

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to RICHARD V. GILLESPIE and RICHARD B. LYBARGER
2337 University Avenue
Riverside, CA 92507

their heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property.

That portion of University Avenue, a public right of way, adjacent to the southerly property line of Lot 3 in Block 7 of H.P. Kyes Tract as shown by map on file in Book 7 of Maps at Page 27 thereof, records of San Bernardino County, California,

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows:

To maintain an existing 6 foot wrought iron fence encroaching into said right of way a maximum of 10 feet, as shown by Exhibit "A" attached and made a part hereof by this reference.

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: 11/09/82

CITY OF RIVERSIDE, a municipal corporation

By [Signature] Mayor

Attest [Signature] City Clerk

The foregoing is accepted by:

[Signature]
(Signature(s) of Permittee)

[Signature]

APPROVED AS TO CONTENT

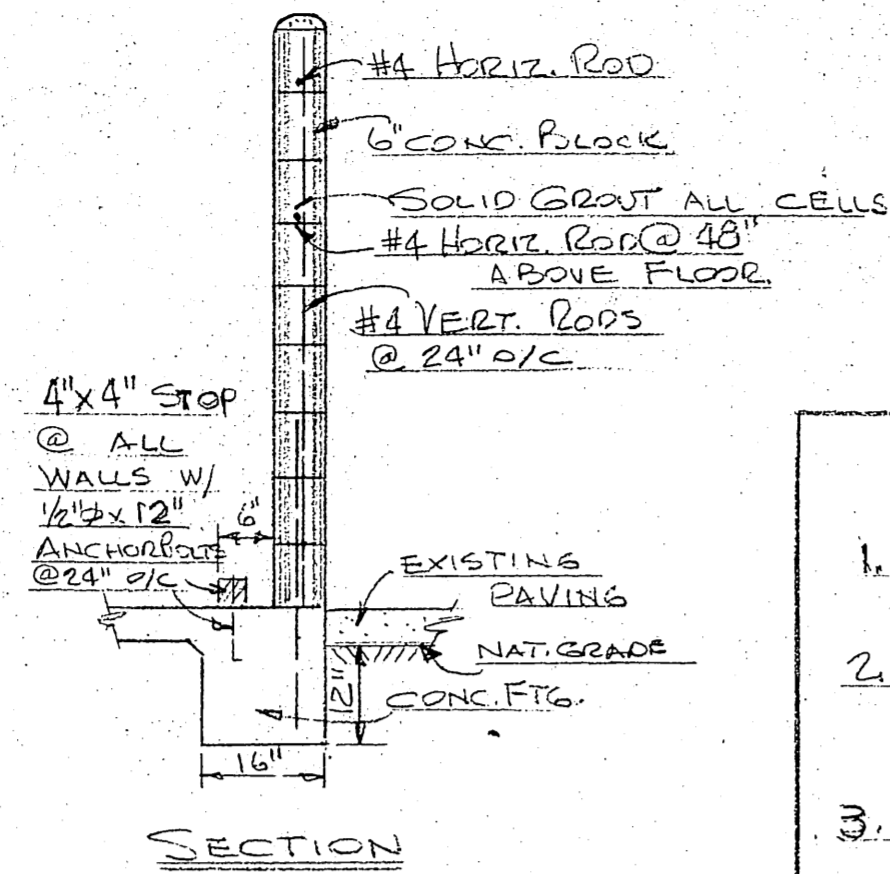
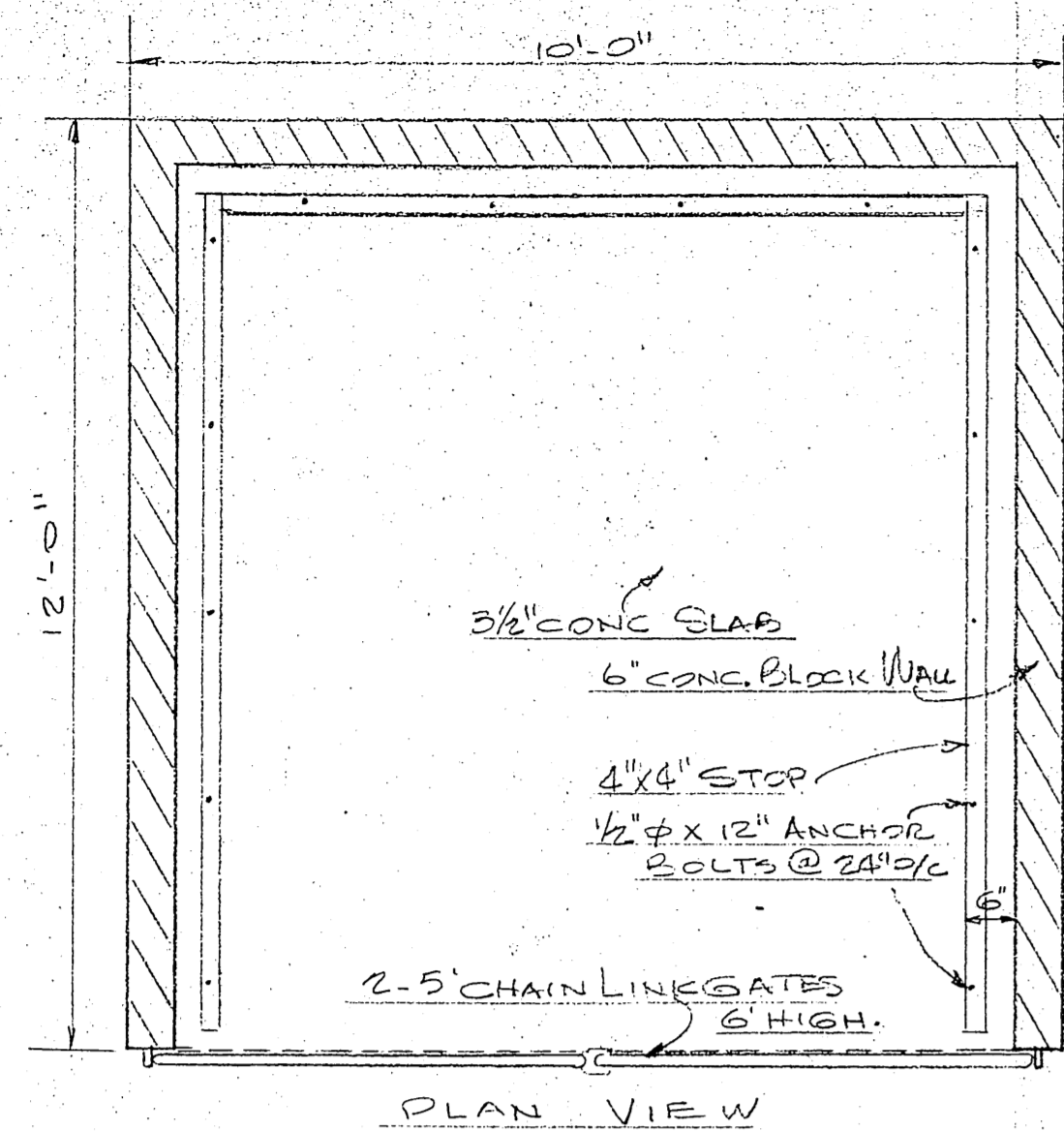
[Signature]
Department Head

