

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to MAGNOLIA PLAZA LTD., a limited partnership
160 Town and Country
Orange, CA 92668

their heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property. All that portion of a 6 foot Public Utilities power line easement adjacent to the northeasterly property line of Parcel 1 hereinafter referred to as Easement No. 1 and all that portion of a 10 foot Public Utilities Easement adjacent to the southeasterly property line of Parcel 2, as reserved by the City of Riverside by Deed No. 6652 hereinafter referred to as Easement No. 2, as shown explicitly by a Parcel Map in Book 13 of Parcel Maps and on Page 62 shown inclusively thereof, records of Riverside County, California,

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows: To construct and maintain a one story block building encroaching into aforesaid Easement No. 1, a maximum of 5 feet, and a second building encroaching into aforesaid Easement No. 2 a maximum of 5 feet, as shown on attached Exhibit "A" made a part hereof by this reference.

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: May 7, 1979

CITY OF RIVERSIDE, a municipal corporation

By Ch Brown Mayor

Attest Alicia A. Lane City Clerk

The foregoing is accepted by:

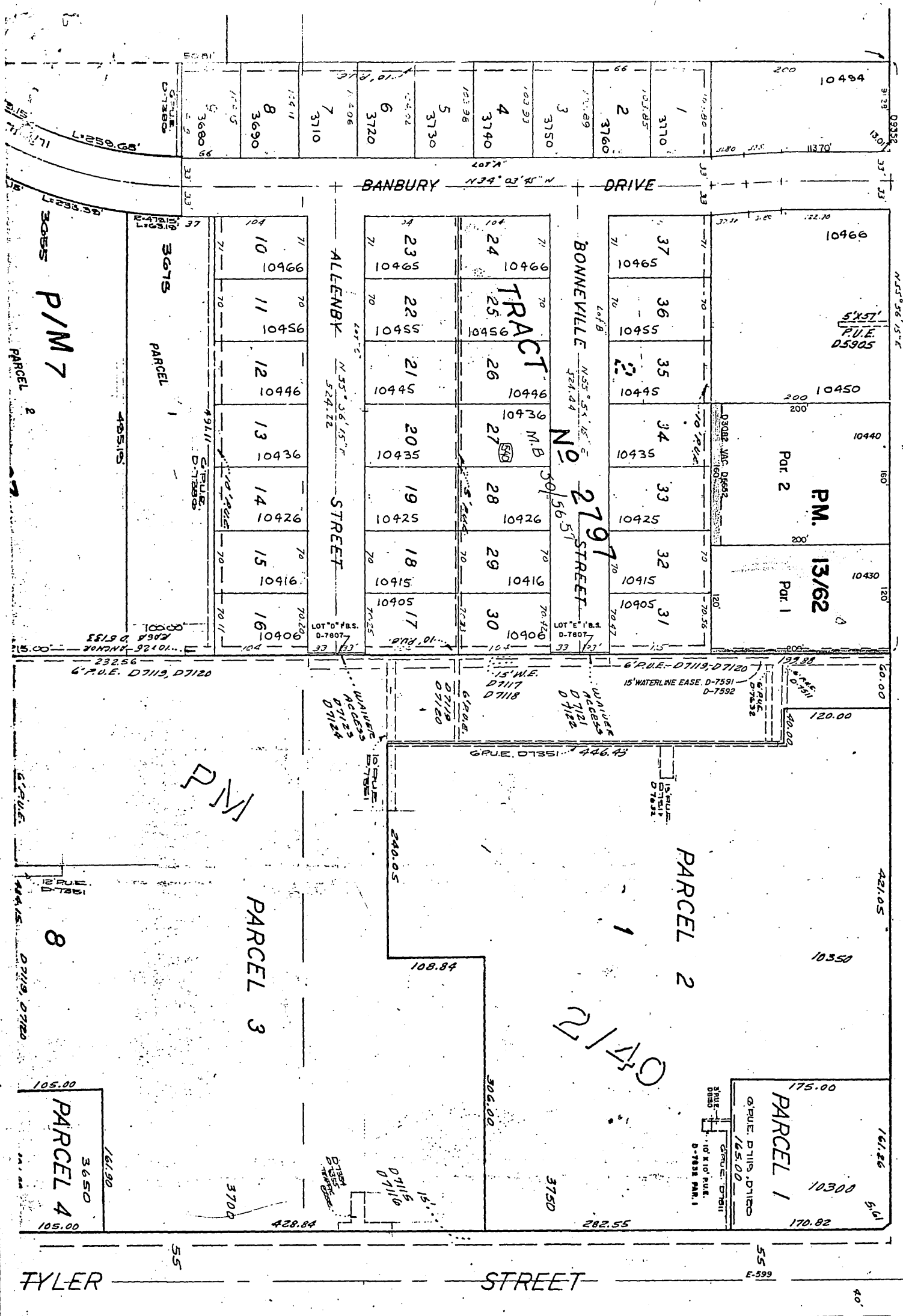
MAGNOLIA PLAZA, LTD. a limited partnership
INVESTMENT CONCEPTS, INC. General Partner

