

ENCROACHMENT PERMIT

GRANDMARC RIVERSIDE L.P., a Delaware limited partnership, the Lessee of the property located at 3549 Iowa Avenue in the City of Riverside, Assessors Parcel No. 250-180-004 & 250-190-041 hereby requests permission to construct and maintain grouted rip-rap, a storm drain inlet, an 18" storm drain lateral, 6" concrete curb, A.C. parking lot paving, and a portion of a trash enclosure, within the public right of way of a 12' sewer easement, and construct and maintain a trash enclosure, 6" concrete curb and A.C. parking lot paving within the public right of way of a 10' P.U.E. as shown on **EXHIBIT A** attached hereto.

Upon issuance of this permit, I agree to comply with the attached terms and conditions.

Date March 8, 2001

GRANDMARC RIVERSIDE L.P., a Delaware limited partnership

By: GrandMarc G.P. II, Inc., a Texas corporation
Its general partner

By [Signature]
Title Gregory J. Almquist
Vice President

By _____
Title _____

Applicants Address: 1007 Town Lake Hills East, Suite 1400, Woodstock, GA. 30189

Phone : 678-445-1515 - Greg Almquist * PAUL MORAN 678-445-1515 ext 3006

ENCROACHMENT PERMIT APPROVAL

This permit shall become effective upon the approval of the Departments listed below. Issuance of this permit shall not be construed as a waiver of any other applicable permit or requirement, and is only revocable permission to use the land for the purpose described.

- Public Utilities Water - Brian Simpson N/A [Signature]
- Public Utilities Electric - Pat Hohl [Signature] 3-7-01
- Sewerage Systems - Ernie Meloy [Signature]
- Planning - Jeff Belier [Signature] 3-6-01

APPLICANT: Upon obtaining the above signatures, return this permit to the Public Works Department for final approval.

FINAL APPROVAL

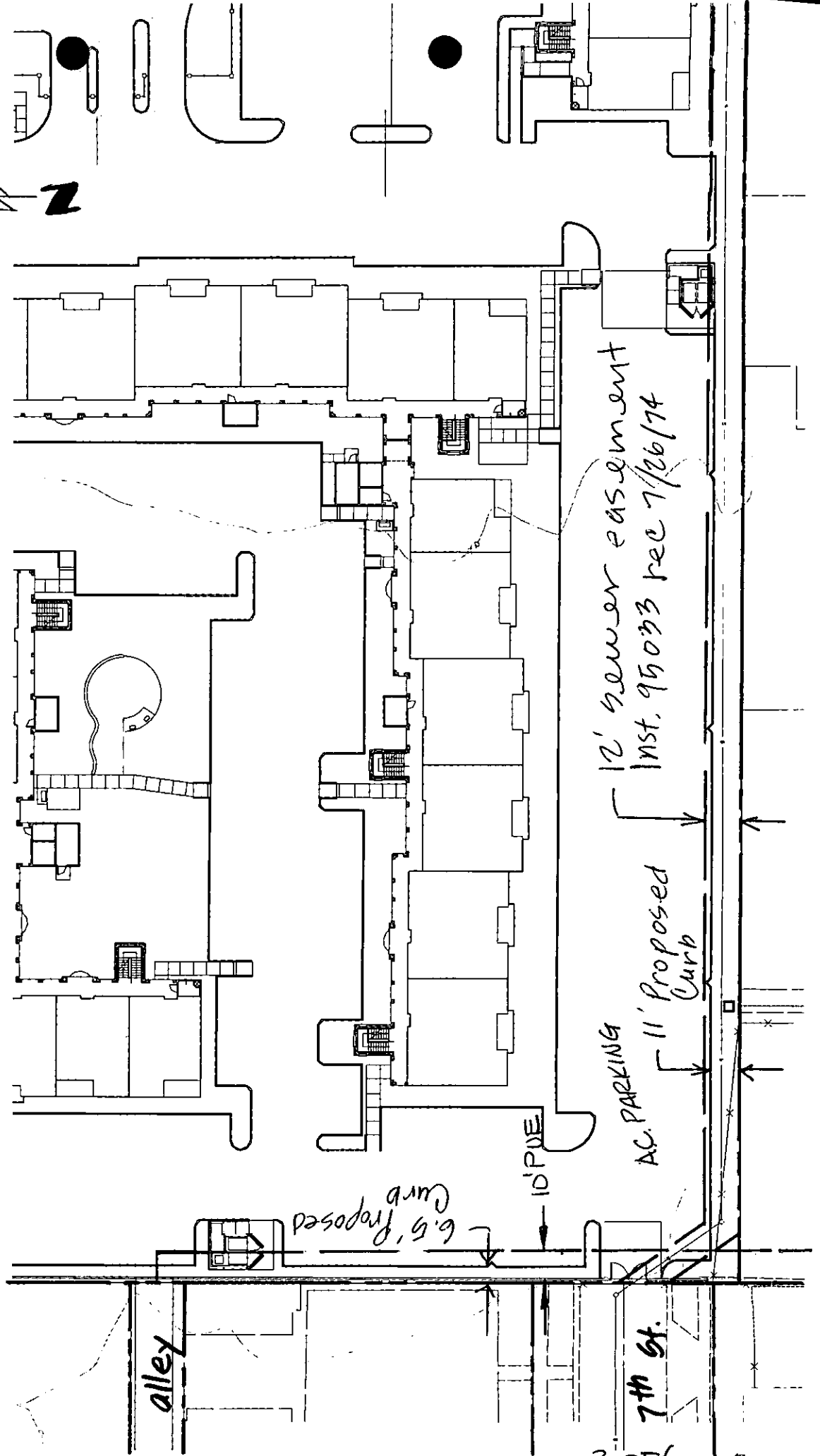
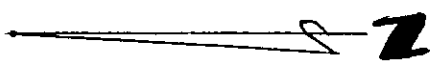
Date 3-13-01