APPROVED AS TO FORM

[Signature]
City Attorney

CITY MANAGER APPROVAL

[Signature]
City Manager



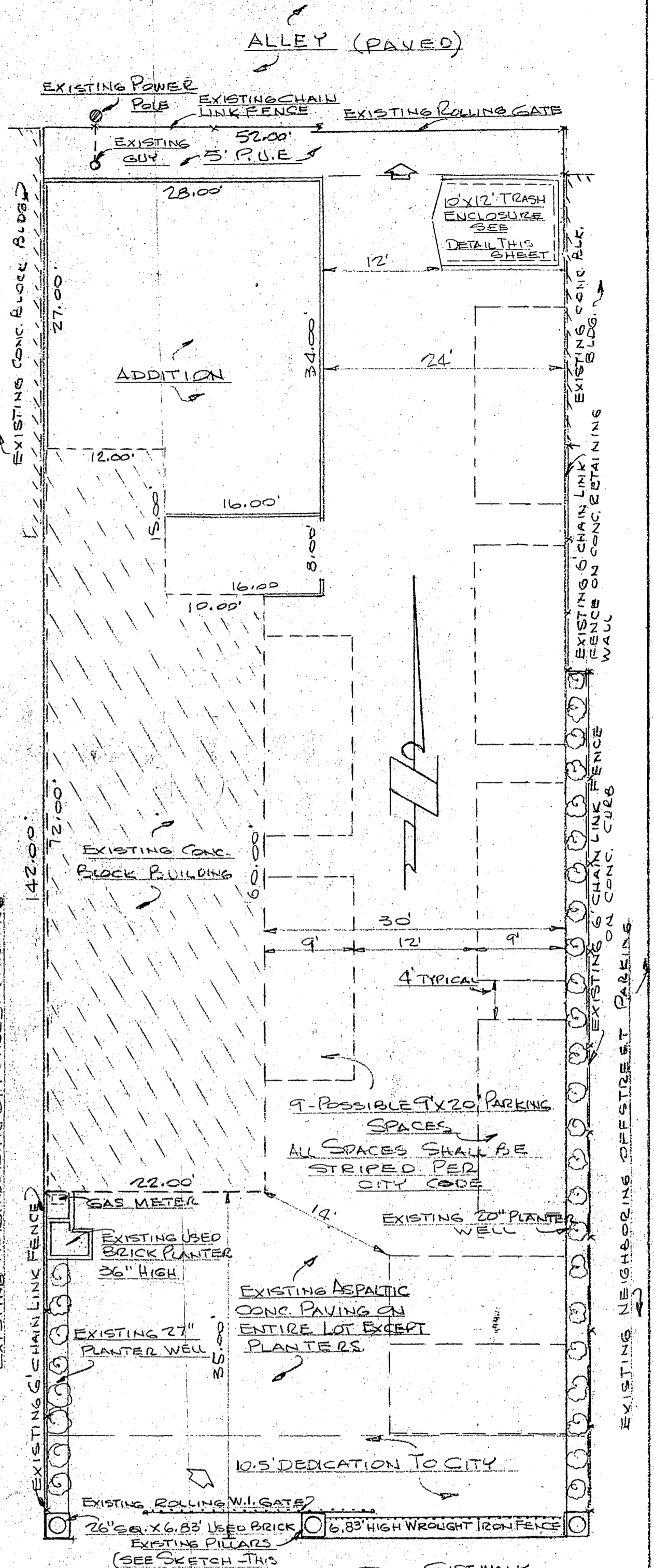
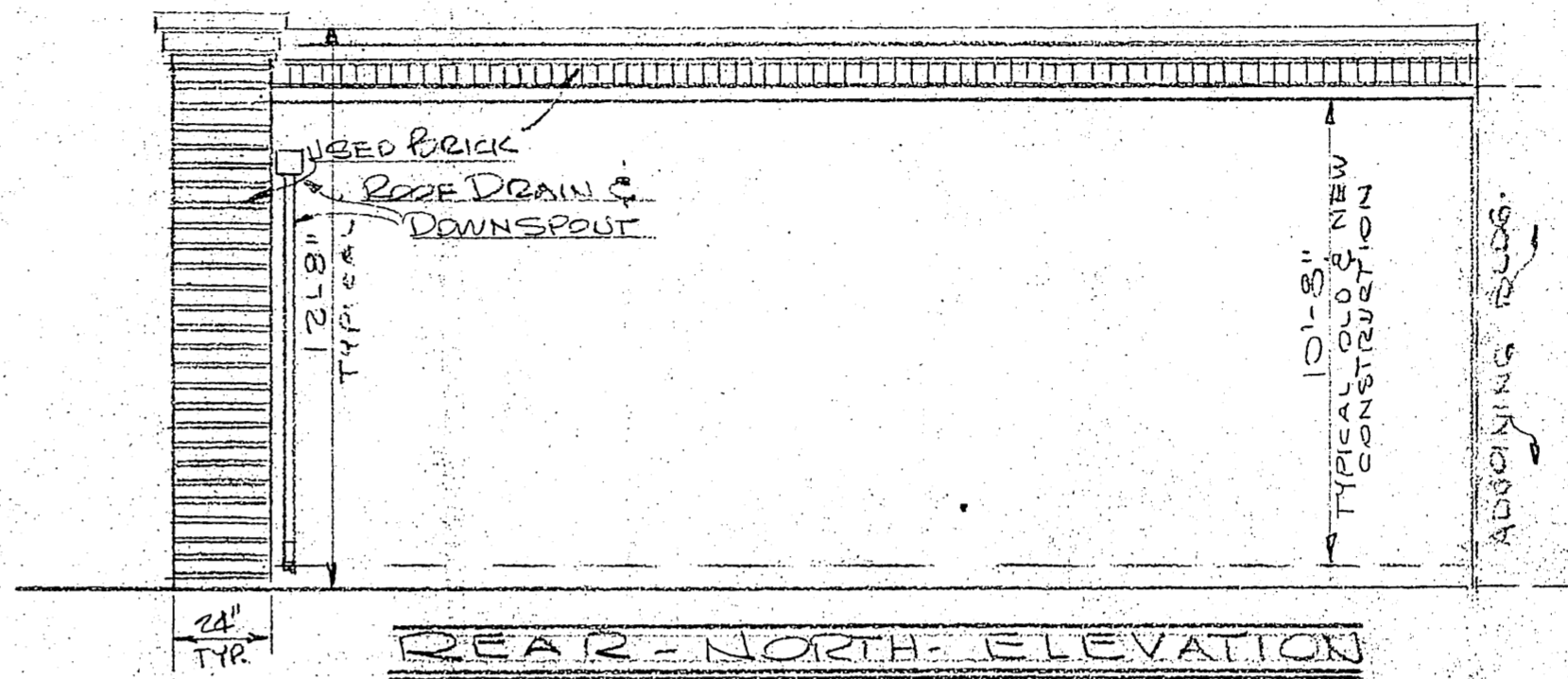
CITY ZONING
C-2

