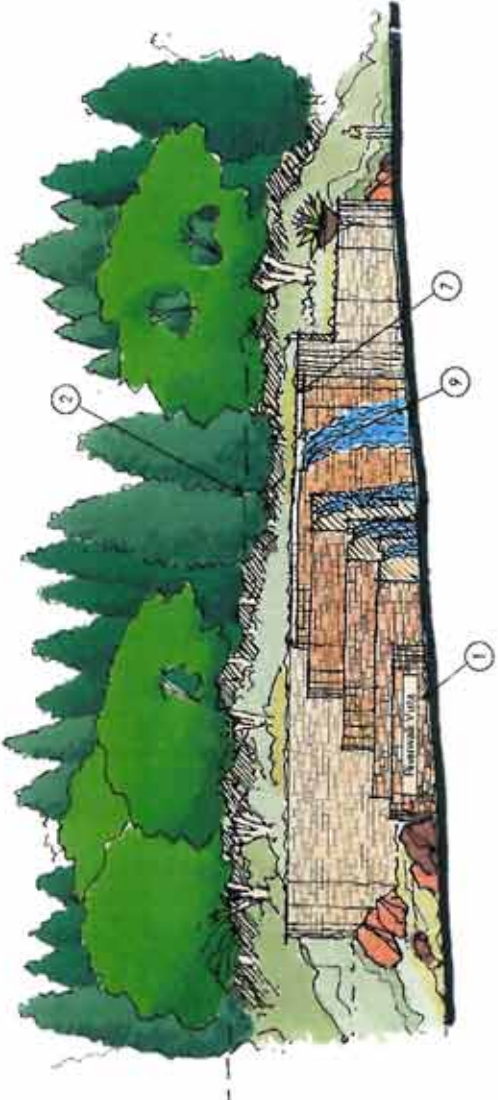
LEGEND		
1.	Right of Way	
2.	4' Wide Curb Adjacent Wall	
3.	Slope Area	
4.	24" Square Stone Veneer Column	
5.	Shrub/ Groundcover (typical)	
6.	Production Wall	

PLANTING LEGEND		
Sym.	Botanical Name	Common Name
TREES: LOOP STREETSCAPE		
	Cinnamomum camphor	Camphor Tree
	Podocarpus gracilior	Yew Pine
	Cupressus arborescens	Cornwood
	Alnus sp.	Alder
	Liquidambar styraciflua	American Sweet Gum
	Platanus racemosa	California Sycamore
	Schinus molle	California Pepper
	Eucalyptus spp.	Eucalyptus
	Pinus halepensis	Aleppo Pine
	Tristramia conferta	Brisbane Box
SHRUBS and GROUND COVER		
	Rhaphiolepis sp.	Indio Hawthorn
	Rhus integrifolia	Lemonade Berry
	Baccharis pilularis	Coyote Bush
	Rosmarinus officinalis	Rosemary





A COMMUNITY MONUMENT AT INDIANA AND LA SIERRA AVENUE
PLAN VIEW

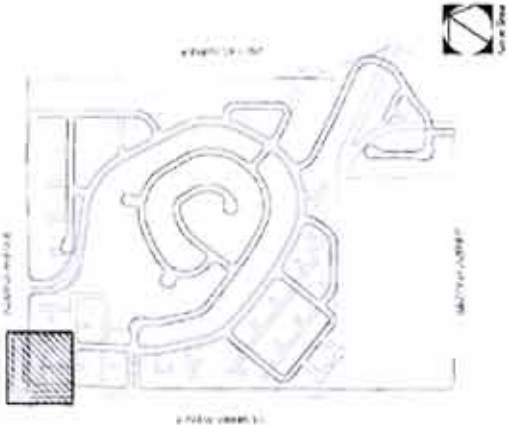


B COMMUNITY MONUMENT AT INDIANA AND LA SIERRA AVENUE
ELEVATION

LEGEND

- 1. Project Signage
- 2. Security Fence and Maintenance Access
- 3. Shrubs and Groundcover
- 4. Evergreen Screen Tree
- 5. Accent Tree
- 6. Rock Outcropping integrated with Walls
- 7. Upper Fountain Reservoir
- 8. Lower Pond
- 9. Fountain Spillways
- 10. Production Wall

KEYMAP





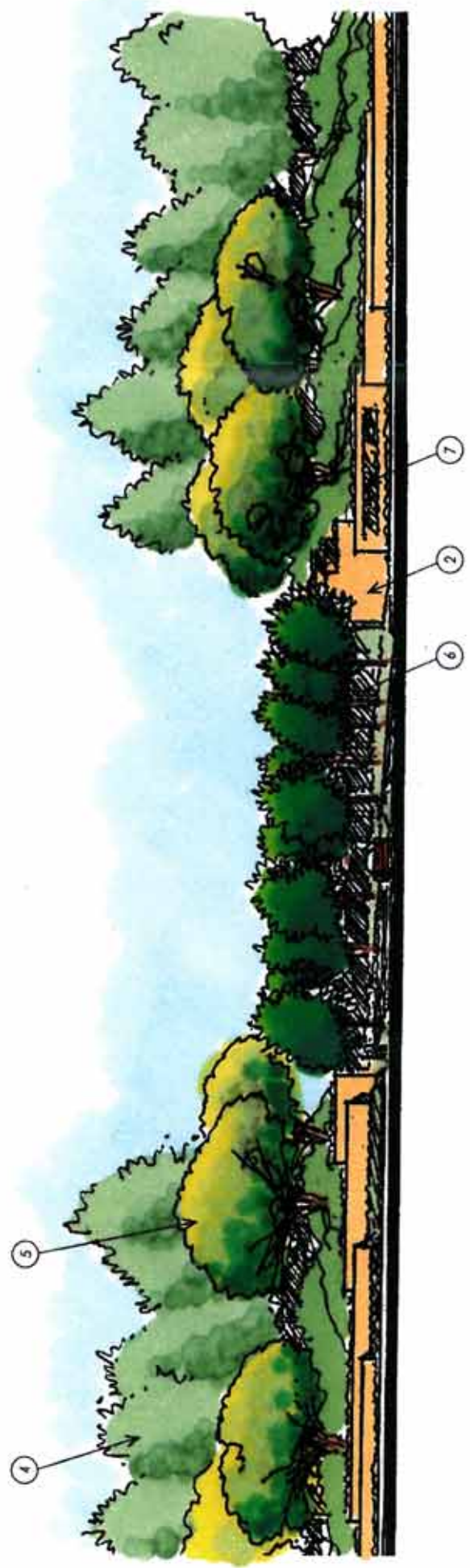
- LEGEND**
- 1. Entry Water Feature
 - 2. Call Box and Development Map
 - 3. Production Wall
 - 4. Retaining Wall
 - 5. Stone Veneer Entry Walls
 - 6. Vehicular Gates
 - 7. Pedestrian Gates
 - 8. Recreation Area
 - 9. Evergreen Tree
 - 10. Accent Tree
 - 11. Slabs and Ground Cover
 - 12. Turf Parkway
 - 13. Street Tree
 - 14. Project Signage



Exhibit 54, "Primary Entry at Indiana Avenue – Plan View"
Section 6. Design Guidelines