[Signature]

PWD 4/2/01

TERMS AND CONDITIONS

1. Permittee acknowledges that the area of encroachment is owned or controlled by the City of Riverside.
2. Permittee acknowledges that the described property could be needed for a proposed or planned public improvement and the City may revoke this permit. Upon written notice of revocation, the permittee shall, within the time prescribed by the City, remove all improvements placed, constructed or maintained. If the permittee fails to abide by the removal order of the City, the City shall have the right to remove and destroy the improvements without reimbursement to the permittee. The cost of such removal shall be paid by the permittee to the City and shall constitute a debt owed to the City.
3. Permittee waives the right of claim, loss, damage or action against the City resulting from revocation, termination, removal of improvements or any action of the City, its officers, agents or employees taken in accordance with the terms herein.
4. If the Public Works Director of the City of Riverside finds that the permittee is in default of the terms of this permit, that shall be cause for revocation.
5. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims demands, costs, losses, damages, injuries, actions for damages and/or injuries, and liability in connection with the construction, encroachment, and/or maintenance to be done by permittee within the described property.
6. Prior to any construction taking place on City controlled property, permittee shall obtain a Construction Permit or Street Opening Permit from the City Public Works Department.
7. The permittee agrees to insure that construction of their improvements will not interfere in any way with any existing City or utility facilities.
8. Permitted acknowledges that existing city or utility facilities will require future maintenance, reconstruction, and revisions and that facilities may be added, any of which may result in removal or alteration of the permittee's improvements without reimbursement to the permittee.
9. Prior to construction, permittee shall contact Underground Service Alert to field locate existing utility lines. Any conflicts discovered will void the permit until acceptable revisions are made.