GROSS SQUARE FOOTAGE
EXISTING BLDG. 1500
ADDITION 868
NOTE: 8'x16' ROOFED AREA IS OPEN AREA
LOCATION OF ELECTRIC METER ETC.

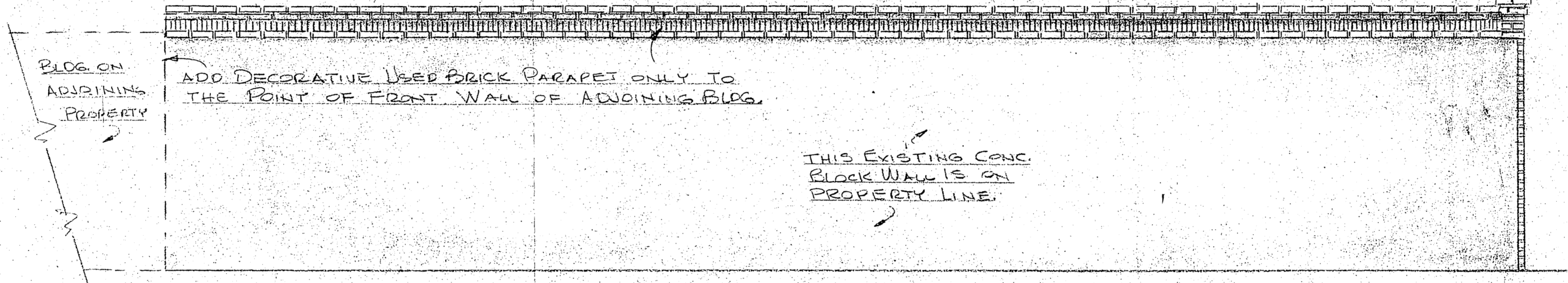
OWNERS' ADDRESS 2431 UNIVERSITY AVENUE,
RIVERSIDE.
OWNERS' PHONE: 684-0292
OWNERS' REPRESENTATIVE: RICHARD B. LYBARGER
PROJECT ENGINEER: ROY G. PALMER, CE 13143
ENGINEER'S PHONE: 682-9025
BUILDING DESIGNER: BEN G. HESTER #1223
BUILDING DESIGNER'S PHONE: 689-4616