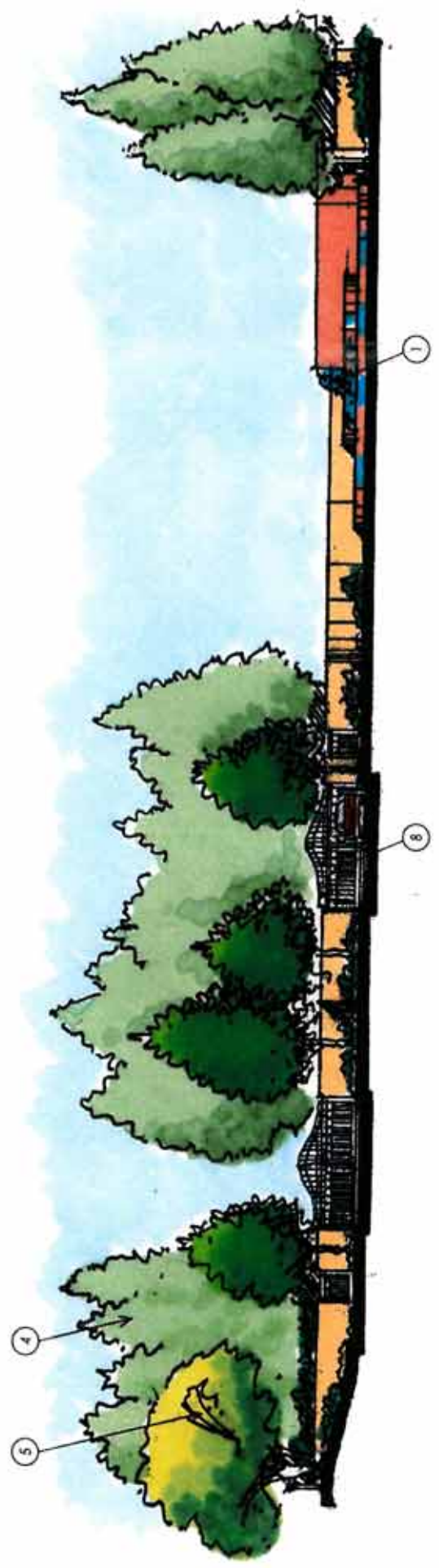


- LEGEND**
- 1. Entry Water Feature
 - 2. Retaining Wall
 - 3. Pedestrian Gates
 - 4. Screen Tree
 - 5. Accent Tree
 - 6. Theme Tree
 - 7. Project Signage
 - 8. Entry Gate



A PRIMARY ENTRY AT INDIANA AVENUE
ELEVATION

N.T.S.



B PRIMARY ENTRY AT INDIANA AVENUE
ELEVATION

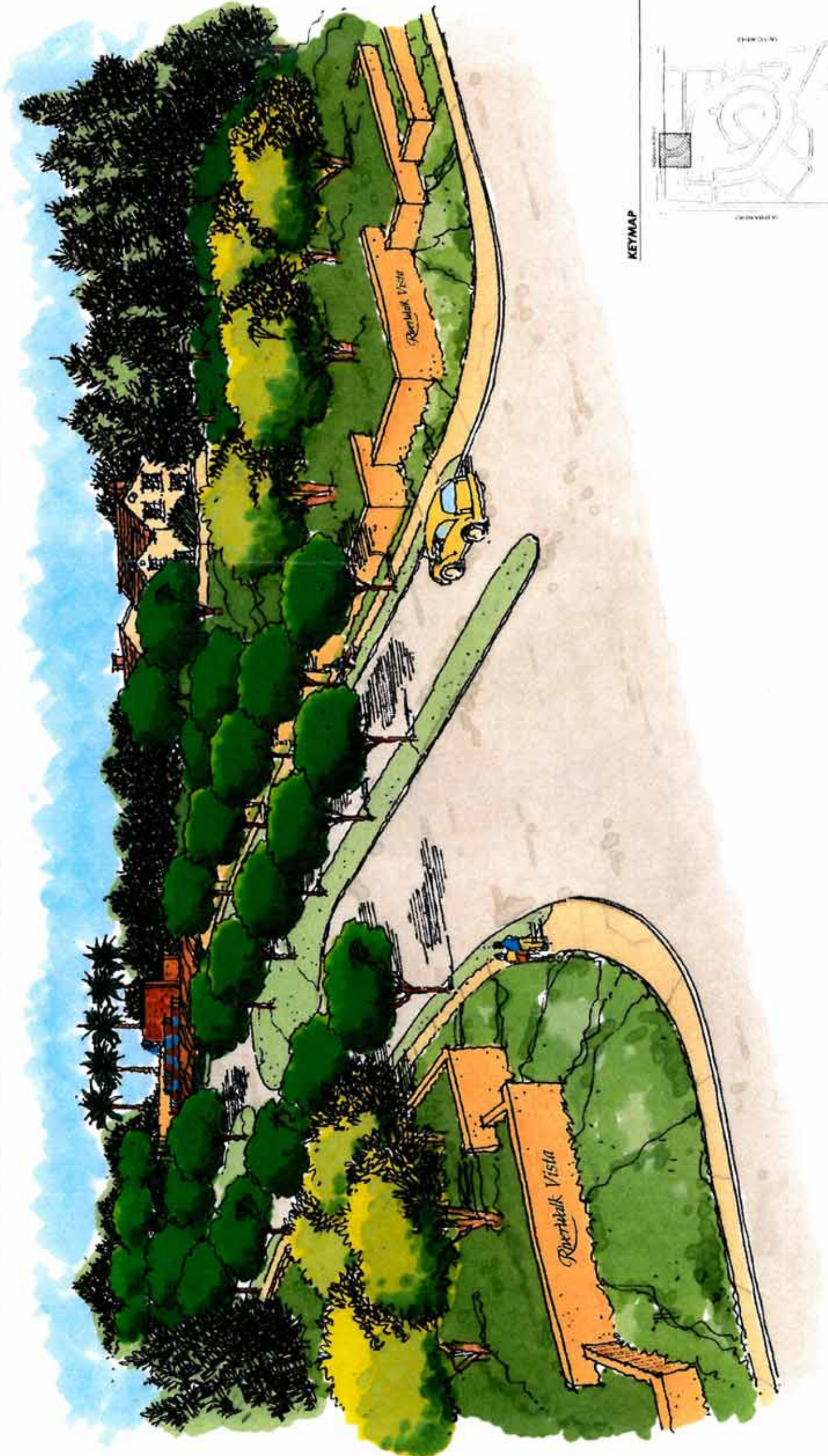
N.T.S.

