

APPLICATION FOR ENCROACHMENT PERMIT

(to be completed by applicant)

FUAD MODIRI, the Owner Lessee of the property located at 7769, 7745 INDIANA AVENUE in the City of Riverside, Assessor's Parcel No. 230-100-006,004 hereby requests permission to CONSTRUCT AND MAINTAIN (2) COBBLESTONE AUTOMOBILE DISPLAY AREAS

in the public right of way of INDIANA AVENUE /or the _____ easement at the rear/ side/ front of said property. The attached drawing shows the requested encroachment. Upon issuance of this permit, I agree to comply with the attached terms and conditions.

Date 10-1-91 Fuad Modiri

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ENCROACHMENT PERMIT APPROVAL

(to be completed by City)

This permit shall become effective upon the approval of the Departments listed below. Issuance of this permit shall not be construed as a waiver of any other applicable permit or requirement, but is only revocable permission to use the land for the purpose described.

- Public Utilities Water B. Simpson 10/1/91
- Public Utilities Electric W. W. Galtier 10/1/91
- Planning Michael Whaley 10.1.91
- N/A Parks and Recreation _____
- _____ (other) _____
- _____ (other) _____

Upon obtaining the above signatures, return this permit to the Public Works Department for final approval.

Date 10/1/91 Barry Bell
Public Works Director

Encroachment Permit No. E-1189

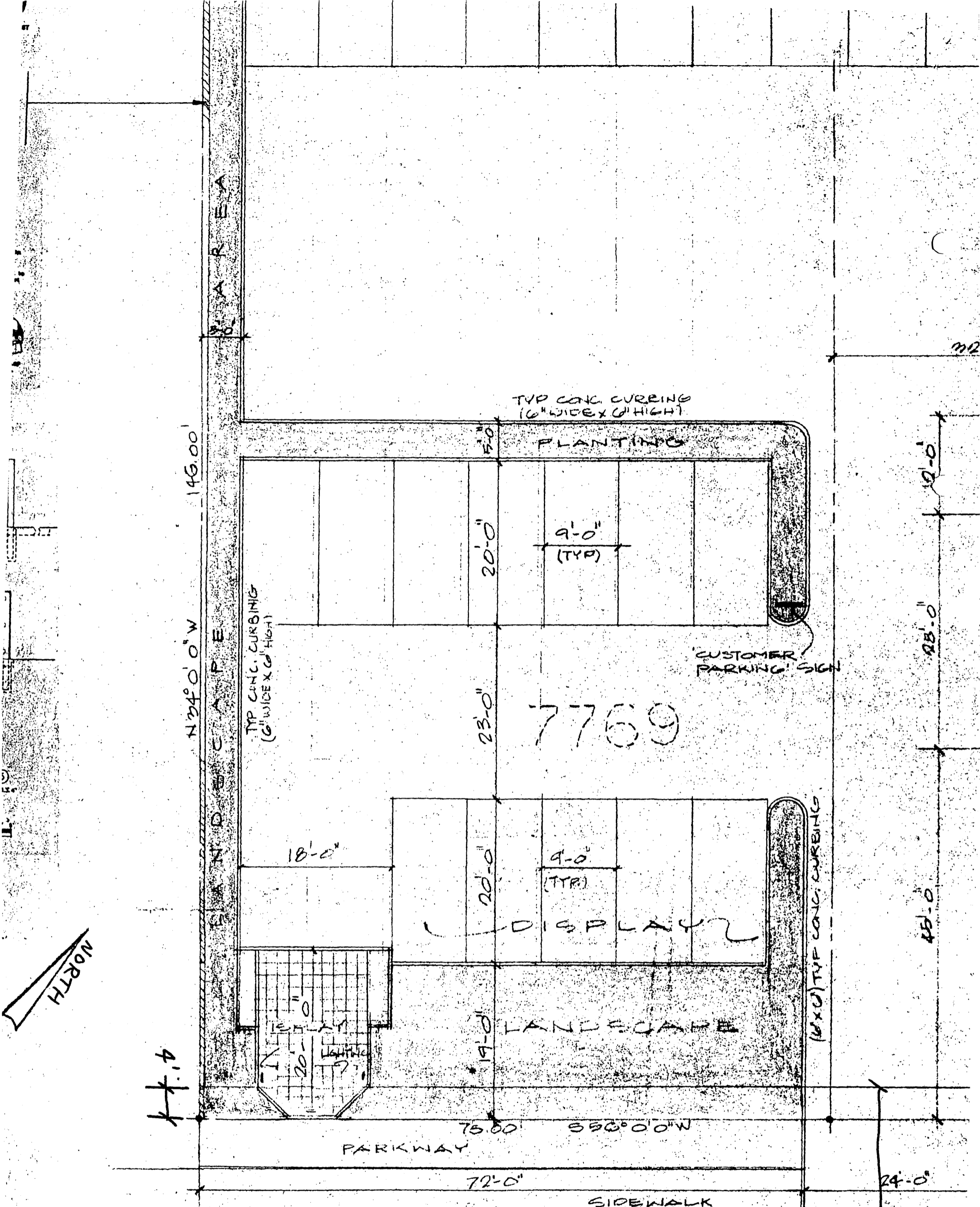
TERMS AND CONDITIONS

The following indicated terms and conditions apply to encroachment permit no. E-1189.

1. Permittee acknowledges that the area of encroachment is owned or controlled by the City of Riverside.
2. Permittee acknowledges that the described property could be needed for a proposed or planned public improvement and the City may revoke this permit. Upon written notice of revocation, the permittee shall, within the time prescribed by the City, remove all improvements placed, constructed or maintained. If the permittee fails to abide by the removal order of the City, the City shall have the right to remove and destroy the improvements without reimbursement to the permittee. The cost of such removal shall be paid by the permittee to the City and shall constitute a debt owed to the City.
3. Permittee waives the right of claim, loss, damage or action against the City resulting from revocation, termination, removal of improvements or any action of the City, its officers, agents or employees taken in accordance with the terms herein.