GENERAL NOTES

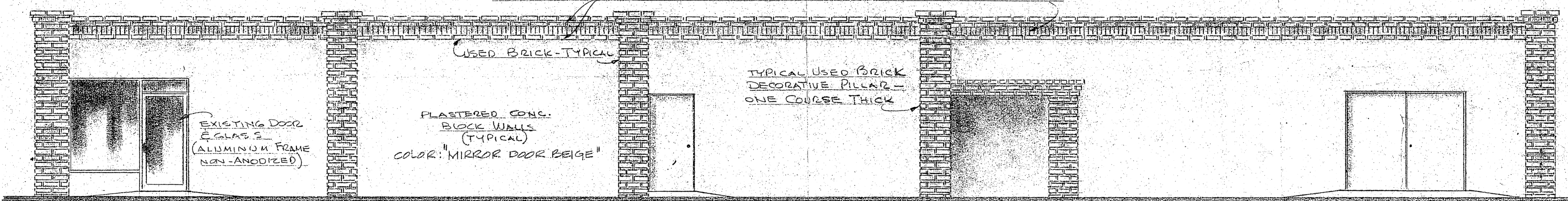
- EXISTING PLANTING IN PROPERTY LINE PLANTERS IS WAX LEAF PRIVET 3'-4' HIGH AND AT 36" O/C
- ALL PLANTERS INCLUDING RAISED PLANTER HAVE EXISTING BUBBLER IRRIGATION SYSTEM (ALL PLANTINGS ARE IN PRIME CONDITION.)
- ALL EXISTING, VISIBLE, ROOFTOP MECHANICAL DEVICES (EVAPORATIVE COOLERS) SHALL BE REMOVED EXISTING ST. A.C. TO REMAIN. NO HEATING OR COOLING IN NEW ADDITION.



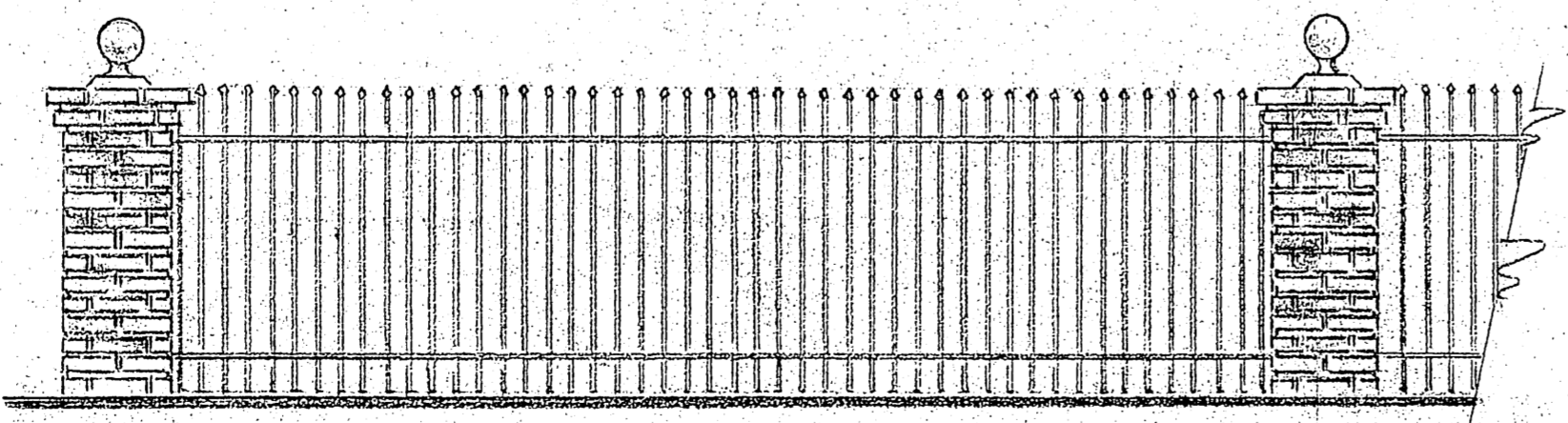
TRASH ENCLOSURE
SCALE 1/2" = 1'-0"