PRELIMINARY PLANT PALETTE

Botanical Name	Common Name
TREES	
Cupressus arizonica	Carrot Wood
Jacaranda mimosifolia	Jacaranda
Pinus spp.	Palm
Pinus spp.	Pine
Platanus racemosa	California Sycamore
Podocarpus macrophylla	Yew Pine
Pyrus spp.	Ornamental Pear
Schinus molle	California Pepper
Tristania conferta	Brisbane Box
SHRUBS and GROUND COVER	
Acacia redolens	Acacia
Agapanthus africanus	Lily-of-the-Nile
Dianthus bicolor	Fornight Lily
Hemerocallis 'Yellow'	Daylily
Juniperus spp.	Spiral Juniper
Lepidospermum s. 'Ruby Glow'	New Zealand Tea Tree
Lonicera japonica 'Halliana'	Japanese Honeysuckle
Phoradendron 'Bronze'	Bronze Flax
Phoradendron 'Tobira'	Tobira
Rhapidolepis i. 'Clara'	India Hawthorn
Rosemarinus o. 'Tuscan Blue'	Tuscan Blue Rosemary
Viburnum suspensum	Sandwich Viburnum

KEYMAP





KEYMAP



B PRIMARY ENTRY AT INDIANA AVENUE
PERSPECTIVE

N.T.S.



Exhibit 56, "Primary Entry at Indiana Avenue"
Section 6. Design Guidelines

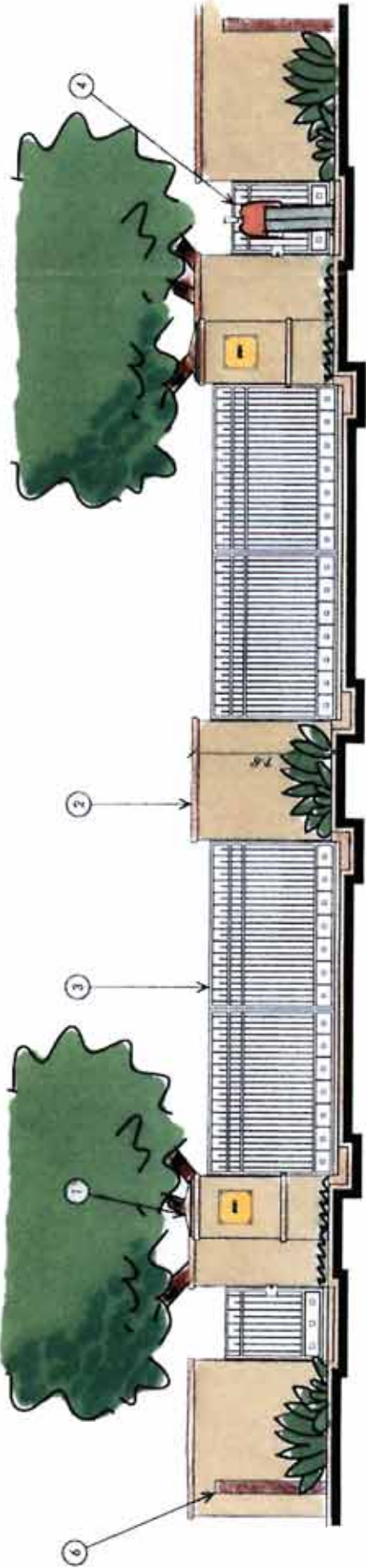
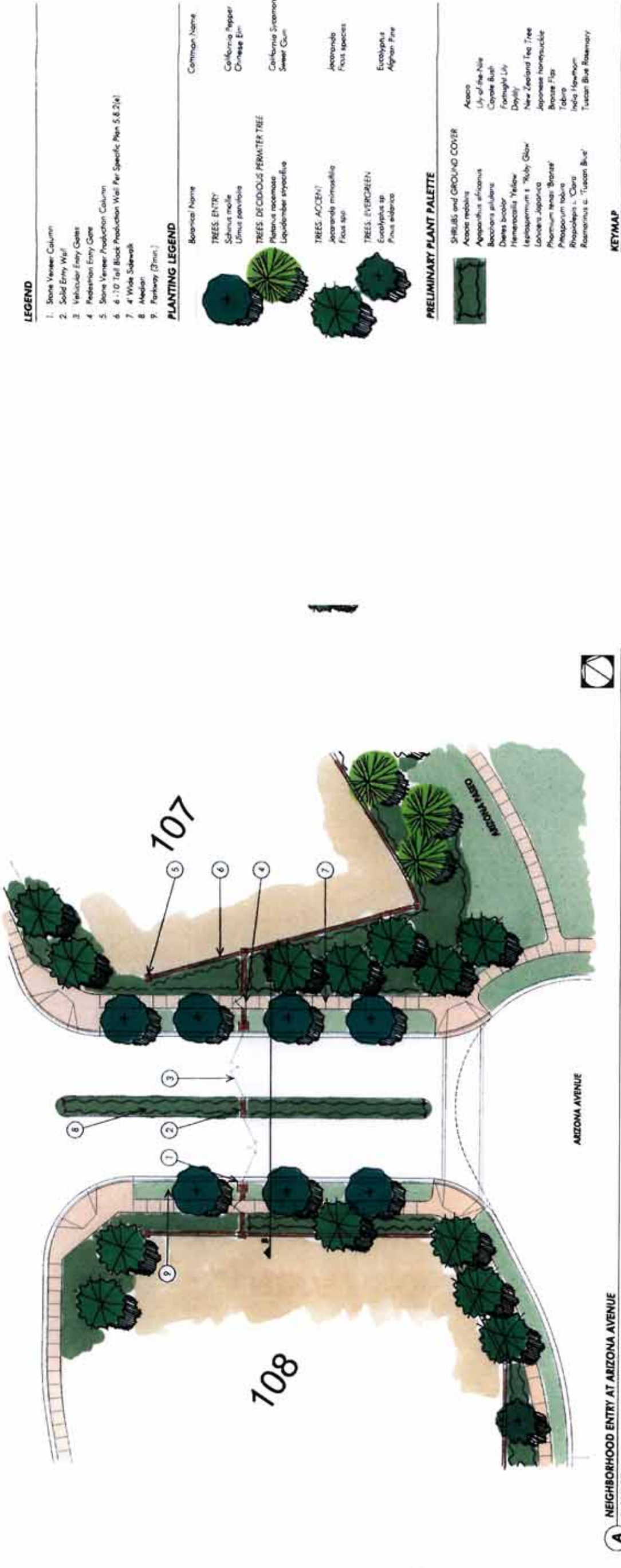
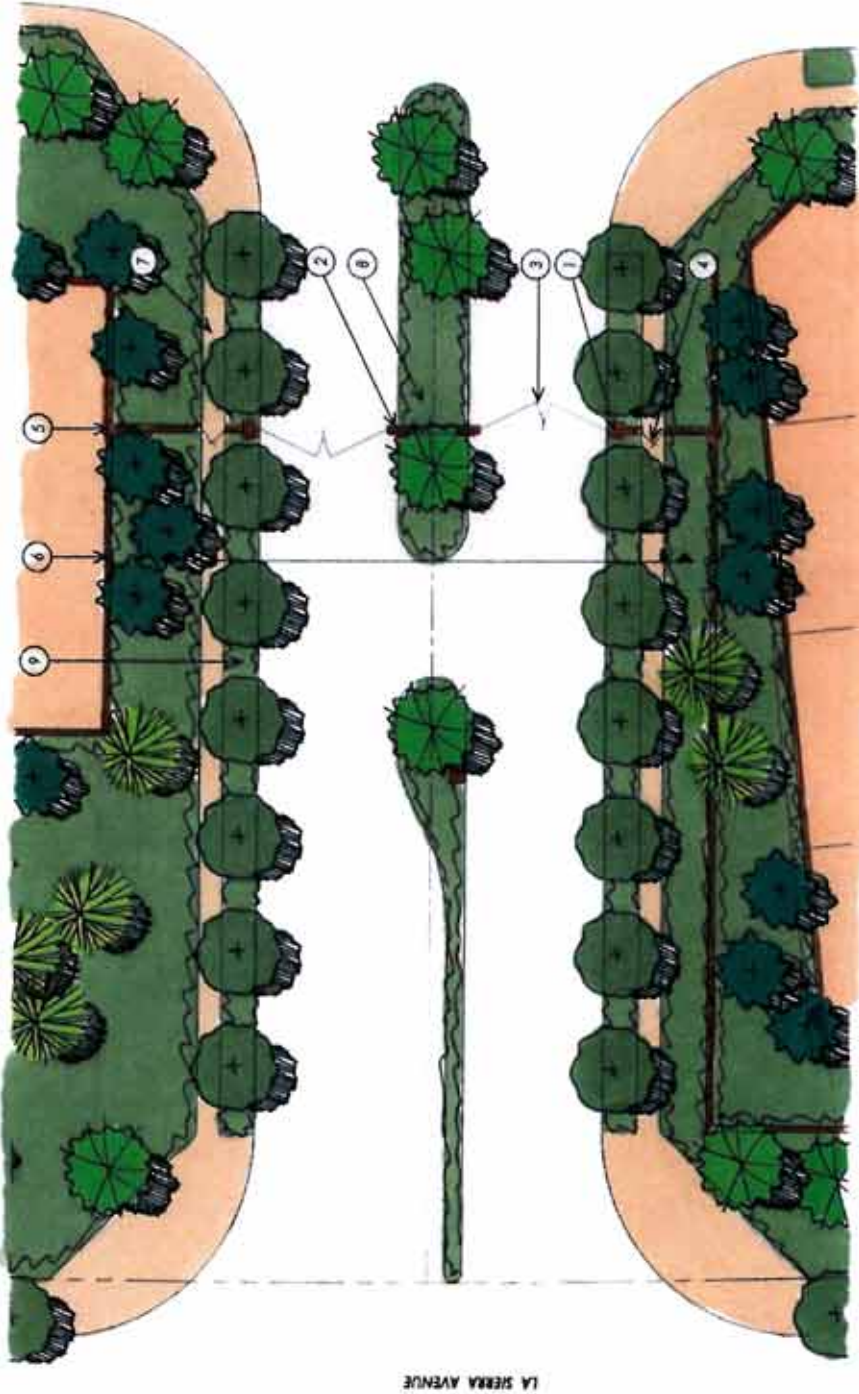
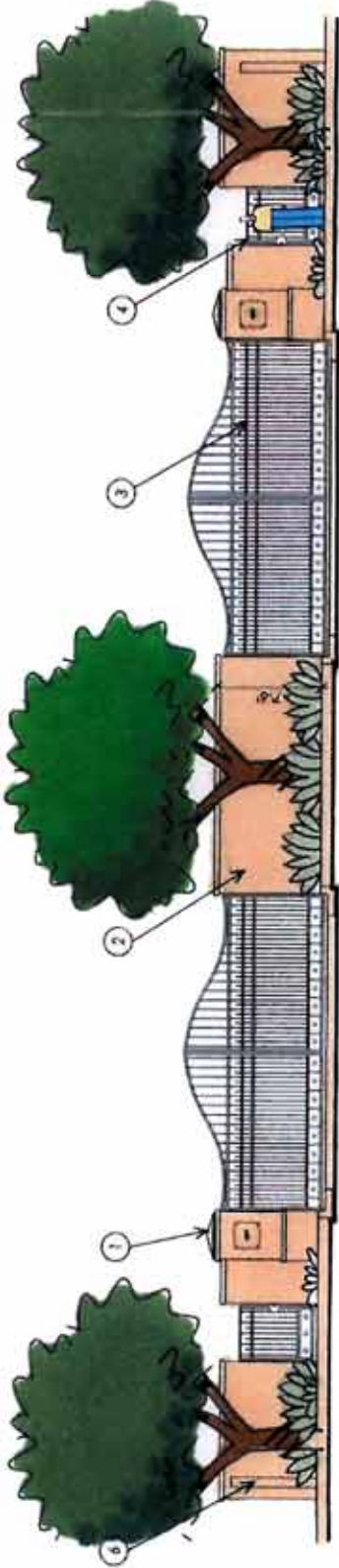


