

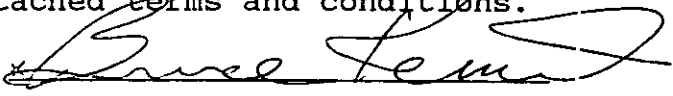
**APPLICATION FOR ENCROACHMENT PERMIT**  
(to be completed by applicant)

Wal-Mart Stores, Inc. \_\_\_\_\_, the X Owner Lessee of the property located at 5200 Van Buren Boulevard in the City of Riverside, Assessors Parcel No. 151-290-010;151-290-008;151-290-011;151-380- hereby requests permission to \_\_\_\_\_  
Construct off-site storm drain improvements connecting private drainage into public \_\_\_\_\_  
\_\_\_\_\_

028

in the public right of way of Gramercy Place /or the N/A \_\_\_\_\_ easement at the rear / side / front of said property. The attached drawing shows the requested encroachment. Upon issuance of this permit, I agree to comply with the attached terms and conditions.

Date 1-22-93



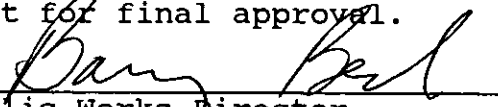
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**ENCROACHMENT PERMIT APPROVAL**  
(to be completed by City)

This permit shall become effective upon the approval of the Departments listed below. Issuance of this permit shall not be construed as a waiver of any other applicable permit or requirement, but is only revocable permission to use the land for the purpose described.

- N/A Public Utilities Water \_\_\_\_\_
- N/A Public Utilities Electric \_\_\_\_\_
- N/A Planning \_\_\_\_\_
- N/A Parks and Recreation \_\_\_\_\_
- \_\_\_\_\_ (other) \_\_\_\_\_
- \_\_\_\_\_ (other) \_\_\_\_\_

Upon obtaining the above signatures, return this permit to the Public Works Department for final approval.

Date 2/1/93

  
Public Works Director

Encroachment Permit No. E-1231

TERMS AND CONDITIONS

The following indicated terms and conditions apply to encroachment permit no. E-1231.

1. Permittee acknowledges that the area of encroachment is owned or controlled by the City of Riverside.
2. Permittee acknowledges that the described property could be needed for a proposed or planned public improvement and the City may revoke this permit. Upon written notice of revocation, the permittee shall, within the time prescribed by the City, remove all improvements placed, constructed or maintained. If the permittee fails to abide by the removal order of the City, the City shall have the right to remove and destroy the improvements without reimbursement to the permittee. The cost of such removal shall be paid by the permittee to the City and shall constitute a debt owed to the City.
3. Permittee waives the right of claim, loss, damage or action against the City resulting from revocation, termination, removal of improvements or any action of the City, its officers, agents or employees taken in accordance with the terms herein.
4. If the City Council of the City of Riverside finds that the permittee is in default of the terms of this permit, that shall be cause for revocation.
5. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims demands, costs, losses, damages, injuries, actions for damages and/or injuries, and liability in connection with the construction, encroachment, and/or maintenance to be done by permittee within the described property.
6. Prior to any construction taking place on City controlled property, permittee shall obtain a Construction Permit or Street Opening Permit from the City Public Works Department.
7. The permittee agrees to insure that construction of their improvements will not interfere in any way with existing City or utility facilities. The existing facilities will require future maintenance, reconstruction and revisions and facilities may be added, any of which may result in removal or alteration of the permittee's improvements without

reimbursement to the permittee. Prior to construction, Permittee shall contact Underground Service Alert to field locate existing utility lines. Any conflicts discovered will void the permit until acceptable revisions are made.

8. Other \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



SEE ATTACHED

N0°17'19"E  
373.59'

N0°18'15"E  
753.69'

R/S 80/14 ATTACHED SEE

E 1/2 NE 1/4 SE 1/4  
SEC 1, T3S, R6W  
Rancho La Sierra  
MB 6/70

PAR 1

Sierra Foothills No. 11  
MB 39/15-17

E'LY  
BDY.

3/26/46  
BK 737 PG. 218  
O.R.