12' sewer easement
Inst. 95093 rec 7/26/74

AC. PARKING
11' Proposed
Curb

10' PVE

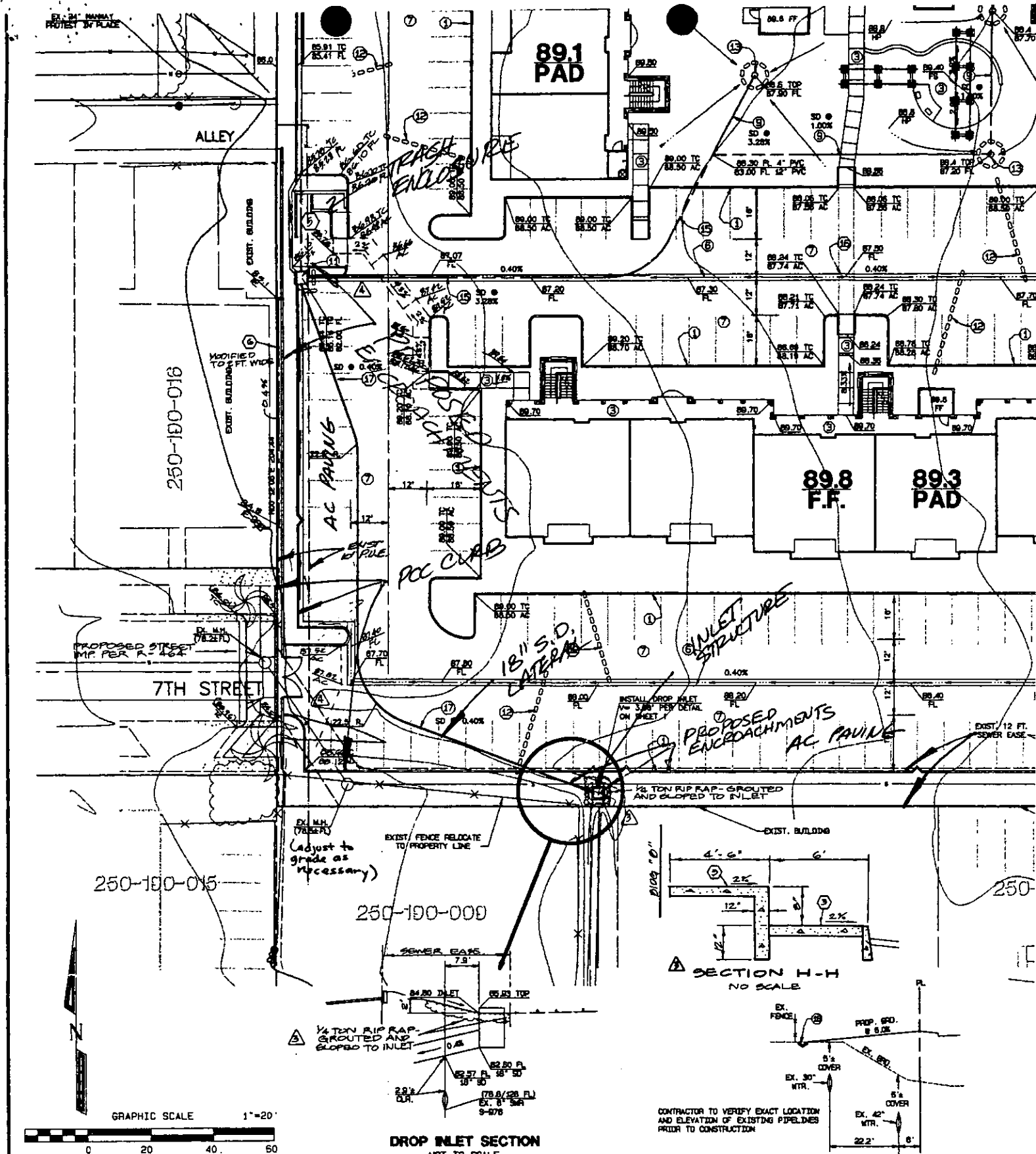
6.5' Proposed
Curb

alley

7th St.

2 OF 6

E-1484



PROPOSED STREET
MP PER R. 142'

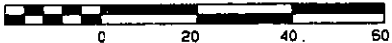
7TH STREET

250-190-015

250-190-000

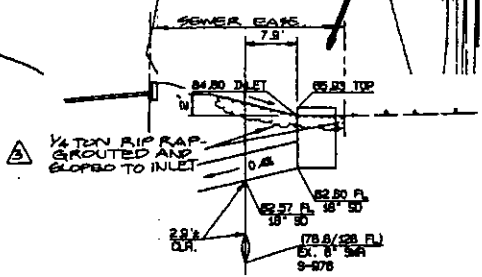


GRAPHIC SCALE 1"=20'

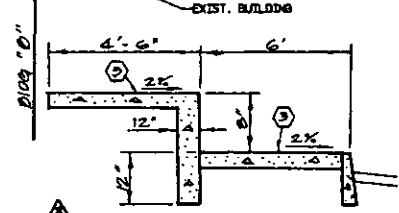


EX. M.H. (78257)
(Adjust to grade as necessary)