Gery Cham, Pres.
(Signature(s) of Permittee)

APPROVED AS TO CONTENT
Ken Campbell 4/30/79
Department Head

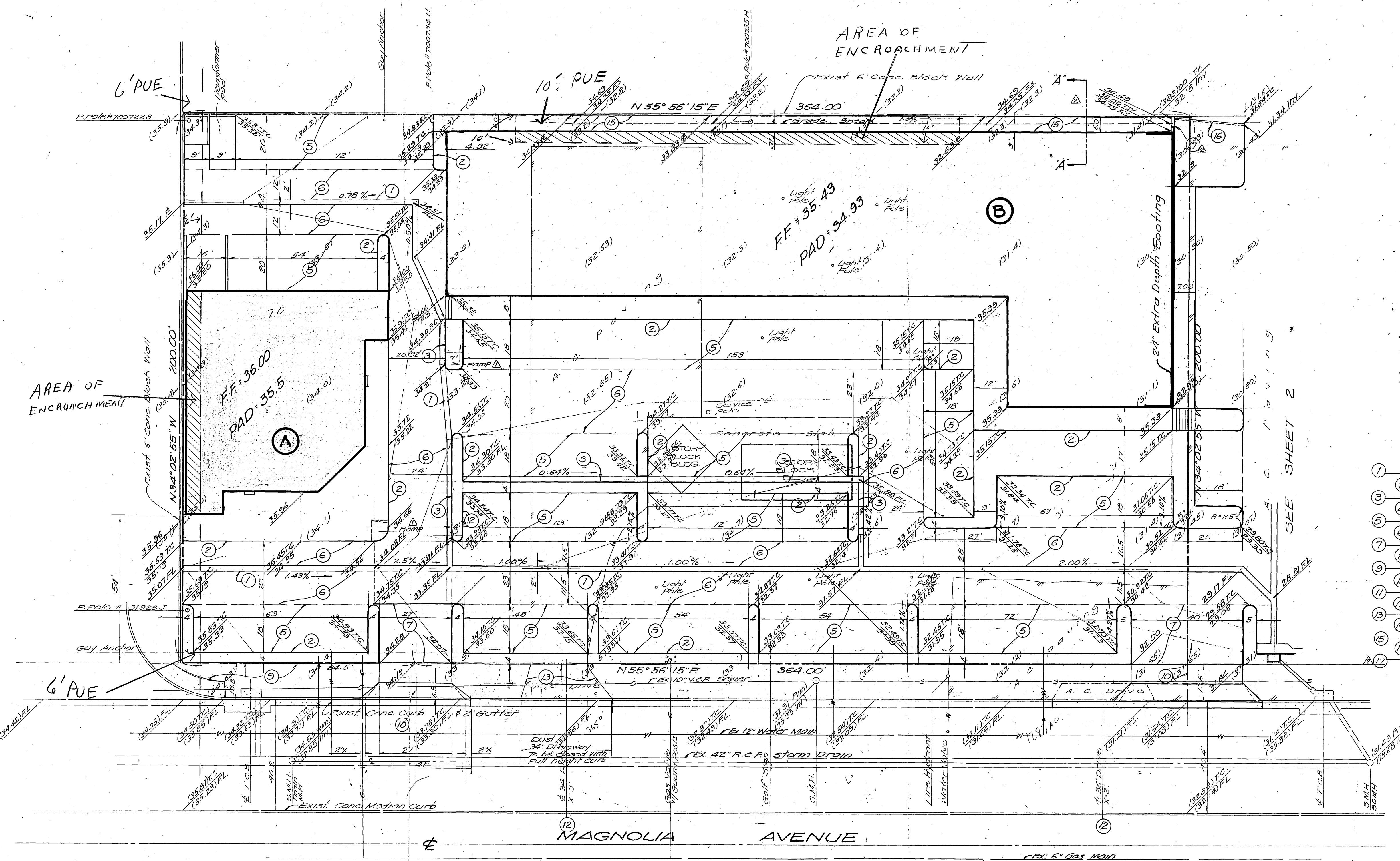
APPROVED AS TO FORM
John Woodhead
City Attorney