Exhibit 57, "Resident Only Entry at Arizona Avenue"
Section 6. Design Guidelines



A SECONDARY ENTRY AT LA SIERRA AVENUE
PLAN VIEW
Scale: 1" = 10'



B SECONDARY ENTRY AT LA SIERRA AVENUE
ELEVATION
Scale: 1/4" = 1'-0"

LEGEND

- 1. Stone Veneer Column
- 2. Solid Entry Wall
- 3. Veneer Entry Gates (6-12' max)
- 4. Pedestrian Entry Gate
- 5. Stone Veneer Production Column
- 6. 6-10' Tall Black Production Wall per Specific Plan 3.8.2(e)
- 7. 4' Wide Sidewalk
- 8. Median
- 9. Parkway (3' min)

PLANTING LEGEND

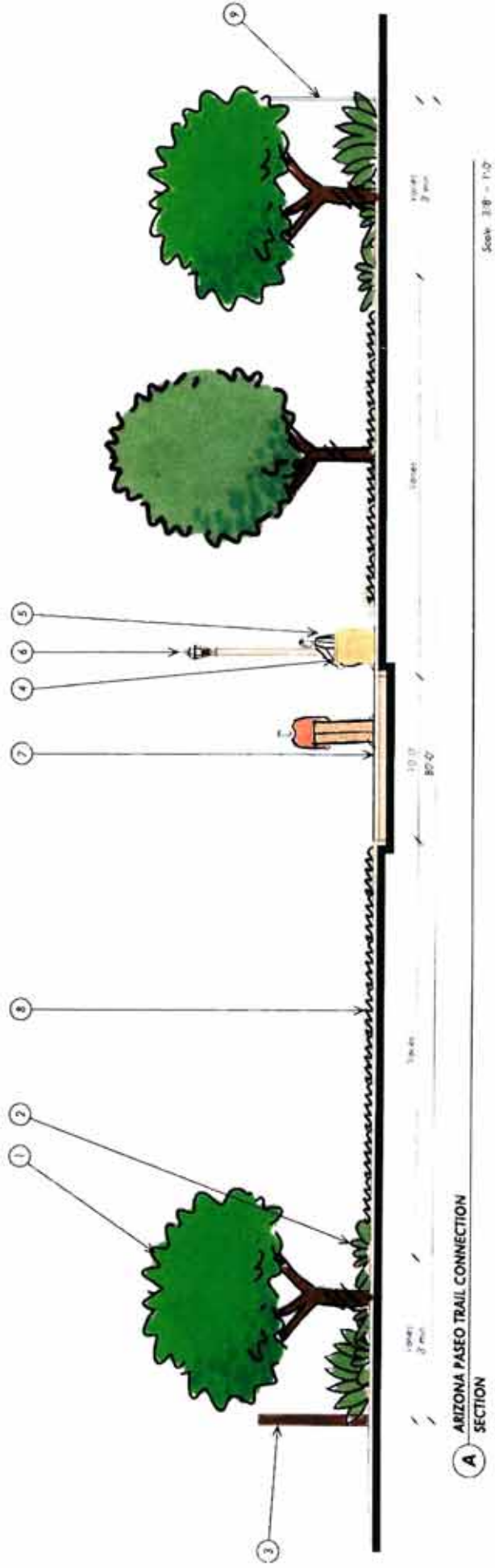
Botanical Name	Common Name
TREES: ENTRY	
Schinus molle	California Pepper
Ulmus parviflorus	Chinese Elm
TREES: DECIDUOUS PERIMETER TREE	
Platanus racemosa	California Sycamore
Liquidambar styraciflua	Sweet Gum
TREES: ACCENT	
Jacaranda mimosaefolia	Jacaranda
Schinus molle	California Pepper
TREES: EVERGREEN	
Eucalyptus sp.	Eucalyptus
Pinus edulis	Algarve Pine