4. If the City Council of the City of Riverside finds that the permittee is in default of the terms of this permit, that shall be cause for revocation.
5. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims demands, costs, losses, damages, injuries, actions for damages and/or injuries, and liability in connection with the construction, encroachment, and/or maintenance to be done by permittee within the described property.
6. Prior to any construction taking place on City controlled property, permittee shall obtain a Construction Permit or Street Opening Permit from the City Public Works Department.
7. The permittee agrees to insure that construction of their improvements will not interfere in any way with existing City or utility facilities. The existing facilities will require future maintenance, reconstruction and revisions and facilities may be added, any of which may result in removal or alteration of the permittee's improvements without

reimbursement to the permittee. Prior to construction, Permittee shall contact Underground Service Alert to field locate existing utility lines. Any conflicts discovered will void the permit until acceptable revisions are made.

8. Other _____



LIVERSIDE
CONSTRUCTION NOTES

1. Beyond enclosure walls, over 90% compacted (impacted block), 6' high masonry walls (per local architecture to Design Review Board specifications), concrete filled. 2" clearance between walls.

2. 2"x1 1/4" steel angle iron frame and 1/2" joints.

3. 42 maximum slope.

4. See details of Construction Note 4.

5. See details of Construction Note 4.

6. See details of Construction Note 4.

7. See details of Construction Note 4.

8. See details of Construction Note 4.

9. See details of Construction Note 4.

10. See details of Construction Note 4.

11. See details of Construction Note 4.

12. See details of Construction Note 4.

13. See details of Construction Note 4.

14. See details of Construction Note 4.

15. See details of Construction Note 4.

16. See details of Construction Note 4.

- 13. #4 horizontal re-bar.
 - 14. #4 vertical re-bar @ 32" O/C in PCC filled cells.
 - 15. #4 Re-bar Continuous in footing under walls and gate openings.
 - 16. Cane bolt and cane bolt receptacle (see detail sheet).
- *Note: Tilt-up concrete trash enclosures, built to equivalent specifications are also acceptable, if approved by the Design Review Board and/or staff.

TO JEFFERSON ST.

