

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to Marin and Mariana Ciobanu
11525 Welebier St.
Loma Linda, CA 92354

their heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property.

Being a portion of that certain storm drain and waterline easement as reserved from the vacation of Correll St., as recorded by instrument #158021, June 4, 1987, official records of Riverside County, California, as shown on the attached Exhibit "A",

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows:

Construction and maintenance of private patios and fencing, pool area and fencing, barbecue area, and private walkways encroaching into said storm drain and waterline easement as shown on the attached Exhibit "A".

- 1a. Permittee shall obtain a street opening permit from the Public Works Department prior to construction.
- 1b. Prior to construction within the easement, Permittee shall provide a profile showing existing grades, proposed grades, and storm drain grades, to ensure adequate cover over existing pipelines.
- 1c. Permittee shall contact the City of Riverside Property Services Division to initiate abandonment of said waterline easement prior to beginning construction.

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: SEP 11 1990

CITY OF RIVERSIDE, a municipal corporation

By Terry Frings Mayor

Attest Alice A. Lane City Clerk

The foregoing is accepted by:

[Signature]
(Signature(s) of Permittee)

[Signature]

APPROVED AS TO CONTENT

[Signature]
Department Head - Public Works

[Signature]
Department head - Public Utilities

APPROVED AS TO FORM

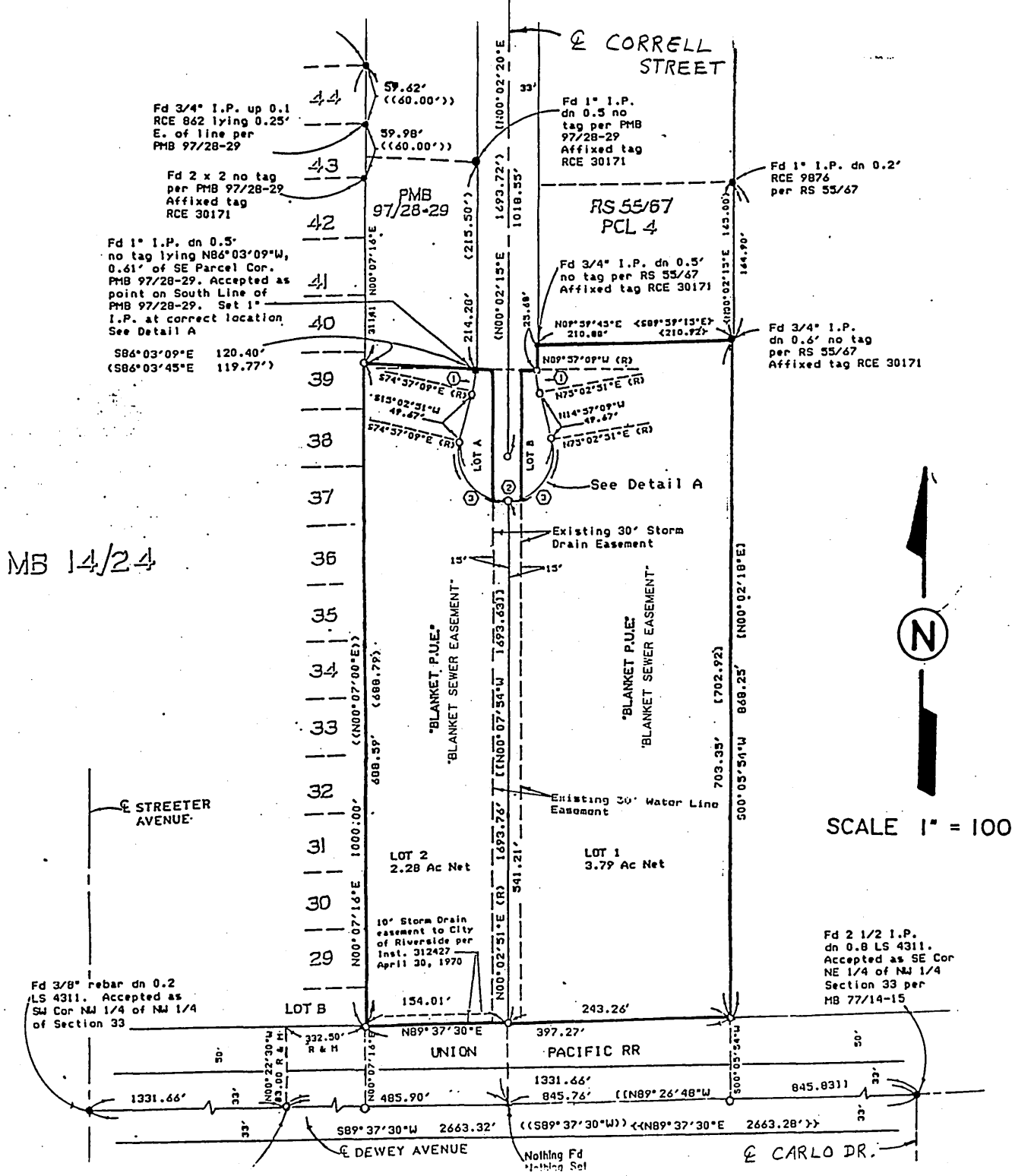
[Signature]
City Attorney

[Signature] for
Department Head - Planning

CITY MANAGER APPROVAL

[Signature]
City Manager

JURUPA AVENUE



MB 14/24

SCALE 1" = 100

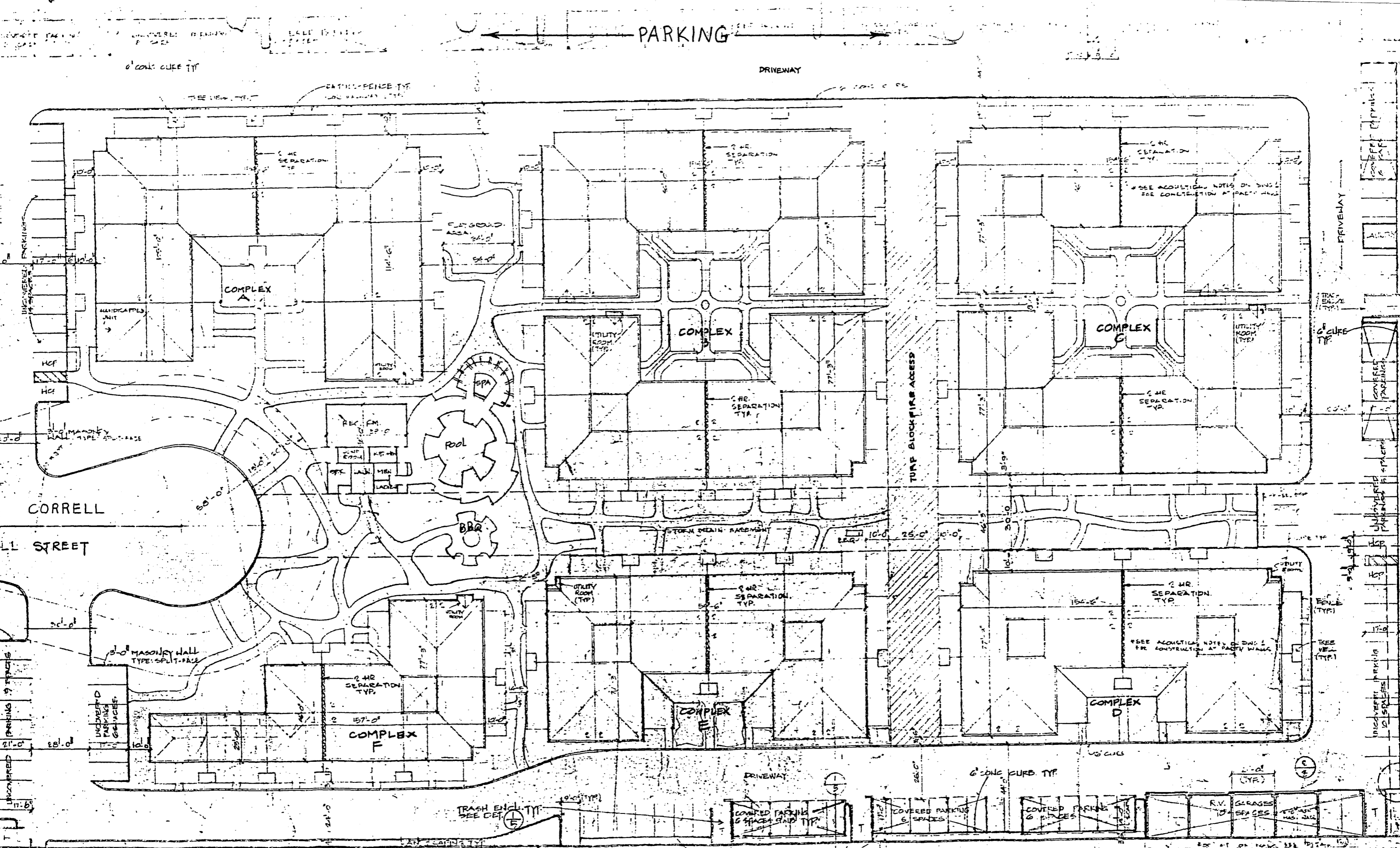
ENCROACHMENT PERMIT

EXHIBIT 'A'
SHEET 1 OF 2

E-1160

PARKING

DRIVEWAY



NOTE:
 1. SIZE, TYPE & LOCATION OF FIRE EXTINGUISHER
 TO BE DETERMINED AT SITE BY FIRE PREVENTION
 INSPECTOR

SITE PLAN

