

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to United States Cold Storage  
3115 12TH Street  
Riverside, CA 92501

its heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property. That portion of the Storm Drain Easement (15 feet wide) conveyed to the City of Riverside by deed recorded January 20, 1939, as Instrument Number 1795, records of Riverside County, California lying within Eleventh Street (vacated) between Vine Street and the Riverside Water Co. Canal as shown on attached Exhibit "A" and made a part of this document.

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows: To construct and maintain a building addition over said storm drain easement as illustrated on attached Exhibit "A".

- 1A. Permittee shall secure necessary permits and notify the Public Works Department, Engineering Division 24 hours prior to any construction adjacent to storm drain pipe.
- 1B. Permittee agrees to assume liability for any damage to storm drain pipe caused by construction and to hold the City harmless for any damage caused by impairment of normal drainage arising from said damage.
- 1C. Permittee will allow the City the right to enter permittee's property to maintain, repair or replace storm drain pipe over alternate route, should any normal access be denied by the location of the building addition.
- 1D. Permittee acknowledges the intent of the design of the footings and foundation of said building to add no additional loading upon said storm drain pipe, and hereby agrees to keep said pipe free from such loading.

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: May 4, 1977

CITY OF RIVERSIDE, a municipal corporation

By [Signature] Mayor

Attest [Signature] City Clerk

The foregoing is accepted by:

[Signature]  
(Signature(s) of Permittee)  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

APPROVED AS TO CONTENT  
[Signature]  
Department Head

APPROVED AS TO FORM  
[Signature]  
City Attorney

CITY MANAGER APPROVAL  
[Signature]  
City Manager

McLEAN & SCHULTZ  
2000 EAST CHAPMAN AVENUE  
FULLERTON, CALIFORNIA 92631

May 3, 1977

City of Riverside  
Dept. of Public Works  
3900 Main Street  
Riverside, California 92522

ATTN: George Hutchinson

REFERENCE: U.S. Cold Storage - Proposed  
New Building - Foundation Over  
Existing Storm Drain

Gentlemen:

Detail 1 on Sheet P1 of the drawings indicates the proposed building wall crossing over the existing storm drain. I certify that the Detail will suffice structurally, and will not add additional load to the pipe.

Please call with any questions.

Yours truly,



Howard Parsell  
California Structural Engineer  
No. 1723

HP/nj

cc: C. and I. Construction Co., Inc.