CITY MANAGER APPROVAL
Joseph P. Suggatta
City Manager



MAGNOLIA

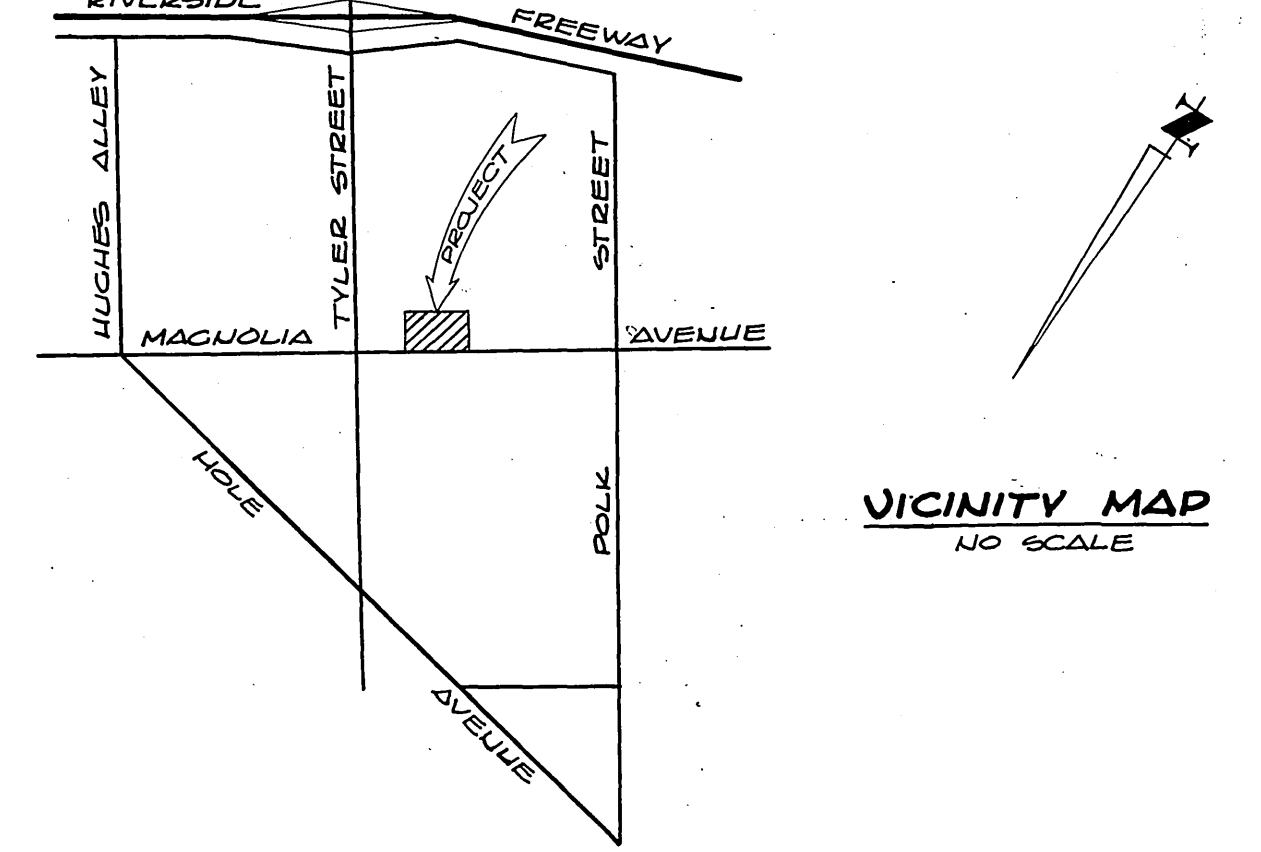
AVENUE



- All grading work shall be performed in accordance with the Uniform Building Code, 1976 Edition.
- The natural ground surface shall be prepared to receive fill by removing vegetation, non complying fill, top soil or other unsatisfactory material.
- No organic soil or other reducible material may be incorporated in fill.
- All fills in streets shall be compacted to a density of 95% maximum relative density in the upper 6 inches.
- Fills shall be compacted throughout to 90% density as determined by ASTM Soil Compaction test.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permitter.
- The elevations shown in parenthesis () represents existing grades.
- Grading operations are to be closely supervised and inspected by a Soils Engineer, particularly during the stripping and native soil preparation.
- Proposed Land Use: Commercial
- Earth quantities: Cut C.Y., Fill C.Y.
- Starting date: Upon issuance of Grading permit
- No fill is to be placed until preparation of ground is approved by City Inspector.
- Prior to the issuance of Building permits a Soils Engineer's report shall be submitted on the expansive properties of the soil on all building sites in the proposed subdivision. Such report shall be supported by sufficient test data to justify the findings. If expansive soils are found at locations and depths likely to affect future structures the report should include specified recommendations for resisting loadings to a minimum of 30% of optimum density. Soils exhibiting a swell of more than 3% from air dry to saturation under a surcharge loading of 60 P.S.I. shall be considered expansive soil.