INDIANA AVENUE

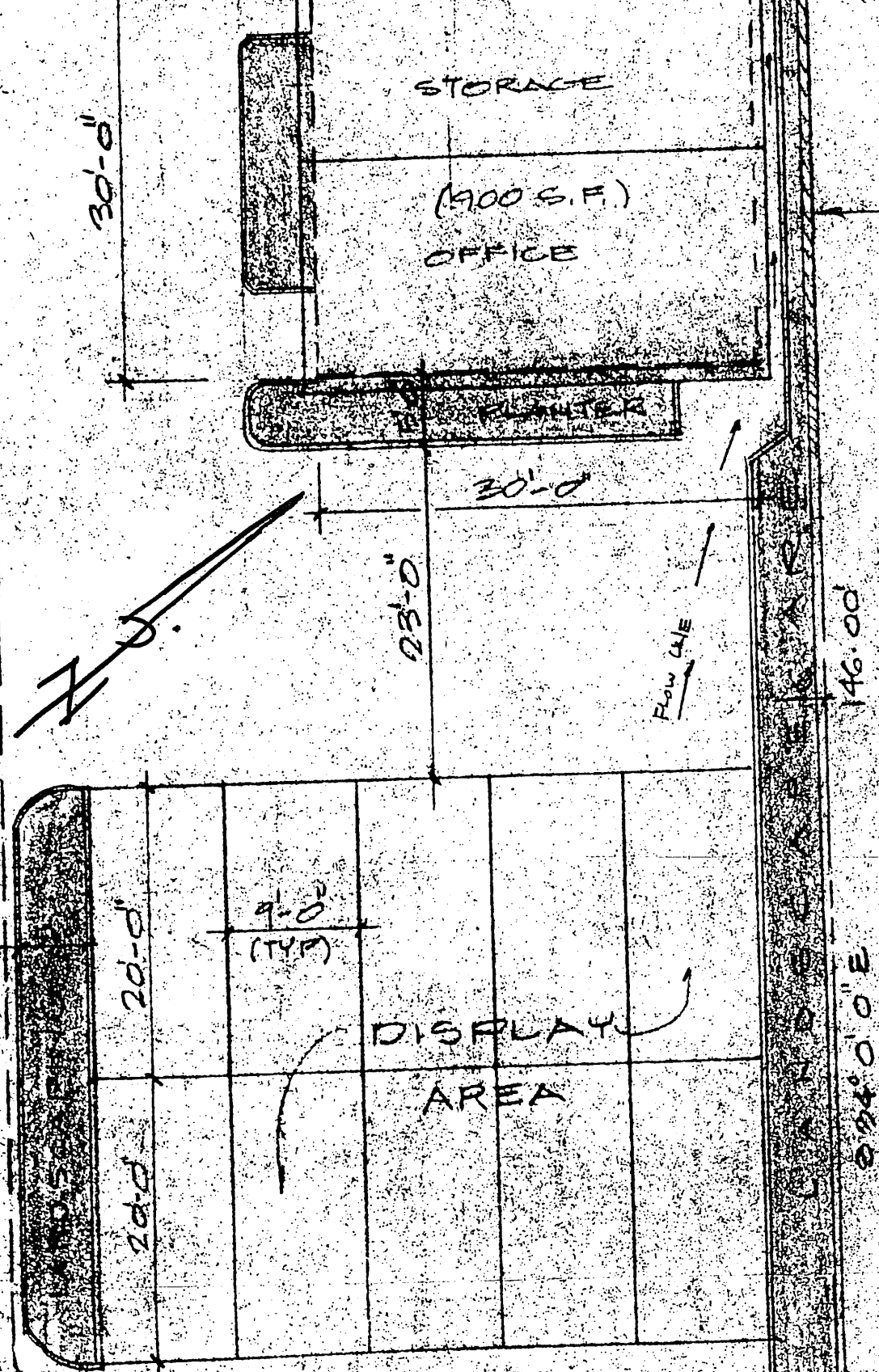
TO MADISON ST.

Enclosure materials shall be specified in a note as follows:

BLOCK COLOR: GREY BLOCK TYPE: PRECISION SIZE: 8" x 8" x 16"

CAP COLOR: GREY CAP TYPE: PRECISION SIZE: 2" x 8" x 16"

GATE TYPE: 16 GA. RIBBED MTL FINISH COLOR: PAINT TO MATCH BLOCK



EXISTING 2'-0" BLOCK WALL TO MATCH EXISTING TAN SPLIT FACE BRICK

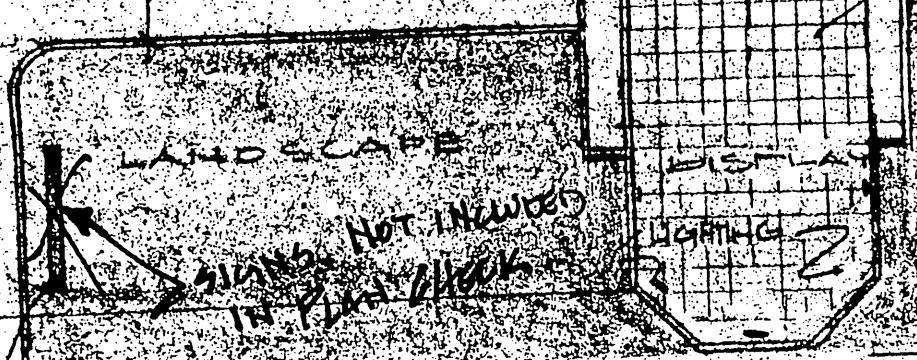
BLDG ANALYSIS

PROPOSED BLDG	1900 S.F.
EXISTING BLDG	100 S.F.
TOTAL OFFICE AREA	2000 S.F.
REQUIRED PARKING:	
1 PER 250 S.F.	8
5 PER EACH PUDG	2
TOTAL OFFICE AREA	10
TOTAL OF PARKING PROVIDED	12
DISABLED PARKING	2
TOTAL	14