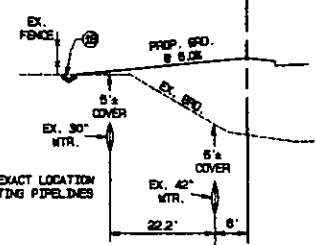
EXIST. FENCE RELOCATE TO PROPERTY LINE



DROP INLET SECTION
NOT TO SCALE



SECTION H-H
NO SCALE



SECTION B-B
NOT TO SCALE

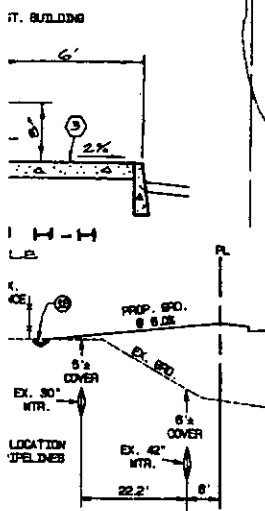
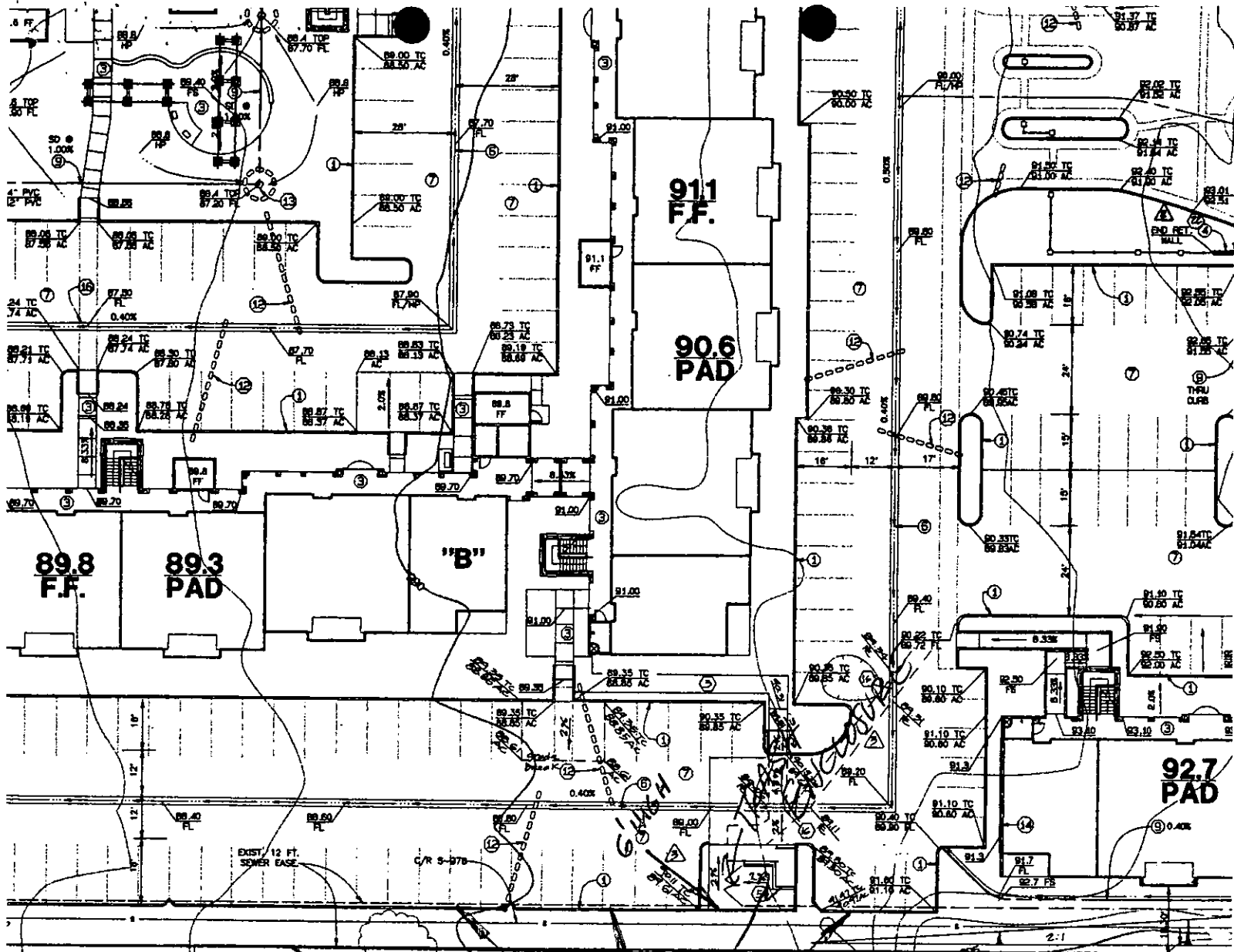
CONTRACTOR TO VERIFY EXACT LOCATION AND ELEVATION OF EXISTING PIPELINES PRIOR TO CONSTRUCTION