349.76'

S89°39'39"W

S45°17'20"W  
12.71'

N89°42'20"W  
200'

PAR 2

9/8/50  
BK 1203 PG 115  
209' O.R.

S0°17'40"W  
196.20'

S0°17'40"W  
135'

S0°17'40"W  
196.20'

42'

13'

13'

47'

47'

55'

788.92'

326.66'

6'

202.88'

47'

47'

55'



135.30'  
S4°06'31"W  
137.23'

190.02'

991.79'

60.00'

60'

60'

60'

60'

60'

60'

60'

60'

60'

60'

60'

60'

60'

202.71'

TO PHILBIN AVE

TO VAN BUREN BLVD.

TO WELLS AVE.

CITY OF RIVERSIDE, CALIFORNIA

THIS PLAT IS SOLELY AN AID IN LOCATING THE PARCEL(S) DESCRIBED IN THE ATTACHED DOCUMENT. IT IS NOT A PART OF THE WRITTEN DESCRIPTION THEREIN.

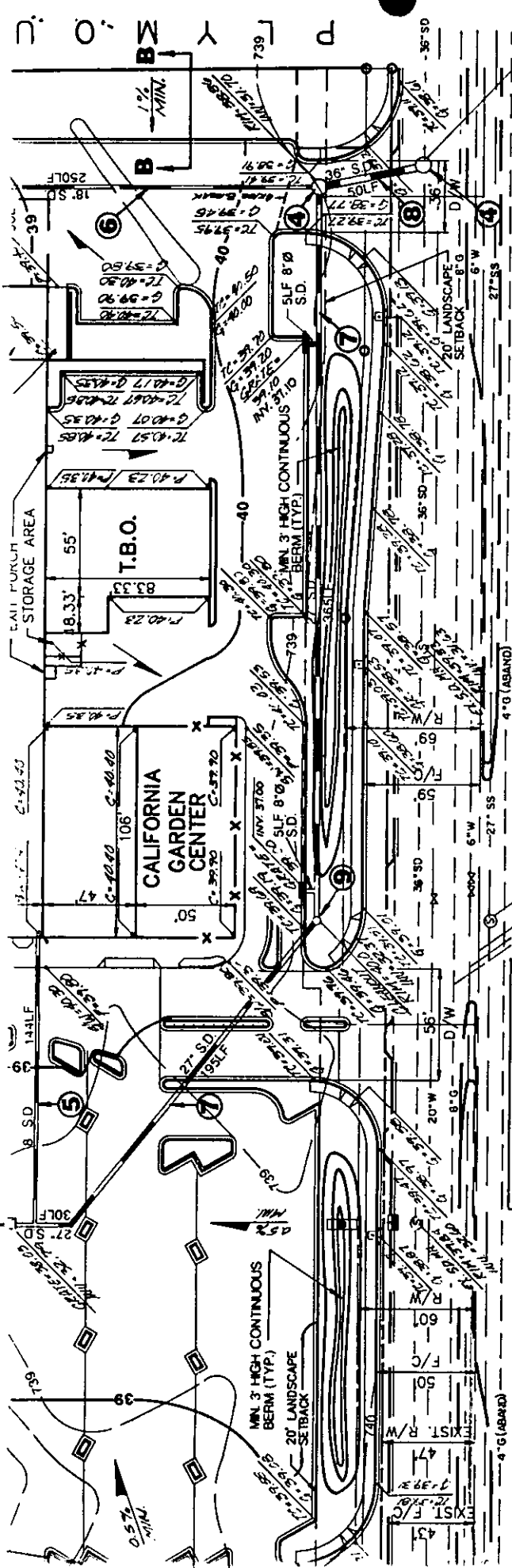
SHEET 1 OF 1

6/16-1

SCALE: 1" = N.T.S.

DRAWN BY *JW* DATE 11/17/92

SUBJECT R-2-923, C-3-923



**VAN BUREN BLVD.**

NOTE: SEE OFFSITE IMPROVEMENT PLANS INCLUDED WITH TRAFFIC SIGNAL PLANS FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

- C. DRIVEWAY APPROACHES FOR A SINGLE PARCEL SHALL HAVE AT LEAST 25 FEET OF FULL HEIGHT CURB BETWEEN THEIR NEAREST EDGES.
- D. A COMPLETE PLOT PLAN MUST BE SUBMITTED FOR APPROVAL.
- E. RECORDED EASEMENT REQUIRED FOR JOINT DRIVEWAY APPROACH. APPROVAL MUST BE OBTAINED FOR THE CITY TRAFFIC ENGINEER FOR ANY VARIATION FROM THIS STANDARD.