**RECEIVED**

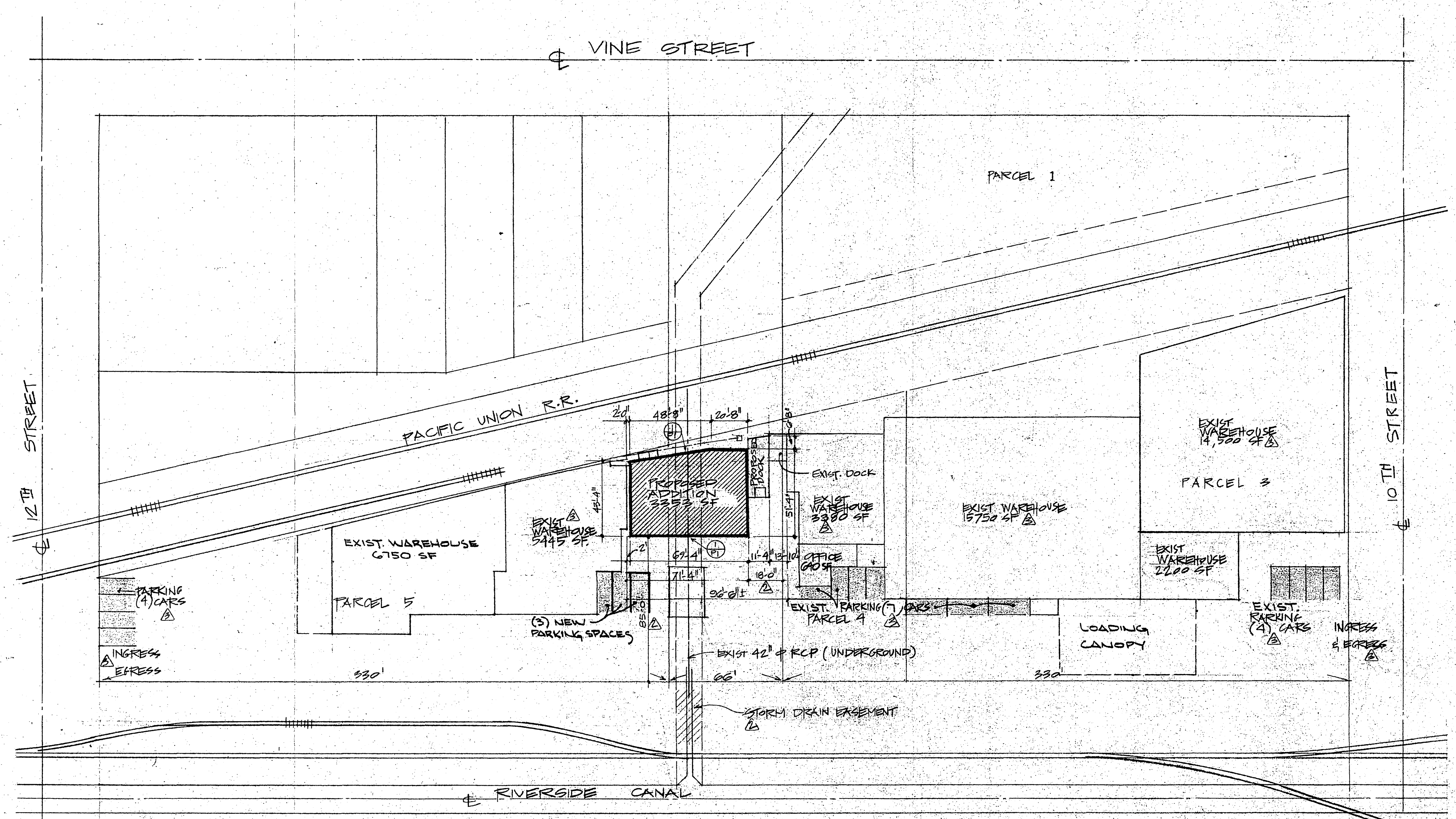
MAY 4 1977

**DEPT. OF PUBLIC WORKS**

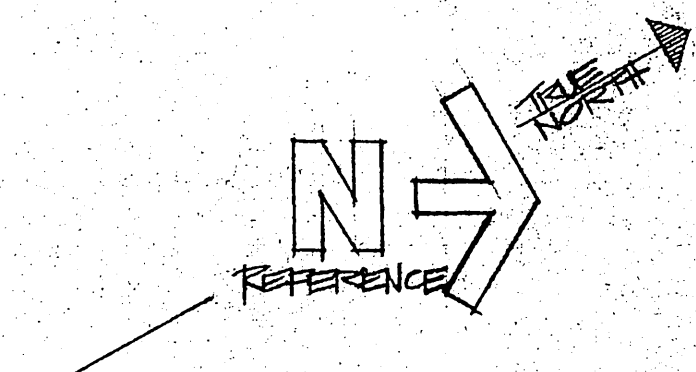
PUBLIC WORKS DEPT.			
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Director			
Assistant	WJ		✓
Traffic			
Transp.			
Cap. Proj.			
Off. Eng.	HP		✓
1911 Acts			
Plan Ck.			
Land R. c.	HP		
Inspection			
San. Eng.			
Clairal			
RCH	HP		✓
File:			
X-Ref:			
F.U. Date			