DRIVEWAY

7745

SIDEWALK



GENERAL NOTES

BLOCK COLOR: TAN TYPE: TOW-SIDED BUMP BLOCK SIZE: 8X8X16

WHITE PAINTED STRIPES: NOTE LESS THAN 4 INCHES WIDE TO INDICATE PARKING SPACES

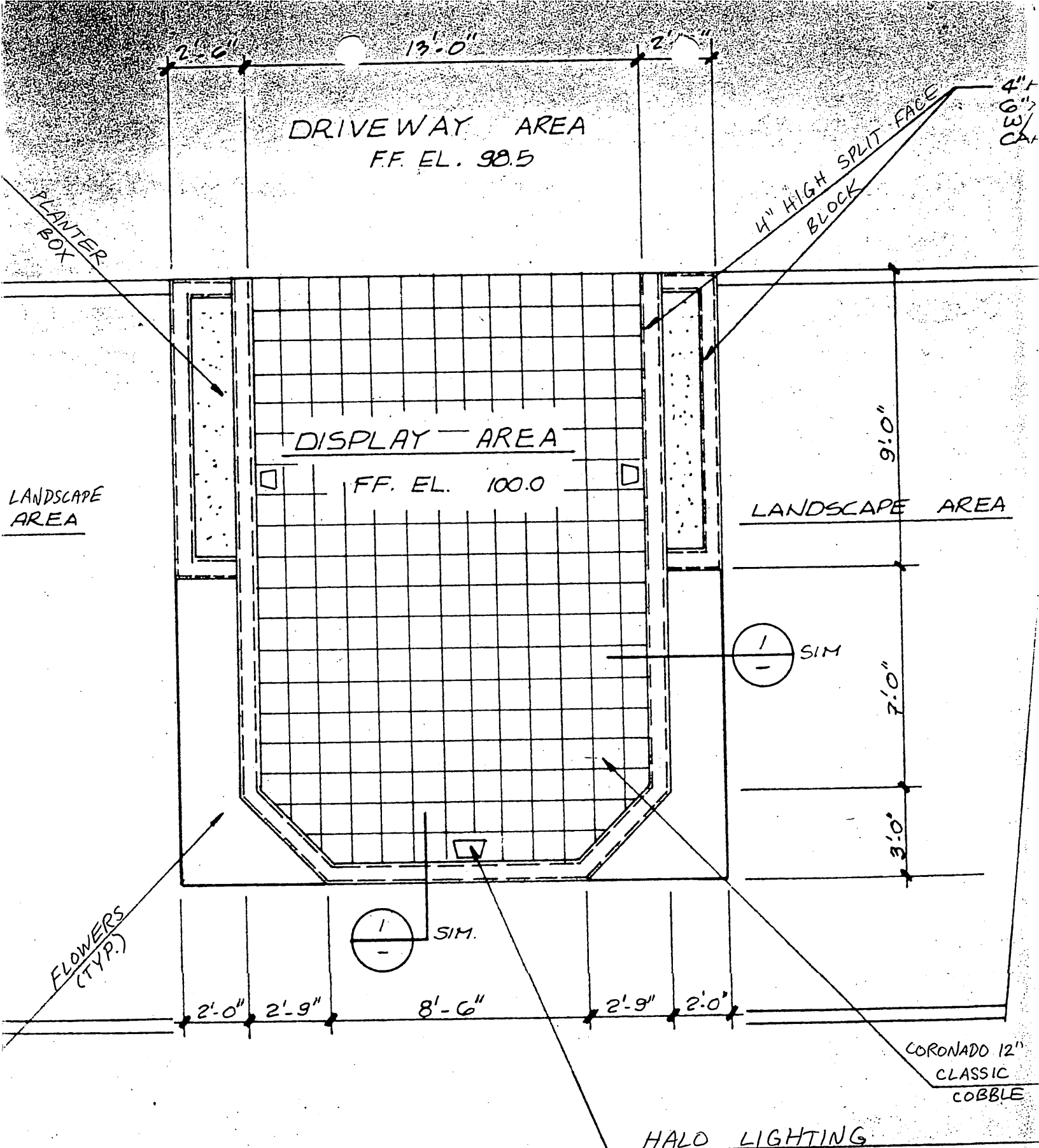
○ CUSTOMER & EMPLOYEE PARKING TO MADISON ST.