- 1. SHALL BE LOCATED 5 FEET FROM
- 2. SHALL BE LOCATED 5 FEET FROM
- 3. SHALL BE LOCATED 5 FEET FROM
- 4. SHALL BE LOCATED 5 FEET FROM
- 5. SHALL BE LOCATED 5 FEET FROM
- 6. SHALL BE LOCATED 5 FEET FROM
- 7. SHALL BE LOCATED 5 FEET FROM
- 8. SHALL BE LOCATED 5 FEET FROM
- 9. SHALL BE LOCATED 5 FEET FROM
- 10. SHALL BE LOCATED 5 FEET FROM

*OK KALB, 1-19-93*

*15.058 AC*  
*K. RAY = #29,363*  
*GAP = #460,90*

**CITY TAX # 053836**  
**EXPIRATION DATE 7/8/93**

**GRADING PLAN #1444**

- CONSTRUCTION NOTES
1. CONSTRUCT 5' WIDE CONCRETE FLUME PER DETAIL ON SHEET 7A.
  2. CONSTRUCT 20' WIDE CONCRETE FLUME PER DETAIL ON SHEET 7A.
  3. CONSTRUCT 20' CURB INLET PER CITY STANDARD DRAWING NO. 405.
  4. CONSTRUCT 4' DIA. STORM DRAIN MANHOLE PER CITY STANDARD DRAWING NO. 430. (CITY TO CONSTRUCT MANHOLE IN RIGHT-OF-WAY)
  5. INSTALL 918 L.F. OF 8" DIA. PVC OR CPP.
  6. INSTALL 875 L.F. OF 18" DIA. PVC OR CPP.
  7. INSTALL 590 L.F. OF 27" DIA. PVC OR CPP.
  8. 50 L.F. OF 36" PIPE. PORTION IN THE RIGHT-OF-WAY TO BE R.C.P. (INSTALLED BY THE CITY) AND THE PORTION ON MAL-HART'S PROPERTY TO BE PVC OR CPP (INSTALLED BY CONTRACTOR).
  9. INTERNAL STORM DRAIN CLEANOUT SEE DETAIL ON SHEET 7A.
  10. SEE DRAIN DETAIL ON SHEET 7B.