UNDERGROUND SERVICE ALERT
CALL: TOLL FREE
1-800
227-2600
THE SOURCE OF ALL SERVICE CALLS

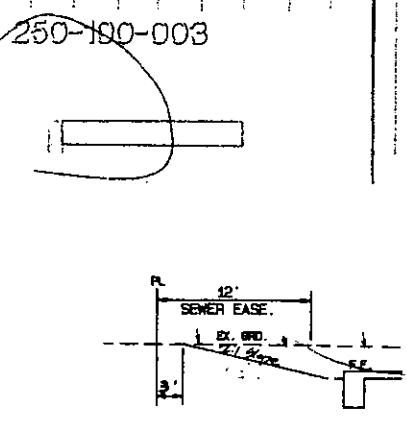
BENCH MARK
P.K. NAIL AND CITY ENGINEER TAG IN THE EAST END OF THE NORTH CONCRETE HANDRAIL ABUTMENT OF THE LINDEN STREET OVERCROSSING OF THE 60/1-215 FREEWAY AT THE NORTHEASTERLY CORNER OF LINDEN STREET AND IOWA AVENUE.
ELEVATION: 996.699

SEE SHEET 1 FC

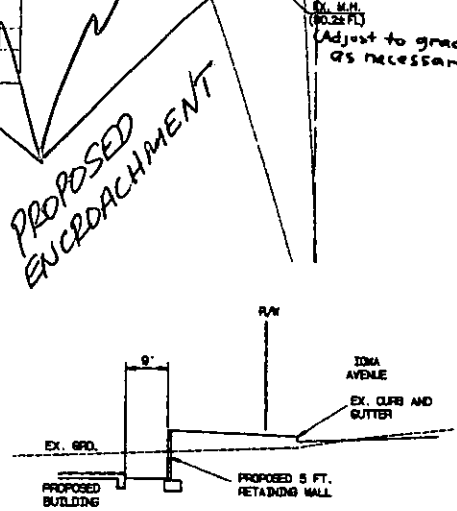
3 OF 6 E-1484



SECTION B-B
NOT TO SCALE



SECTION C-C
NOT TO SCALE



SECTION E-E
NOT TO SCALE

PROPOSED ENCROACHMENT

ADJ. M.H. (NO. 25 FL.)
(Adjust to grade as necessary)

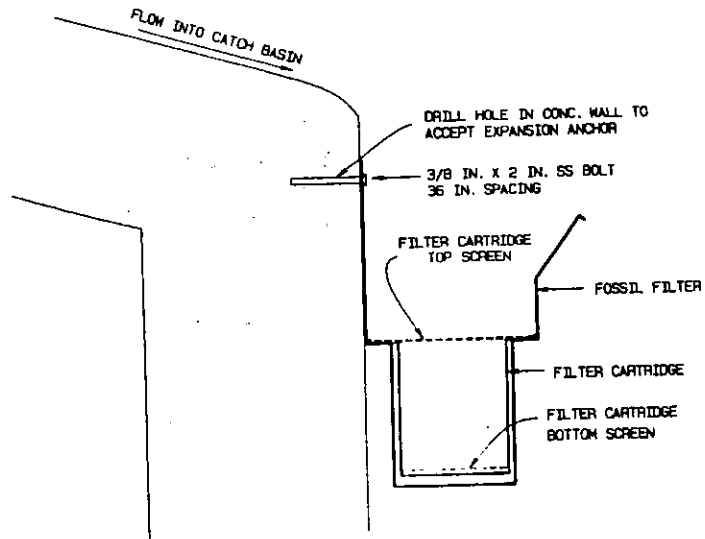
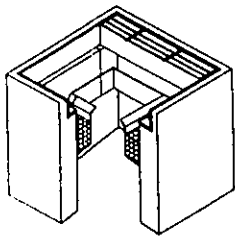
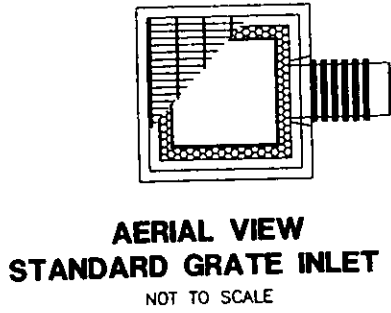
CITY PLANNING APPROVED
JAN 11 2011



SEE SHEET 1 FOR GENERAL AND CONSTRUCTION NOTES.