GAP COLOR: TAN TYPE: PRECISION SIZE: 2X8X16

THE MECHANICAL EQUIPMENTS ARE AT THE ATTIC

A MINIMUM OF 3.5 INCHES OF ASPHALTIC CONCRETE PAVING FOR ALL PARKING AND DRIVEWAY AREA

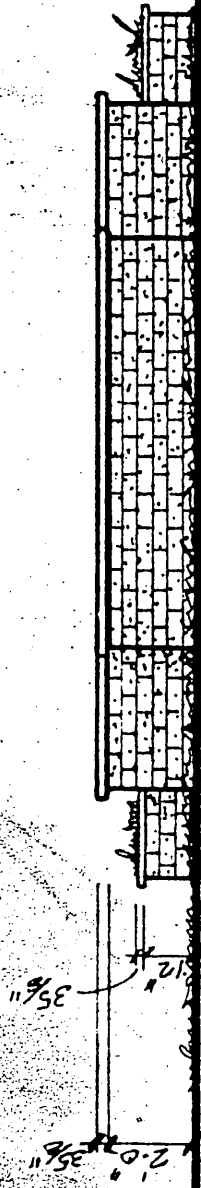
INDIANA AVENUE TO JEFFERSON ST.



FLOOR

PLAN

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

1/2 SPLIT FACE BLOCK BY ORCO
8" S/F IS TAN COLOR
5" X 3 5/8" X 9 5/8" PRECISION
ROUNDED CORNERS) (TYP)

ORCO CAP 7 5/8" X 3 5/8" X 9 5/8"

HALO LIGHTING WHERE OCCURS
CORONADO 12" CLASSIC COBBLE TILE

4" THK CONC. SLAB
W/6X6-#10X10 W.W.

24" MAX

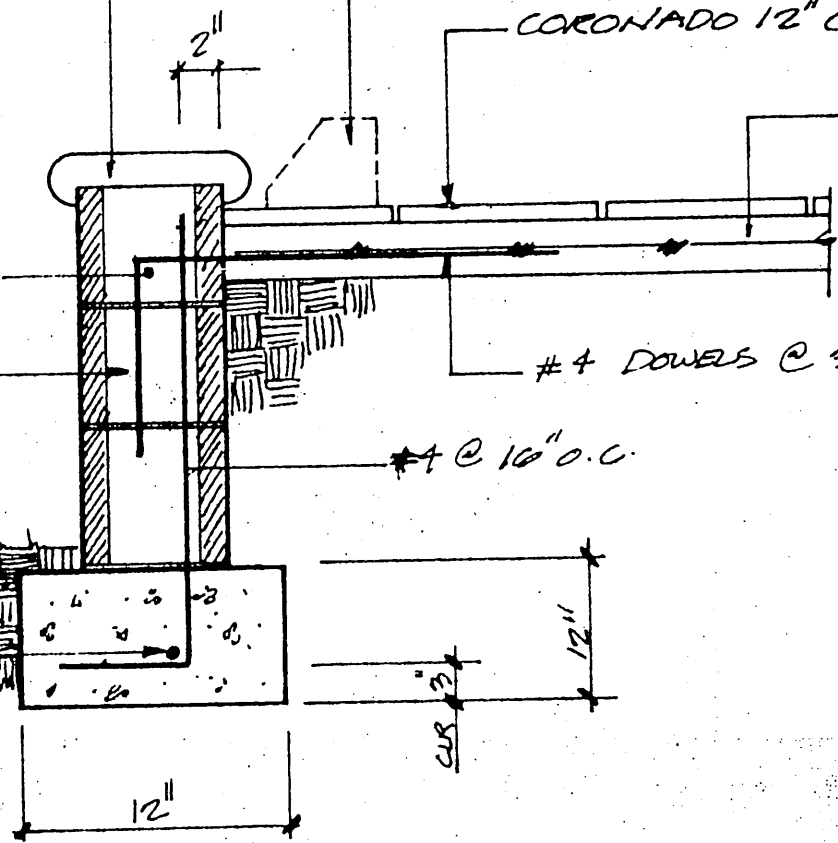
ORCO BLOCK
6" X 4" X 8" S/F IS
SOLID GROUTED

1-#4

#4 DOWELS @ 32" O.C.

#4 @ 16" O.C.

1-#4



DETAIL