- Foundation bearing values:
- Soil Test: One test for each two feet of fill but not less than one test for each 500 cubic yards.
- Fill to be placed in maximum lifts of 6" Moisture to be controlled.
- Fill to be compacted by sheep's foot roller or other approved equipment.

CONSTRUCTION NOTES

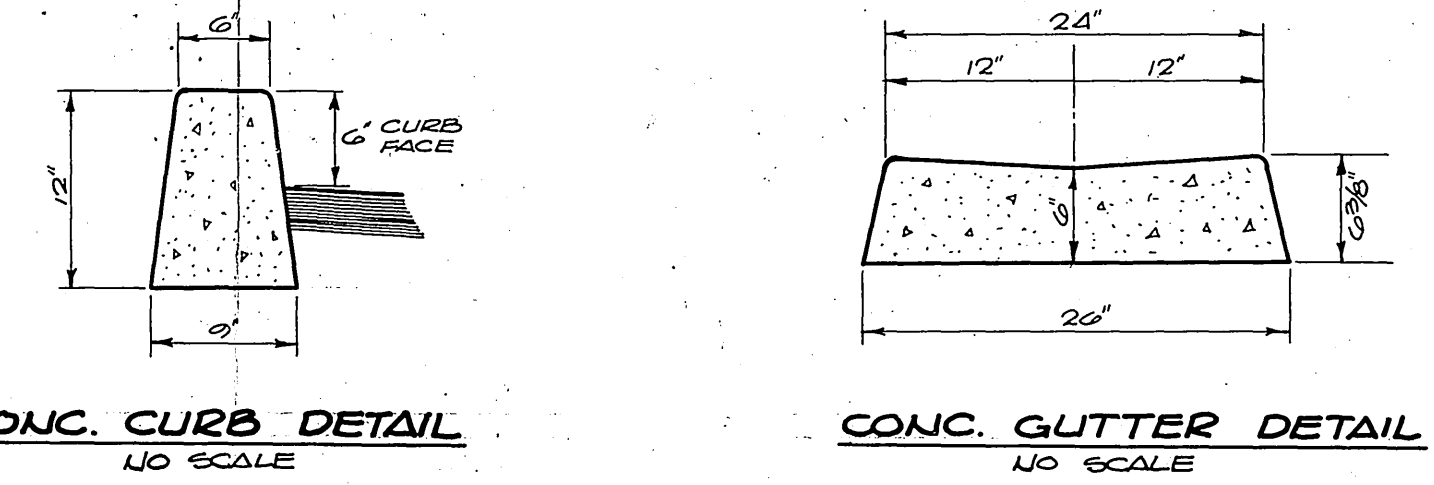
	ESTIMATE
1 Const. P.C.C. Ribbon Gutter per Detail hereon	1438 Sq. Ft.
2 Const. P.C.C. Curb per Detail hereon	2218 L.F.
3 Const. 6" Curb & Gutter per Riverside Std. Dwg. 200 Type I	416 L.F.
4 Const. 8" P.C.C. Curb per City of Riverside Std. Dwg 200 Type II	143 L.F.
5 Const. 3" A.C. over AB with prime & seal coat	24613 Sq. Ft.
6 Const. 3" A.C. over AB with prime & seal coat	25813 Sq. Ft.
7 Const. Stamped conc. Drive	2042 Sq. Ft.
8 Const. 6" Curb & Gutter per City of Riverside Std. Dwg 200 Type I	90 L.F.
9 Const. Conc. Sidewalk per City of Riverside Std. Dwg. 325	7876 Sq. Ft.
10 Const. Driveway approach per City of Riverside Std. Dwg 302	2018 Sq. Ft.
11 Const. Tree Well per City of Riverside Std. Dwg 326, 50% c.	6 Ea.
12 Remove Exist. Driveway approach & remodel per City of Riverside Std. Dwg 325	850 Sq. Ft.
13 Remove Exist. A.C. Paving in Parkway area	2668 Sq. Ft.
14 Const. Wheel Chair Ramp per City of Riverside Std. Plan 304	1 Ea.
15 Const. 2" A.C. over compacted native	1674 Sq. Ft.
16 Const. 4" P.V.C. Schedule 80	25 L.F.
17 Const. Ret. Wall per City of Riverside Std. Dwg 707 H-3'	6 L.F.