Return  
File w/  
Permit

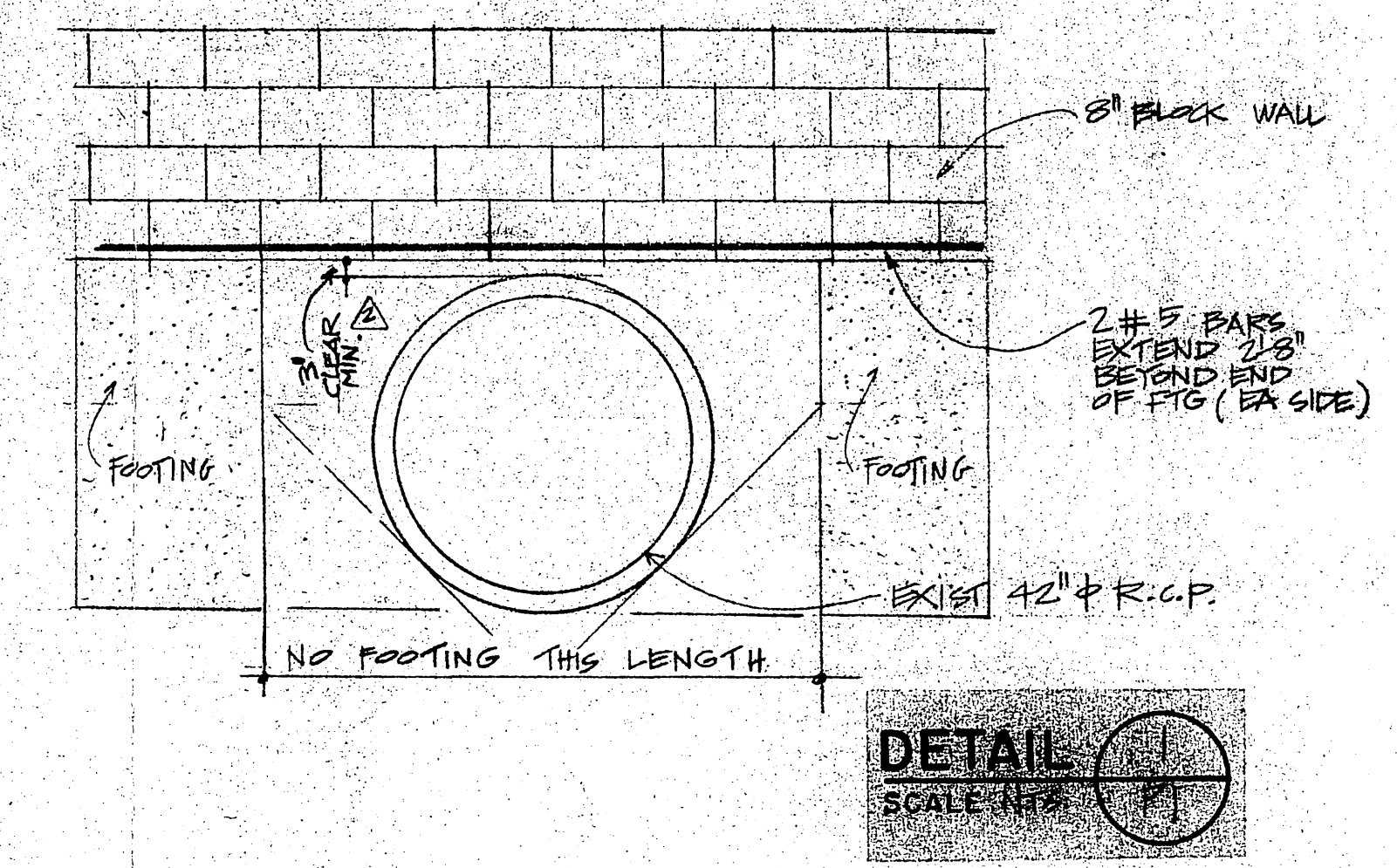




**SITE PLAN**  
SCALE 1" = 40'



EXIST. PARKING: (15) SPACES  
NEW PARKING (3) SPACES



**DETAIL**  
SCALE 1/4" = 1'-0"

**BUILDING SUMMARY**

ZONE: M-2  
OCCUPANCY: F-2  
BUILDING TYPE: II-N  
FIRE ZONE: 3  
BUILDING AREA:  
EXISTING: 5445 SF  
PROPOSED: 3353 SF  
TOTAL AREA = 8798 SF  
ALLOWABLE AREA = 24,000 SF  
 $9000 \times 1.33 (\times 2 YDS) = 24,000 SF > 8798 SF$

**INDEX OF DRAWING**

- P1 SITE PLAN
- 1 GENERAL NOTES
- 2A FLOOR PLAN
- 2 FOUNDATION PLAN
- 3 SECTION, EXTERIOR ELEVATIONS
- 4 ROOF FRAMING PLAN
- 5 DETAILS
- 6 DETAILS

**EXHIBIT "A"**

SYN. DATE	REVISIONS	C and I construction co. inc.	McLean & Schultz consultants / engineers	SITE PLAN FREEZER BUILDING FOR U.S. COLD STORAGE 315 12th STREET RIVERSIDE, CALIFORNIA	DATE 2/1/77
1 1/17	2 1/17				JOB NO. 770106
3 1/17					DRAWN A.T.