

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to Kenneth C. and Wanda S. Browning
4315 Brockton Avenue
Riverside, CA 92501

their heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property. That portion of the public street rights of way of Thirteenth Street and Brockton Avenue adjoining the northerly and easterly lines of Lot 1 of the El Dorado Tract, as shown by map on file in Book 4 of Maps, at Page 93 thereof, records of Riverside County, California, as shown on the attached Exhibit "A",

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows: Construction and maintenance of a brown slumpstone retaining wall, varying in height from 1.5 to 2.5 feet, encroaching a maximum of 9.00 feet into said public street right of way of Thirteenth Street, together with maintenance of an existing 56" high concrete retaining wall encroaching into said public street right of way of Thirteenth Street and encroaching a maximum of 11.00 feet into said public street right of way of Brockton Avenue, together with maintenance of an existing walled walkway with steps encroaching a maximum of 11.00 feet into said public street right of way of Brockton Avenue, all as shown on the attached Exhibit "A".

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: JUN 8 1989

CITY OF RIVERSIDE, a municipal corporation

By *Al Brown* Mayor

Attest *Alice A. Hise* City Clerk

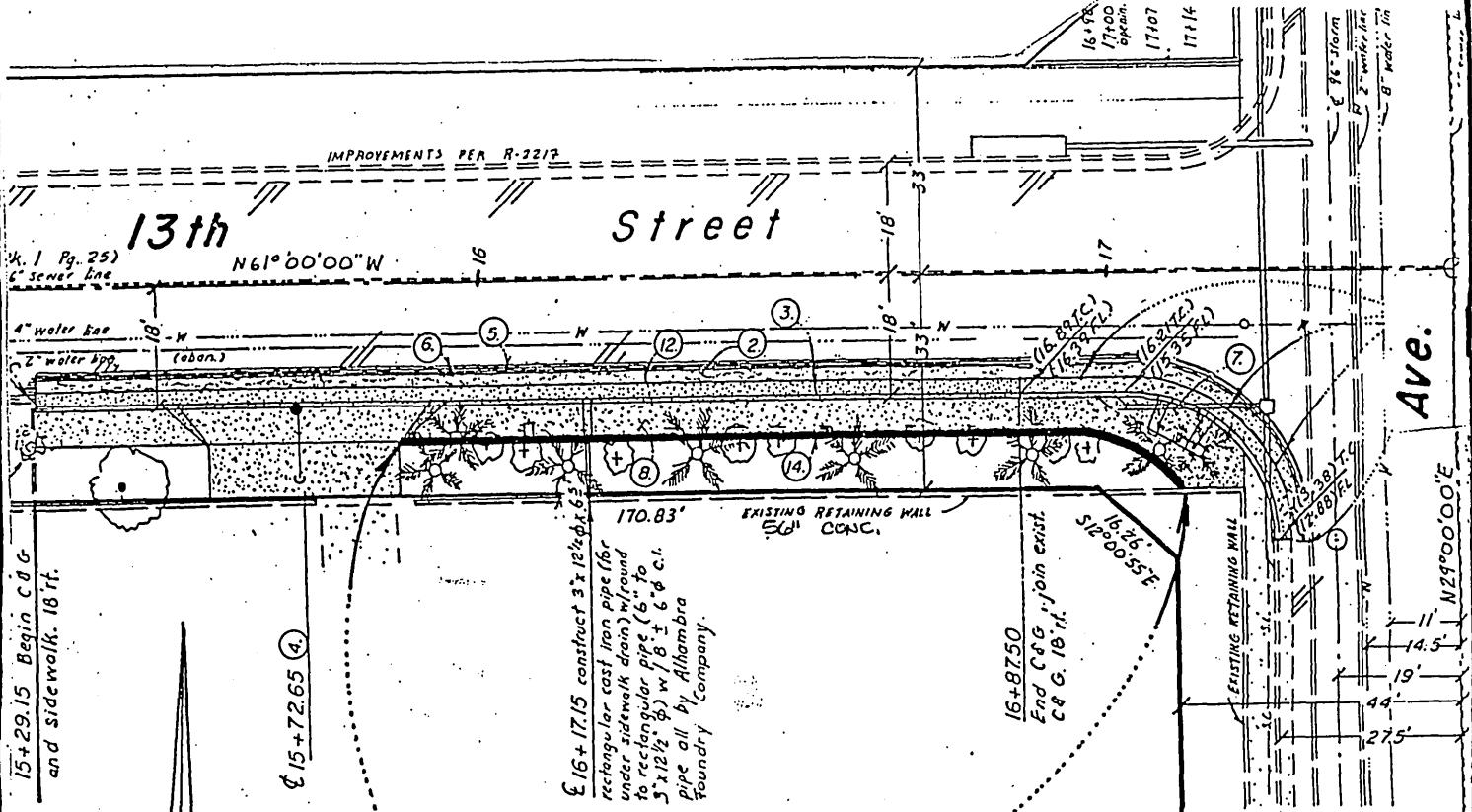
The foregoing is accepted by:

Kenneth Brown
(Signature(s) of Permittee)
Wanda S. Browning

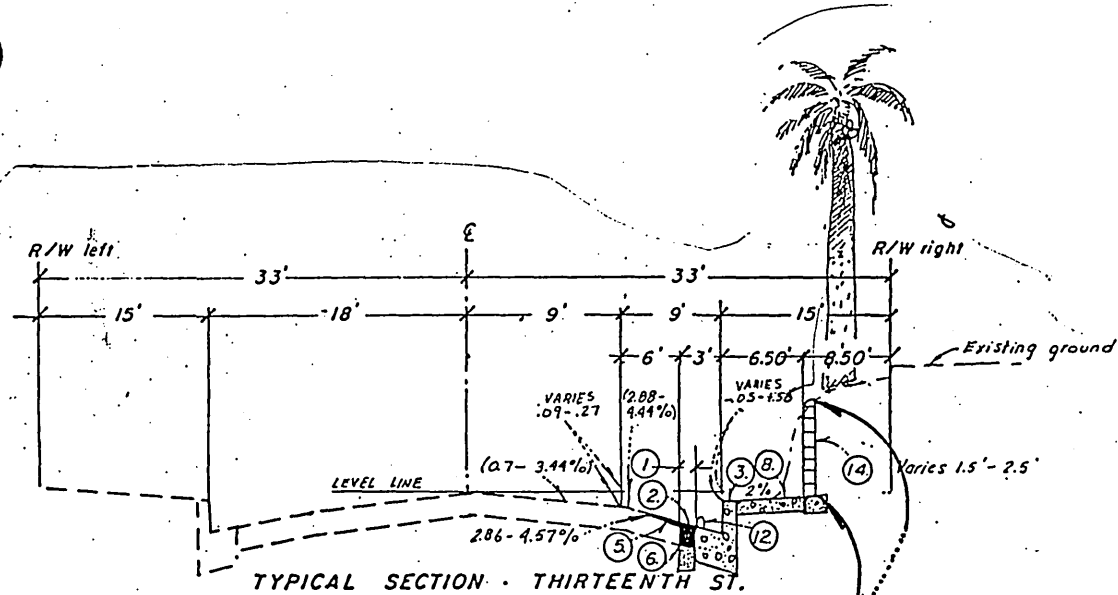
APPROVED AS TO CONTENT
Darryl Beal
Department Head