THE PA  
 ELEVAT  
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 OF 8' R  
 A HORI  
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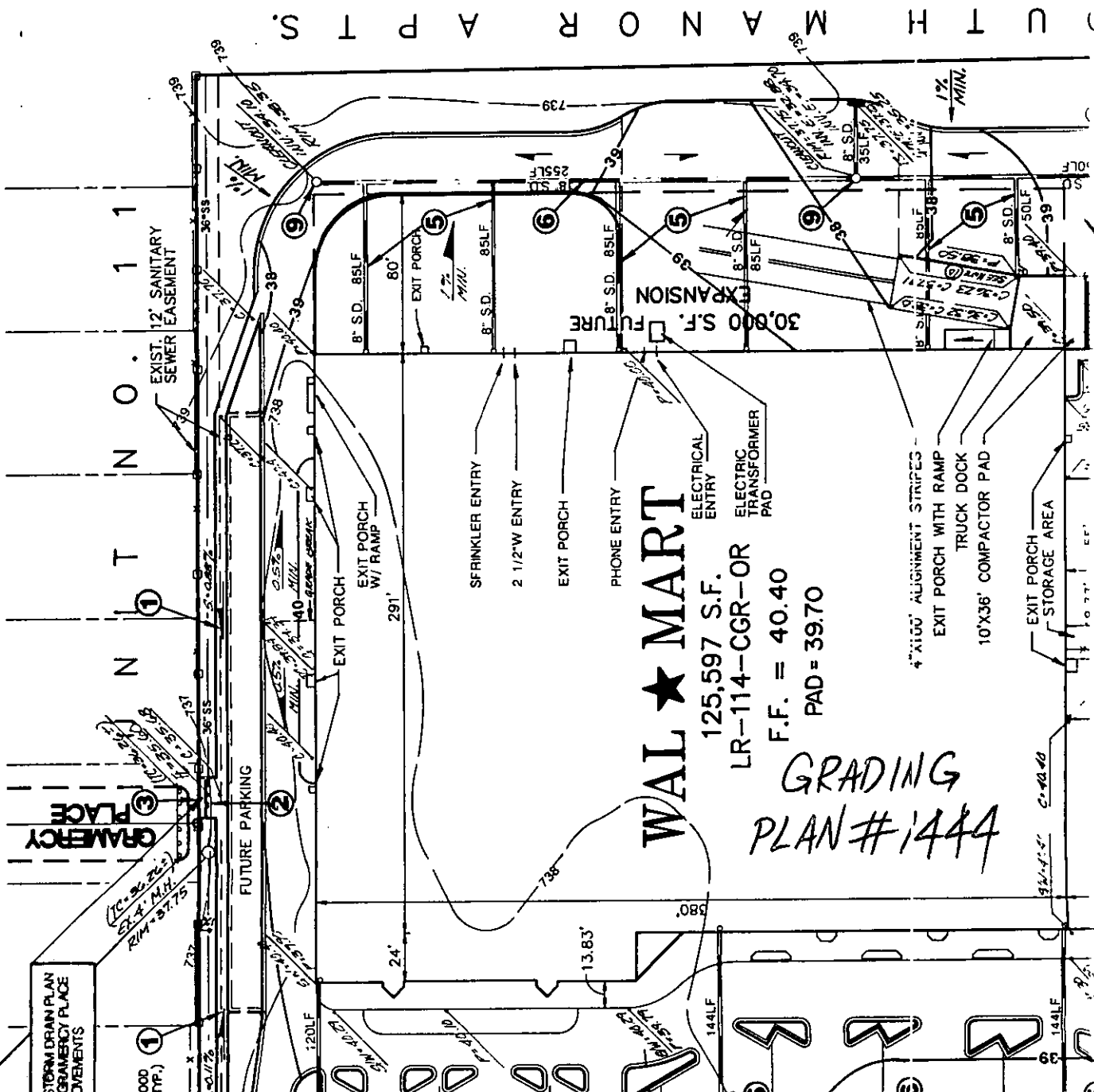
THE FO  
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 SPECIF  
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PLANN  
 No. 1  
 APPRO

GROUND GRADE

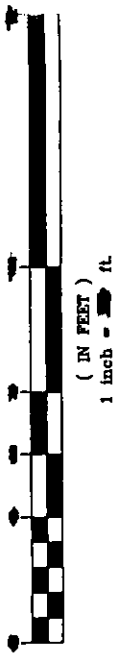
STORM DRAIN PLAN GRAMERCY PLACE COMMENTS



U T I H M A N O R A P T S



GRAPHIC SCALE



LEGEND

- EXISTING TOP OF CURB ELEVATION
- FINISHED GRADE ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FINISH FLOOR
- PROPOSED CONCRETE ELEVATION
- PROPOSED PAVEMENT ELEVATION
- PROPOSED SIDEWALK ELEVATION
- PROPOSED GUTTER ELEVATION
- DIRECTION OF FLOW
- PROPERTY LINE

**CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL UNDERGROUND SERVICE ALERT, 1-800-422-4133, AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELocate EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**NOTES:**

THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXITS, PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

FOUNDATION SUBSURFACE PREPARATION  
 WAL-MART  
 JOB #182384, RIVERSIDE (S), CALIFORNIA  
 10/27/82

THE FINAL SUBGRADE ELEVATION SHALL BE ESTABLISHED AT 18 INCHES BELOW FINISHED GRADE ELEVATION TO ALLOW FOR A 4 INCH SLAB AND 18 INCHES OF SUBBASE (PROVIDED BY THE CONTRACTOR). THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPOSED IMPROVEMENTS.

# WAL★MART

125,597 S.F.  
 LR-114-CGR-OR  
 F.F. = 40.40  
 PAD = 39.70

GRADING  
 PLAN #1444