PRELIMINARY PLANT PALETTE

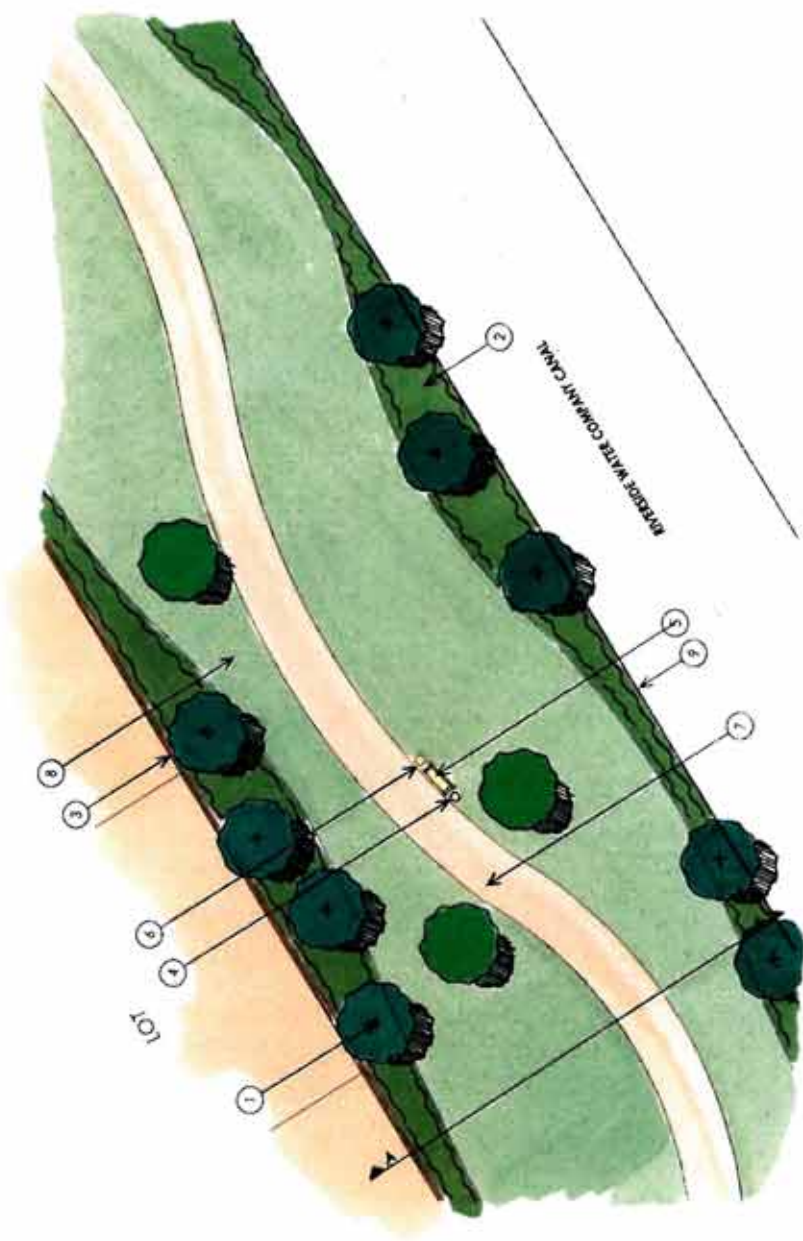
SHRUBS and GROUND COVER	
Acacia redolens	Acacia
Agave attenuata	Lily-of-the-Nile
Baccharis pilularis	Coastal Bush
Dalmanella	Fortnightly Lily
Hamamelis virginica	Day Lily
Leptodermis s. 'Ruby Glow'	New Zealand Tree Fern
Lonicera japonica	Japanese Honeysuckle
Phoradendron leucocarpum	Baccharis
Phoradendron leucocarpum	Bay Tree
Rhododendron	Indian Hawthorn
Rosa rugosa	Tuscan Blue Rosemary

KEYMAP





- LEGEND**
- 1. Paved Trail
 - 2. Planting Area (2' min to 9' max)
 - 3. 4' x 10' Tall Block Production Wall Per Specific Plan 3.8.2(h)
 - 4. Trash Receptacle
 - 5. Concrete Bench
 - 6. 12' Light Standard
 - 7. 10' Wide Meandering Trail
 - 8. Hydroseeded Turf
 - 9. Chain Link Fence



KEYMAP

RIVERWALK VISTA
ARIZONA PASEO TRAIL CONNECTION
Riverside, California

L-19



SECTION 7. IMPLEMENTATION

The City of Riverside will adopt the Riverwalk Vista Specific Plan by resolution. Following approval by the City, the Riverwalk Vista Specific Plan will serve as the implementation tool for the General Plan as well as the overall development standards for the Project Site. Concurrently with the adoption of the Specific Plan, the City Planning Commission will also approve Tentative Tract Map 32772 establishing legal residential lots for Planning Area 2 of Riverwalk Vista.

The City of Riverside will adopt the Riverwalk Vista Specific Plan Amendment by resolution. Following approval by the City, the Riverwalk Vista Specific Plan Amendment will serve as the implementation tool for the General Plan as well as the overall development standards for the Project Site. Concurrently with the adoption of the Specific Plan Amendment, the City Planning Commission will also approve Tentative Tract Map 35932 and Tentative Tract Map 36323 establishing legal residential lots for Villages 4 and 5 within Planning Area 2 of Riverwalk Vista.

7.1 INTERPRETATION

Unless otherwise provided, any ambiguity concerning the content or application of the Riverwalk Vista Specific Plan shall be resolved by the City of Riverside Zoning Administrator or his/her designee in a manner consistent with the goals, policies, purpose and intent established in this Specific Plan.

7.2 IMPLEMENTATION OF DESIGN GUIDELINES

Adoption of the Riverwalk Vista Specific Plan and the Riverwalk Vista Specific Plan Amendment by the City includes adoption of the design guidelines contained herein, which shall be the design criteria by which development projects within Riverwalk Vista will be reviewed during the design review process. The design guidelines are intended to be flexible in nature while establishing basic evaluation criteria for the review by the City of developer projects during design review.