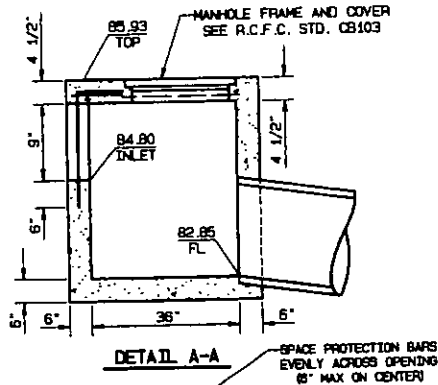
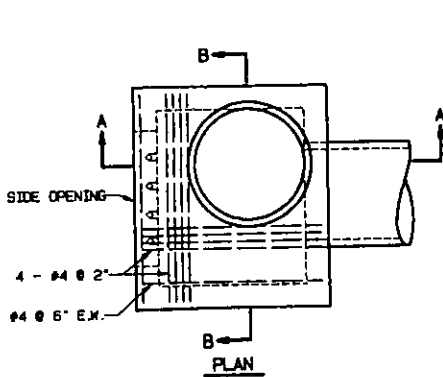
CITY OF RIVERSIDE
WATER DEPARTMENT
APPROVED BY: *[Signature]*

E-1484
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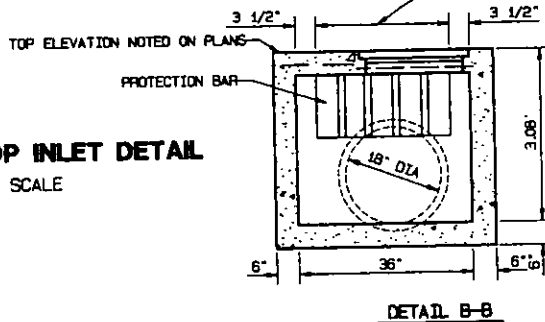


**CROSS SECTION OF FOSSIL
FILTER**
NOT TO SCALE

STANDARD GRATE INLET
NOT TO SCALE



CONCRETE DROP INLET DETAIL
NOT TO SCALE



BENCH MARK

P.K. NAIL AND CITY ENGINEER TAG IN THE EAST END OF THE NORTH CONCRETE HANDRAIL ABUTMENT OF THE LINDEN STREET OVERCROSSING OF THE 60/1-215 FREEWAY AT THE NORTHEASTERLY CORNER OF LINDEN STREET AND IOWA AVENUE.

DROP INLET NOTES

1. STRUCTURAL CONCRETE SHALL BE CLASS "A".
2. REINFORCING STEEL SHALL BE NO. 4 DEFORMED BARS. CLEARANCE SHALL BE 1 1/2" FROM BOTTOM OF SLAB.
3. THE BASIN FLOOR SHALL BE GIVEN A TIGHT WOOD FLOAT FINISH. CURVATURE OF THE LIP AND SIDEWALLS AT THE SIDE OPENING SHALL NOT BE MADE BY PLASTERING. THE OUTLET PIPE SHALL BE TRIMMED TO FINAL SHAPE AND LENGTH BEFORE THE CONCRETE IS POURED.
4. STEPS: 3/4" PLAIN ROUND GALVANIZED STEEL STEPS SHALL BE INSTALLED 16" APART. THE TOP STEP SHALL BE 6" BELOW THE TOP SURFACE AND SHALL BE 2 1/2" CLEAR FROM THE WALL. ALL OTHER STEPS SHALL BE 4" CLEAR FROM THE WALL. ALL STEPS SHALL BE ANCHORED NOT LESS THAN 4" INTO THE WALL OF THE BASIN.
5. PROTECTION BARS ARE PLAIN ROUND STEEL BARS 1" DIAMETER AND SHALL BE INSTALLED WITH BEDS IMBEDDED 6".
6. ALL EXPOSED METAL PARTS SHALL BE GALVANIZED.
7. SLOPE BOTTOM TO OUTLET FROM ALL DIRECTIONS.
8. SEE R.C.F.C. STD. CB106 FOR WALL AND FLOOR STEEL REINFORCING.