APPROVED AS TO FORM
John Woodhead
City Attorney

CITY MANAGER APPROVAL
Robert E. Jamont
for City Manager



Limits of retaining wall

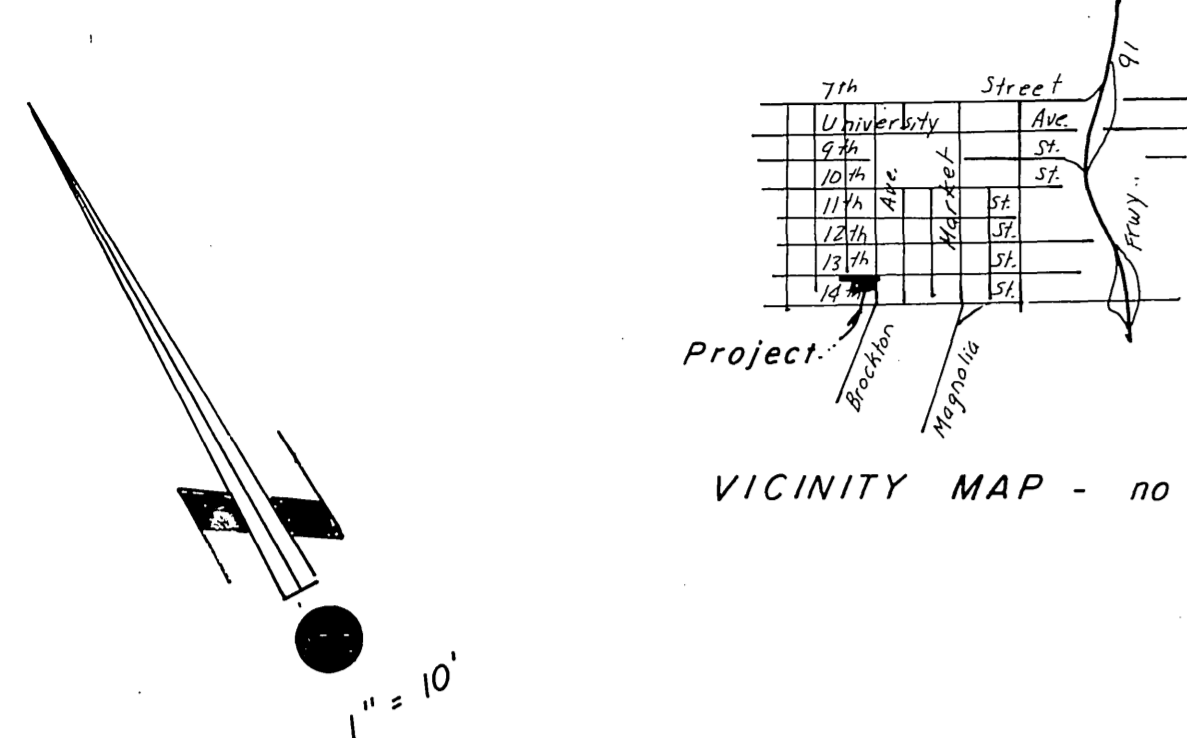


Height of retaining wall; varies 1.5' - 2.5' (Brown Slumpstone)