7.3 DESIGN REVIEW

All development projects within Riverwalk Vista shall be subject to the design review process as established in the City's Zoning Code. Pursuant to these provisions, approval of a project through the design review process constitutes approval of project architecture, site plans, and landscape plans for development. Adoption of the Riverwalk Vista Specific Plan and Riverwalk Vista Specific Plan Amendment includes adoption of the development regulations and design guidelines contained within the Specific Plan. The design guidelines are intended to be flexible in nature while establishing basic evaluation criteria.

7.4 DENSITY ALLOCATIONS

The Riverwalk Vista Land Use Plan allocates density to each residential village. Variations in density allocations per village may occur at the time of final design of the village depending upon the residential product identified for development. Variations in allocation of density within the villages of the Riverwalk Vista Specific Plan is permitted provided the density variation does not exceed 20% and the maximum dwelling unit count of 402 units established for the Specific Plan is not exceeded.

7.5 SPECIFIC PLAN MODIFICATIONS AND AMENDMENTS

7.5.1 Minor Modifications

The following constitute minor modifications to the Specific Plan, not requiring a Specific Plan Amendment, and are subject to review and approval by the Zoning Administrator. The Zoning Administrator shall have the discretion to refer any such request for modification to the Planning Commission or the City Council.

- a) Change in utility and/or public service provider.
- b) Collector roadway alignment when the change results in a centerline shift of less than 250 feet.
- c) An increase of more than twenty percent (20%) to the number of units within an individual village provided the total number of units for the entire Specific Plan area does not exceed that established in the Specific Plan.

Section 7. Implementation



- d) Adjustment of a village boundary provided the total acreage of the affected area does not increase or decrease by more than 20% of the total stated in the approved Specific Plan.
- e) Minor changes to adopted development standards provided the change does not result in a change of over ten (10)% to an adopted development standard.
- f) Minor changes to landscape materials, wall materials, wall alignment, entry design, and streetscape design which are consistent with the conceptual design set forth in the design guidelines contained within the Specific Plan.
- g) Minor changes to the design guidelines, which are intended to be conceptual in nature only, and are intended to be flexible in implementation.
- h) Other modifications of a similar nature to those listed above, which are deemed minor by the Zoning Administrator, which are in keeping with the purpose and intent of the approved Riverwalk Vista Specific Plan and which are in conformance with the General Plan.

7.5.2 Specific Plan Amendments

Amendments to the Riverwalk Vista Specific Plan may be requested by the applicant or by the City at any time pursuant to Section 65453(a) of the Government Code. Amendments shall be processed pursuant to the provisions of the Government Code for Specific Plan Amendments. In the event the proposed amendment requires supplemental environmental analysis pursuant to the California Environmental Quality Act (CEQA), the applicant(s) are responsible for preparing the necessary CEQA documentation.

7.6 APPEALS

Appeals from any determination of the Zoning Administrator shall be made to the Planning Commission. The applicant(s) shall have the right to appeal the decision of the Zoning Administrator or Planning Commission on any determination by filing an application on forms provided by the City of Riverside within ten (10) calendar days following the final date of action for which an appeal is made. Appeals shall be

Section 7. Implementation



processed consistent with the provisions of Article 5, "Appeals" of the City of Riverside Development Code.

7.7 COMPLIANCE WITH MITIGATION MONITORING PLAN

The City of Riverside has previously certified the La Sierra Specific Plan EIR and has adopted an EIR Addendum to the La Sierra Specific Plan EIR concurrently with the adoption of the Riverwalk Vista Specific Plan. Development within the Riverwalk Specific Plan area shall comply with all applicable mitigation measures as described in the Mitigation Monitoring Program included as part of the EIR Addendum to the La Sierra Specific Plan EIR.

7.8 PROJECT FINANCING

Construction of public improvements to serve the Riverside Vista Specific Plan will be financed through private funding and public funding mechanisms as approved by the City of Riverside.

7.9 PROJECT PHASING

Phasing of the Riverwalk Vista Specific Plan will meet the following objectives:

- Orderly build-out of the community based upon market and economic conditions.
- Provision of adequate infrastructure and public facilities concurrent with development of each phase.
- Protection of public health, safety and welfare.

The Riverwalk Vista "Phasing Map," Exhibit 60, illustrates the development phasing plan for the Project Site.

7.9.1 Residential Development

The phasing of residential development areas will be determined by the developer. The development of residential uses will be implemented through the recordation of final tract maps and design review approval for each village as developed. Appropriate levels of infrastructure and community facilities will be installed and



public services will be available to serve each phase of residential development as it occurs.

- a. The timing for installation of infrastructure and utilities and the provision of public services for development within Riverwalk Vista will be determined as part of the City's approval of Tentative Tract Map 32772 for Planning Area 2.
- b. The City of Riverside will be responsible for the improvement of La Sierra Avenue pursuant to the City's schedule for completion of improvements.
- c. The required improvements to Indiana Avenue, Vallejo Street, and Arizona Avenue, will be completed by the developer of Riverwalk Vista pursuant to the requirements of the conditions of approval established for Tentative Tract Map 32772.
- d. Grading and installation of backbone infrastructure within Planning Area 2 to serve the residential portion of Riverwalk Vista will be completed as necessary to complete a phase of development. Following completion of the initial phase of grading and infrastructure installation, the developer will construct model complexes for each of the product types within the three villages of Riverwalk Vista.
- e. Phase 1 is anticipated to include the development of Village 1, Village 2 and Village 3, along with the Primary Active Open Space area. Phase 2 is anticipated to include the development of Villages 4. Phase 3 is anticipated to include the development of Village 5, and Phase 5 is anticipated to include the remaining portions of Village 1.

7.9.2 Commercial Development

The phasing of commercial development within Planning Area 1 will be determined by the developer of Planning Area 1. The development of commercial uses will be implemented through the approval of parcel maps and design review approval for a commercial center. Appropriate levels of infrastructure and community facilities will be installed and public services will be available to serve commercial development as it occurs.

7.9.3 Community Facilities and Services

Section 7. Implementation



Consistent with the Phasing Plan, the timing for installation of community facilities and payment of impact fees for public improvements and services for the Riverwalk Vista Specific Plan will be determined as part of the City's approval of development applications in accordance with the provisions of the existing City development impact fee ordinances. Community facilities such as multi-purpose trails will be developed in conjunction with construction of the public street improvements.