EARTHWORK QUANTITIES

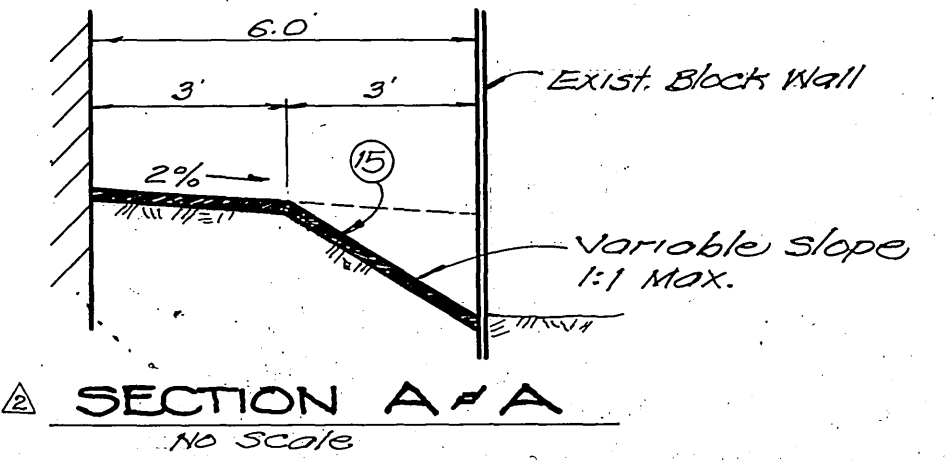
CUT	1357 C.Y.
FILL	3578 C.Y.
SHRINKAGE (6%)	279 C.Y.
SUBSIDENCE (0.00')	0
OVER-EXC. *	189 C.Y.
IMPORT	2500 C.Y.

* BLDG. B PAD ELEV. REQUIRES 36" FILL - NO OVER-EXC.



CONC. CURB DETAIL NO SCALE
CONC. GUTTER DETAIL NO SCALE

Earthwork Quantities were determined by using the following assumptions:
1. 3" of A.C. removal of existing A.C. parking area.
2. Total 9" of pavement for proposed parking area, & Drive.



SECTION A-A NO SCALE

EXHIBIT A
PAGE 1 OF 2

BENCH MARK

Bronze disk in concrete, about 1.0 mile southwest along the Atchison, Topoka and Santa Fe Railway from the Station at Arlington, to the Tyler Street Crossing, thence 0.6 mile Northwest along Tyler Street to Magnolia Avenue; about 1.0 mile southwest along Magnolia Avenue from the Riverside Public Library, Arlington Branch, to the back of the sidewalk on the Easterly Corner of Magnolia Avenue and Tyler Street, 68.6 ft. Southeast of Magnolia Ave. 67.0 ft. Northeast of Tyler Street. A std. disk in conc. post in A.C. Parking Lot of Gasline Station. Elev. 742.245 (1970)

DEVELOPER CEECO DEVELOPMENT CORP. 160 TOWN & COUNTRY ORANGE, CA. (714) 547-5812		CITY OF RIVERSIDE, CALIFORNIA DEPARTMENT OF PUBLIC WORKS		ENGINEER J.P. KAPP & ASSOCIATES, INC. CONSULTING CIVIL ENGINEERS 500 PARK CENTER DRIVE, SUITE 200 SANTA ANA, CALIFORNIA 92705 PHONE (714) 547-8445		PROJECT NO. SHEET 1 OF 2 FILE NO.
APPROVED BY: _____ DATE: _____ PRINCIPAL ENGINEER		APPROVED BY: _____ DATE: _____ DIRECTOR OF PUBLIC WORKS		SCALE: 1" = 20' DATE: _____		
DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____ TRAFFIC DIVISION		DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____ CIVIL DIVISION		DATE: _____		

RECEIVED
APR 13 1979
DEPT. OF PUBLIC WORKS