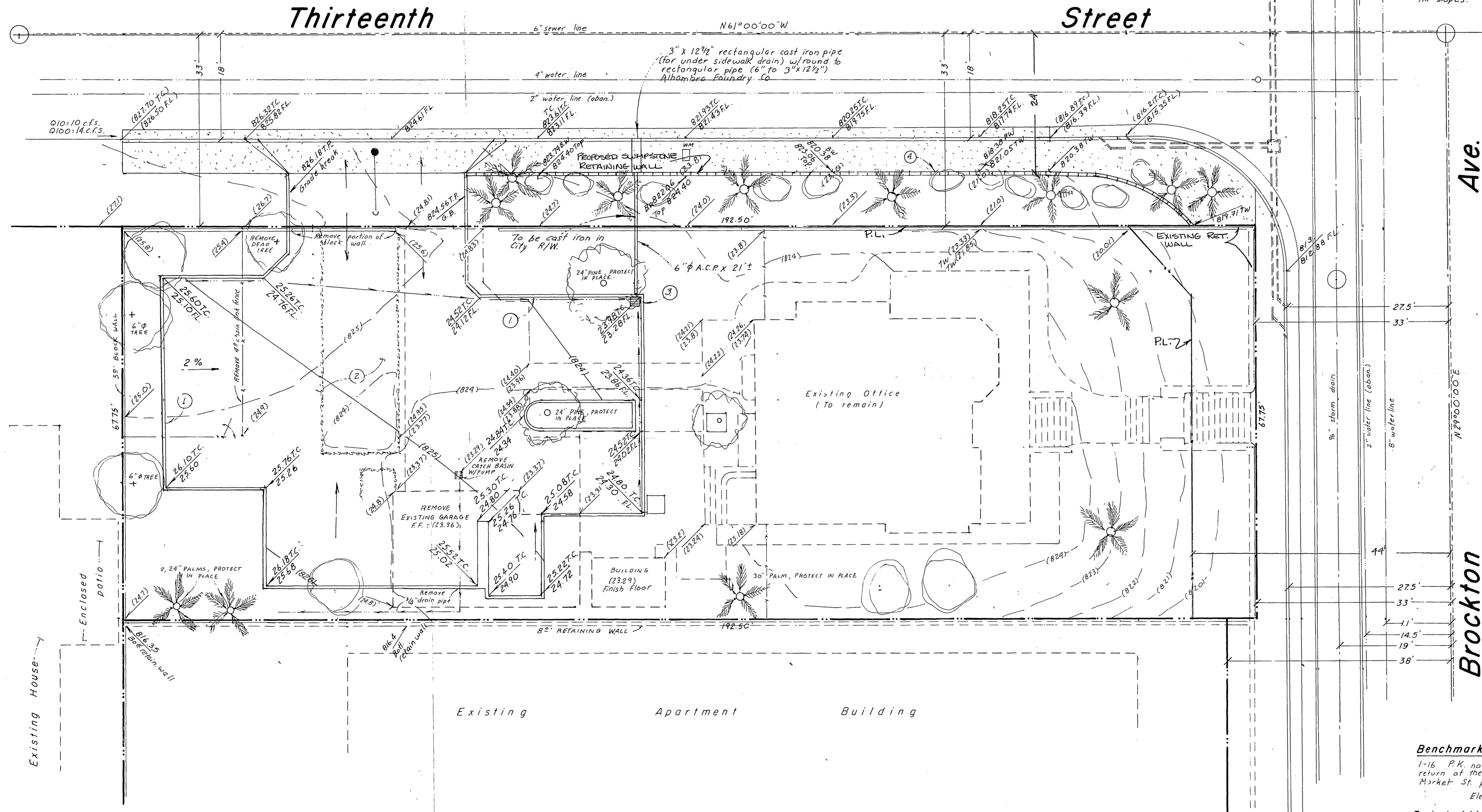
CITY OF RIVERSIDE, CALIFORNIA

Scale: None. Drawn by: TT 5/26/88

Subject: Encroachment Permit for wall



VICINITY MAP - no scale



General Notes :

- All grading shall conform to Chapter 70 of the current city adopted edition of the Uniform Building Code.
- The Preliminary Soils report was waived by W. Furey of the Building Dept. 3/11/88.
- This plan is for grading purposes only. Issuance of a permit based on this plan does not constitute approval of driveway locations or sizes, parking lot structural sections or layout, building locations, off site drainage facilities or other items not related directly to the basic grading operation.
- Certification from the registered civil engineer stating that the grading has been completed per the approved plan, and a compaction report from the soil engineer for fill areas prior to building permits being issued.
- Contractor is responsible for erosion, dust and temporary drainage control during grading operations.
- Any improvements constructed in the public right-of-way will require a separate construction permit and inspection from the Public Works Department.
- Any walls, fences, structures and/or appurtenances adjacent to this project are to be protected in place. If grading operations damage or adversely affect said items in any way, the contractor and/or developer is responsible for working out an acceptable solution to the satisfaction of the affected property owner(s).
- It is the grading contractor's responsibility to ensure that adequate compaction has been attained on the entire grading site including fill areas outside the building pads and on all fill slopes.
- It is the soil engineer's responsibility to observe and perform compaction tests during the grading to evaluate the preparation of the natural ground surface to receive the fill and the compaction attained in the fill, including fill areas outside the building pads and on all fill slopes.

Construction Notes :

- Construct 6" curb per C/R Dwg. No. 200 Type II.
- Construct 3" A.C. pavement over 4" Class II A.B.
- Construct 24"x24" Catch Basin w/5" walls, w/cast iron grate, Brooks Product or equal.
- Construct retaining wall per C/R Dwg. No. 708.

Owner :

Dr. Kenneth C. Browning
3719 Arlington Ave.
Riverside, California 92509

Topography

Based on Robert L. Taylor survey 2/25/88.

Quantities (For Permit Purposes Only)

(Not for bidding)
50 C.Y. cut
50 C.Y. fill

Benchmark :

1-16 P.K. nail in top of curb, 12" SE'ly of curb return at the most S'ly corner of Tenth St. and Market St. per F.B. 975/10.
Elev. = 840.914

Project Address :

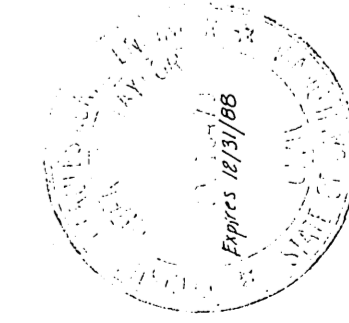
4315 Brockton

Notice To Contractor

The existence or location of any underground utility pipes or structures shown on these plans have been obtained by a search of the available records. To the best of our knowledge there are no existing utilities except those shown on these plans. The Contractor is responsible for locating and verifying the location of all utility lines and protecting them, whether or not they are shown on these plans.

CALL

Underground Service Alert
48 Hrs. Before You Dig
For Underground Locating
1-800-422-4133



ROBERT L. TAYLOR - Civil Engineer
R.C.E. 10470
5630 Magnolia Ave
Riverside, Calif. 92506 (714) 683-0617
Approved by: Robert L. Taylor Date 3/10/88
ROBERT L. TAYLOR P.C.E. 10470

In The City of Riverside, California
GRADING PLAN 4315 Brockton, R-50-867
Legal: Being Lot 1 and the east half of Lot 20 along with the east half of the 10' unimproved alley of the El Dorado Tract per M.B. 4/93, Recs. of Plu. Co.
Sheet 1 of 1 sheets
W.O. L-5 Scale: 1"=10' Date: March 9, 1988

E.P.C. Review not required
L.B. & L. Co. L.L.C. 4/11/88
Planning Dept. Date