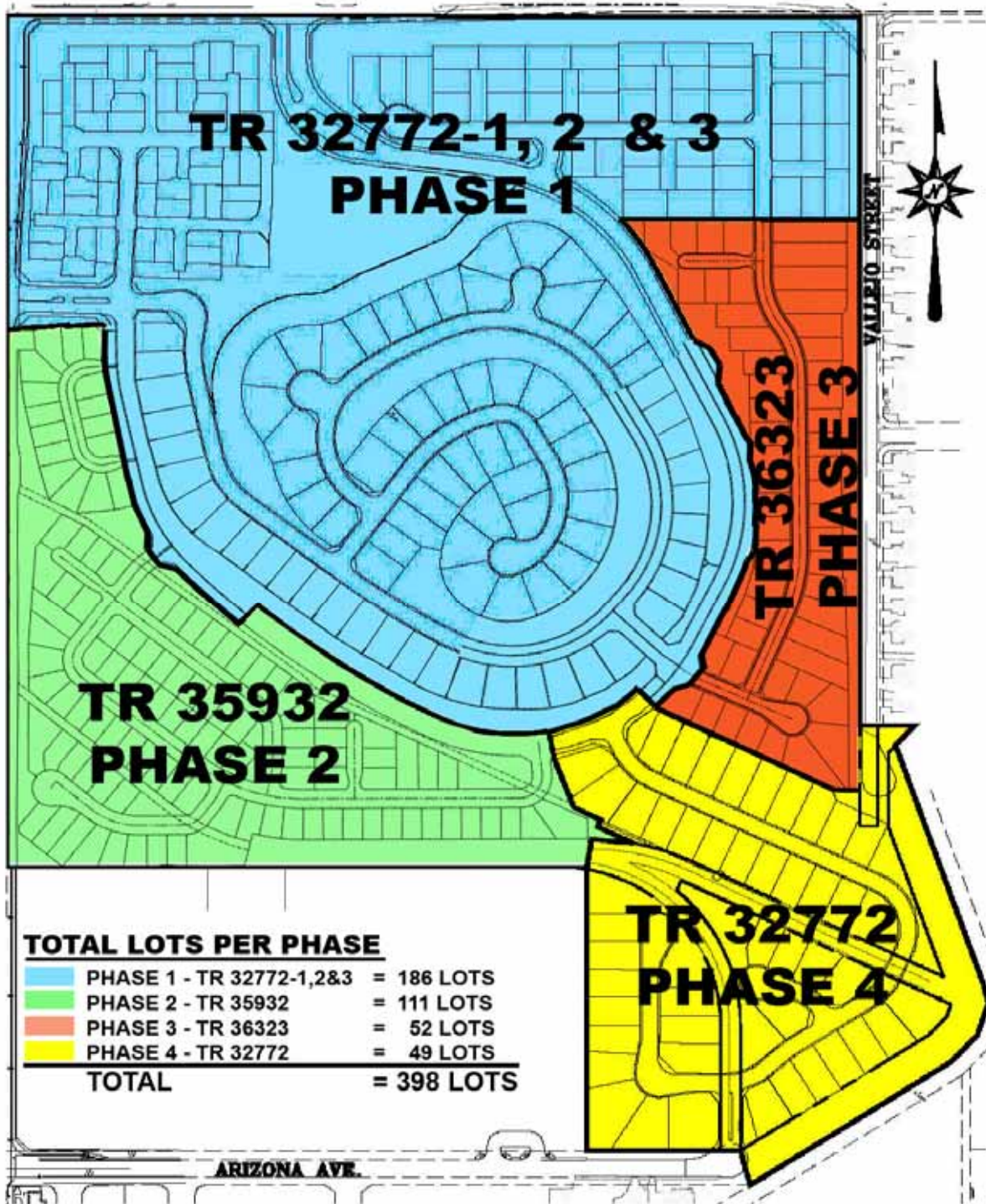


Exhibit 60, "Phasing Map"
Section 7. Implementation



7.10 MAINTENANCE

The public and private improvements constructed as part of Riverwalk Vista will be maintained through a combination of public and private entities as described below and in Table 9.

7.10.1 Public Maintenance

- a. All major arterial and local streets abutting the Project Site will be dedicated as public streets to the City of Riverside and will be maintained by the City. Reverse frontage lot landscaping adjacent to public arterial and local streets and the off-site paseo connection to public streets shall be maintained by an H.O.A. or other methods such as a landscape maintenance district as approved by the City of Riverside.
- b. All on-site water, sewer, and storm drains within the Project Site shall be privately constructed and maintained by the City through access easements granted by the developer to the City for maintenance purposes.
- c. Off-site/off-property infrastructure improvements such as water, sewer, and storm drain facilities constructed by the developer to serve the Project Site will be dedicated to and maintained by the City.
- d. The Arizona Channel located within the Project Site will be maintained by the Riverside County Flood Control District.

7.10.2 Homeowner Association Maintenance

A Homeowner Association(s) will be established for the maintenance of common area landscape and open space improvements within the residential portion of Riverwalk Vista. Private improvements to be maintained by the homeowner association(s) include:

- Private streets, courts, drive aisles, and entry gates
- Parkway improvements along residential streets.
- The active and passive open space areas.

Section 7. Implementation



- Walkways, paseos, recreational facilities, and common areas.
- Internal slopes fronting streets and slope areas in the rear of homes.
- Landscape areas adjacent to reverse frontage lots along Indiana, La Sierra, Vallejo, and Arizona.
- All internal open spaces and common areas at Project Entries and Village Entries.
- Courts, parkways and landscaping within the residential areas.
- Reverse frontage landscape areas of lots and common area facing wall surfaces along interior residential streets shall be maintained by an H.O.A. or other methods such as a landscape maintenance district as approved by the City of Riverside.

*Table 13 Maintenance Responsibilities*

	City	Special District	Private Homeowners Association	Homeowner/Commercial Center Owner
Landscaped Areas of Public Arterial and Local Streets (La Sierra Ave., Indiana Ave., Vallejo St., and Arizona Ave.)		✓ or	✓	
Private Interior Project Streets (Main Loop Road, Residential Streets)			✓	
Private Residential Courts			✓	
Project Entries and Village Entries			✓	
Driveways and Parking Areas Serving Commercial Areas in Planning Area 1				✓
Arizona Channel		✓		
Off-site and on site water, sewer, and storm drain improvements	✓			
Primary Active Open Space			✓	
Secondary Active Open Space			✓	
Passive Open Space			✓	
Arizona Ave. Paseo		✓ or	✓	
Front Yard Landscaping Village 1, 2, 3, 4, and 5				✓
All Other Landscaped Areas in Villages 2, 3, 4, and 5			✓	
Common Area Facing Wall Surfaces			✓	
Interior Residential Street Landscaping			✓	
Reverse frontage landscape areas and off-site paseo connection (Arizona)		✓ or	✓	



SECTION 8. GENERAL PLAN CONSISTENCY

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450-65457) permits the adoption and administration of specific plans as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the general plan.

As part of the adoption of the Riverwalk Vista Specific Plan, the City will approve a General Plan Amendment changing the General Plan designation from "La Sierra Specific Plan" to "Riverwalk Vista Specific Plan" which will establish the land use policies and regulations for the Project Site. The Riverwalk Vista Specific Plan has been prepared in conformance with the goals and policies of the City of Riverside General Plan. The Riverwalk Vista Specific Plan is consistent with the following General Plan policies applicable to the project.

Resource Conservation

Policy

AQ 7.4: The City should encourage growth in and around activity centers, transportation nodes and corridors, areas with underutilized infrastructure systems, and areas needing redevelopment.

Specific Plan Consistency:

The Riverwalk Vista Specific Plan provides for growth in an area adjacent to an existing transit center located within the boundaries of the Specific Plan. The transit center will provide Metrolink rail service to new residential development offering an opportunity for residents to commute to local and regional employment centers. The transit center serves as a carpool parking facility.

