

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to JOHN BACCARELLA
5188 Victoria Avenue
Riverside, CA 92506

his heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property. That portion of the public street right of way of Victoria Avenue lying adjacent to 5188 Victoria Avenue, being a portion of Lot 2 of Victoria Hills Subdivision, as shown by map on file in Book 7 of Maps at Page 47 thereof, records of Riverside County together with a portion of Elsinore Road vacated, as shown by the attached Exhibit "A",

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows:

Construction and maintenance of a 3' high block wall with 4' high pilasters every 20'. Block wall is to have a stucco finish. Said wall will encroach into the public street right of way a maximum of 30'± as shown by the attached Exhibit "A".

1A. Prior to construction, Permittee shall contact all utility companies with facilities in the permit area to determine if the proposed encroachment permit will conflict with any existing or proposed facilities.

1B. Construction of said wall shall be in such a manner as not to cause any structural loading on the existing 36" R.C.P. storm drain. (Ref. Plan D-394, Sheet 1 of 2)

1C. Permittee shall assume full responsibility and hold the City of Riverside harmless for any damage said wall may incur in the event the existing 36" R.C.P. requires maintenance or replacement.

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: August 10, 1988

CITY OF RIVERSIDE, a municipal corporation

By *Al Brown* Mayor

Attest *Alice A. Hare* City Clerk

The foregoing is accepted by:

John Baccarella
(Signature(s) of Permittee)

APPROVED AS TO CONTENT

Bing Bed
Department Head

CONCURS WITH

Robert C. Melle
PLANNING DEPARTMENT

APPROVED AS TO FORM

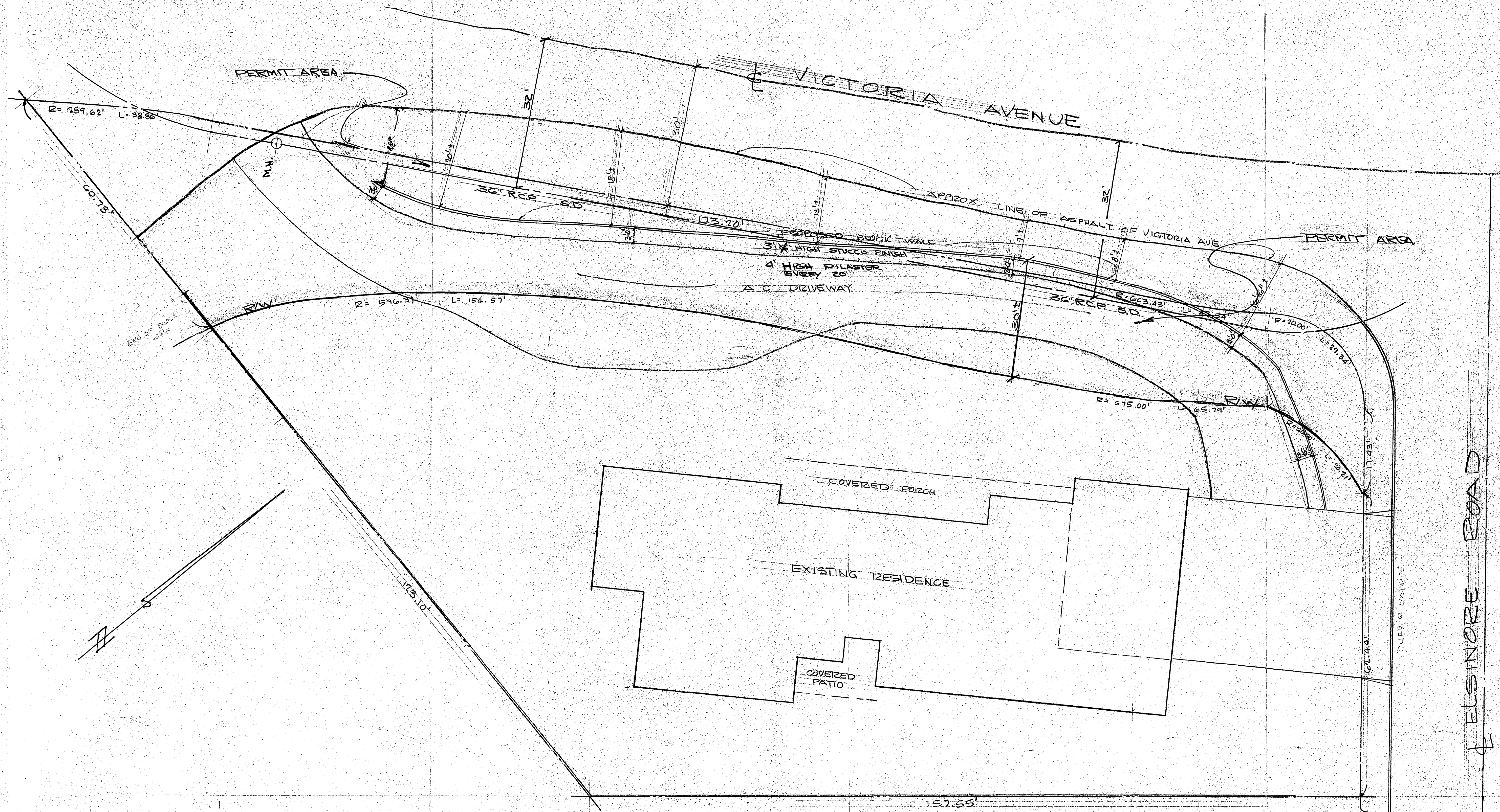
John Woodhead
City Attorney

CONCURS WITH
CULTURAL HERITAGE BOARD

Alan Curl
ALAN CURL

CITY MANAGER APPROVAL

Robert C. Tremont
City Manager



PLOT PLAN

SCALE 1" = 10'

EXHIBIT 'A'

REVISIONS	BY

CONTRACTOR
THE BESSA CORP
 2520 HAWAIIAN PUL
 RIVERSIDE, CALIF
 (714) 733-6885 ST. DIC. 419827

OWNER
JOHN BACCARELLA
 5166 VICTORIA AVE
 RIVERSIDE, CALIF.

DATE
SCALE
DRAWN BY
JOB NO.
SHEET
OF SHEETS