Policy

I-AQ 14: Implement a system of designated bikeways within the city on non-major streets that connect residential areas with shopping centers and parks. Upon completion, establish a high visibility campaign to promote awareness and encourage bicycle use.

Specific Plan Consistency:

Section 8. General Plan Consistency



Development of Riverwalk Vista will include the provision of on-street bikeway areas within public and private streets. The Riverwalk Vista bikeway network will connect Riverwalk Vista with schools, shopping centers, the planned Cross/Victoria Park, private recreational facilities, and transit facilities adjacent to and surrounding the Project Site.

Policy

I-AQ 14: The City should coordinate development approvals with efforts to encourage the expansion and creation of non-polluting mass transit systems and inter modal means of transportation to serve the proposed developments. City approval of any development should be conditioned upon the provision of adequate facilities to accommodate the anticipated mass transit demands of the proposed development. These facilities may consist of dedications of land and/or construction facilities.

Specific Plan Consistency:

The Riverwalk Vista Specific Plan includes the existing transit center located in Planning Area 1 which provides Metrolink rail service to the Specific Plan area residents and residents in surrounding areas. The Riverwalk Vista Specific Plan requires that adequate provision for public transit stops and bus shelters be provided pursuant to the requirements of the Riverside Transit Agency. Bus service is already provided adjacent to the Project Site. In addition, carpool parking facilities an integral part of the Metrolink station.

Policy

I-AQ 24: Require all Environmental Impact Reports for developments within the City to include an air quality section that addresses current basin attainment status and projected impacts quantified through the URBEMIS, CALINE4, or other air quality models available to CARB.

Specific Plan Consistency:

The EIR Addendum for the Riverwalk Vista Specific Plan includes an air quality analysis per the requirements of the City and the State.

Policy

NR 1.2: The City shall control the grading of land to minimize the potential for erosion, land-sliding, and other forms of land failure as well as to limit the negative aesthetic impact of excessive modification on natural landforms.

Section 8. General Plan Consistency



Specific Plan Consistency:

The grading plan for Riverwalk Vista will comply with the requirements of the Specific Plan and applicable portions of the City's grading ordinance to minimize the potential for erosion, land-sliding, and other forms of land failure as well as to limit the negative aesthetic impact of excessive modification on natural landforms.

Policy

E 2.1

The Plan's Land Use Diagram shall contain land use patterns which locate residential and non-residential uses in proximity to one another in a compatible manner to reduce energy consumption by reducing the need for automobile travel.

Specific Plan Consistency:

The Riverwalk Vista land use plan locates residential land uses south of Indiana Avenue immediately adjacent to an existing transit center which provides Metrolink rail service from the Project Site to regional employment center, recreational areas, and shopping opportunities. The Riverwalk Vista land use plan incorporates pedestrian and bike trails to connect residential land uses with nearby schools, parks, shopping centers, private recreational facilities, and the transit center thereby promoting the use of bicycle and pedestrian travel and reducing the need for automobile travel.

Policy

E 2.8

The City should support the use of public transportation, bicycling, and other alternative transportation modes in order to reduce the consumption of non-renewable energy supplies.

Specific Plan Consistency:

The Riverwalk Vista Specific Plan is a transit oriented community plan incorporating pedestrian and bicycle paths connecting the community to nearby shopping, schools, and the transit center. Additionally the Riverwalk Vista Specific Plan requires the installation of bus shelters and bus stops as directed by the Riverside Transit Agency. In approving the Riverwalk Vista Specific Plan, the City is supporting the use of public transportation, bicycling, and other alternative transportation modes in

Section 8. General Plan Consistency



order to reduce the consumption of non-renewable energy supplies within Riverwalk Vista.

Growth Management

Policy

LU 4.4 The City should require development projects to be timed and phased so that projects are not occupied prior to the provision of necessary urban services.

Specific Plan Consistency:

The Riverwalk Vista Specific Plan contains land use and development regulations describing the appropriate levels of infrastructure and circulation improvements required for development to occur. These services will be required to be installed in a timely manner pursuant to the conditions of approval on subdivision maps for the development of Riverwalk Vista as required by the City of Riverside.

Policy

WW 1.5 The City should require developers to install the distribution facilities necessary for water service.

Specific Plan Consistency:

The Riverwalk Vista Specific Plan includes a description of the new water service facilities necessary to serve the Project Site. These facilities will be installed in a timely manner as required by the City of Riverside through the conditions of approval on applicable subdivision maps for development within Riverwalk Vista.

Policy

SD 1.3 The City shall require all development proposals to include stormwater drainage system plans which are compatible with master drainage plans adopted by the City.

Specific Plan Consistency:

The Riverwalk Vista Specific Plan includes a description of the stormwater drainage system facilities necessary to serve the Project Site. These

Section 8. General Plan Consistency



facilities will be installed in a timely manner as required by the City of Riverside through the conditions of approval on applicable subdivision maps for development within Riverwalk Vista.

Policy

PS 1.1 The City shall require all new development to conform to the currently adopted Uniform Building Code seismic safety regulations.

Specific Plan Consistency:

All development within Riverwalk Vista will conform to the currently adopted Uniform Building Code seismic safety regulations as implemented by the City of Riverside.

Policy

T 1.2 Level of Service "D" is an acceptable standard and Level of Service "E" is a minimum acceptable standard for transportation planning and facility design. Level of Service "F" may continue to exist in some circumstances.

Specific Plan Consistency:

Traffic impacts associated with the Riverwalk Vista development project will be evaluated as part of the review of the project by the City of Riverside, and adequate transportation measures will be implemented as part of the project to achieve appropriate Levels of Service.

Policy

N 2.5 The City shall continue to require environments analyses for new development projects, according to the City of Riverside and California environmental regulations, to address noise concerns.

Specific Plan Consistency:

The City has prepared an EIR Addendum for the Riverwalk Vista Specific Plan to the previously certified La Sierra Specific Plan EIR. The Addendum includes an analysis of potential noise impacts associated with the project and identifies measures to be implemented as part of the project to reduce any noise impacts.

Implementation

Section 8. General Plan Consistency



Policy

AP 1: Continue to develop and update Area Plans (Community and Specific Plans) as a part of the General Plan, when special concerns of individual communities warrant creating particular planning policies and implementation measures.

Specific Plan Consistency:

The Riverwalk Vista Specific Plan is an amendment to the La Sierra Specific Plan approved by the City of Riverside in 1991. The Riverwalk Vista Specific Plan is in response to a change in market conditions warranting the creation of specific planning policies and implementation measures based on current and projected community needs.

Housing

Policy 2.5: Promote phased and orderly development of new neighborhoods consistent with the provision of infrastructure improvements, appropriate public services, and facilities.

Specific Plan Consistency:

The Riverwalk Vista Specific Plan contains a phasing program for the orderly development of new neighborhoods in concert with the provision of infrastructure improvements and necessary public facilities to serve the project. The Specific Plan area is, in fact, an infill site.

Riverwalk Vista Specific Plan

GRIFFIN INDUSTRIES
FORESTAR RIVERSIDE, LLC

March 1, 2005
REVISED January 2011