WEST - LEFT SIDE - ELEVATION

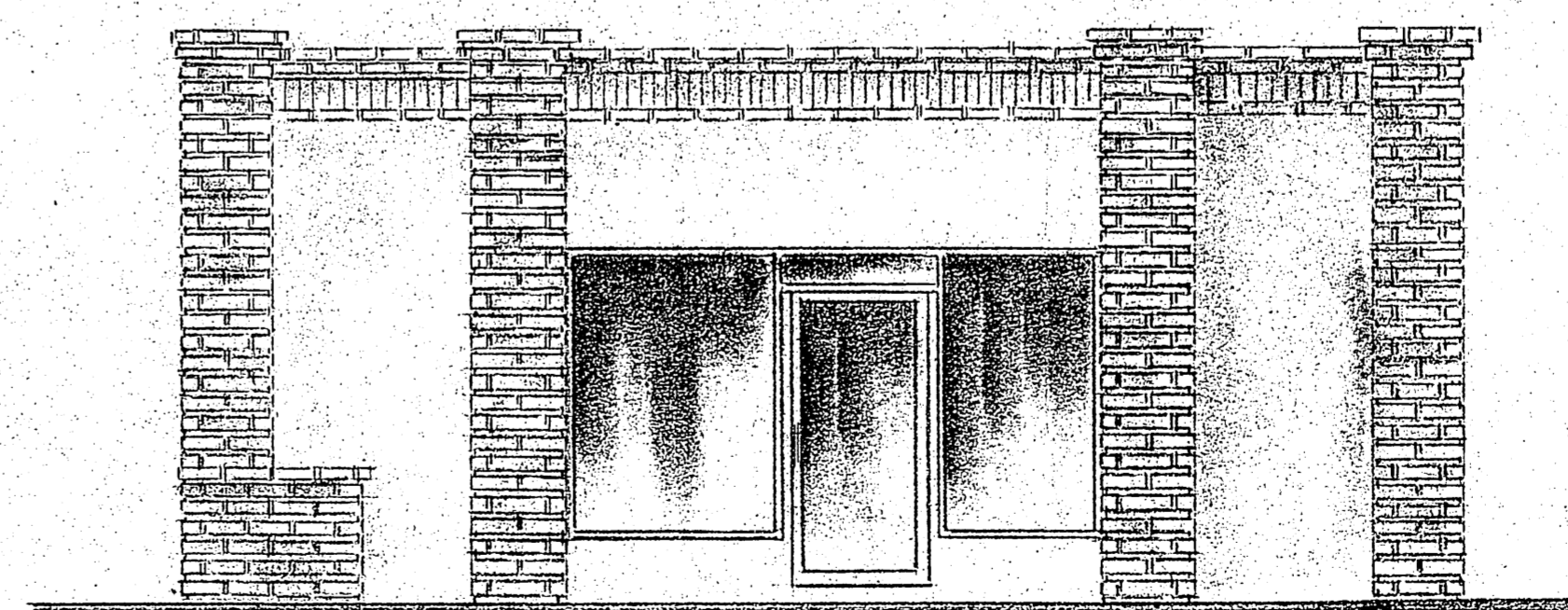


EAST - RIGHT SIDE - ELEVATION

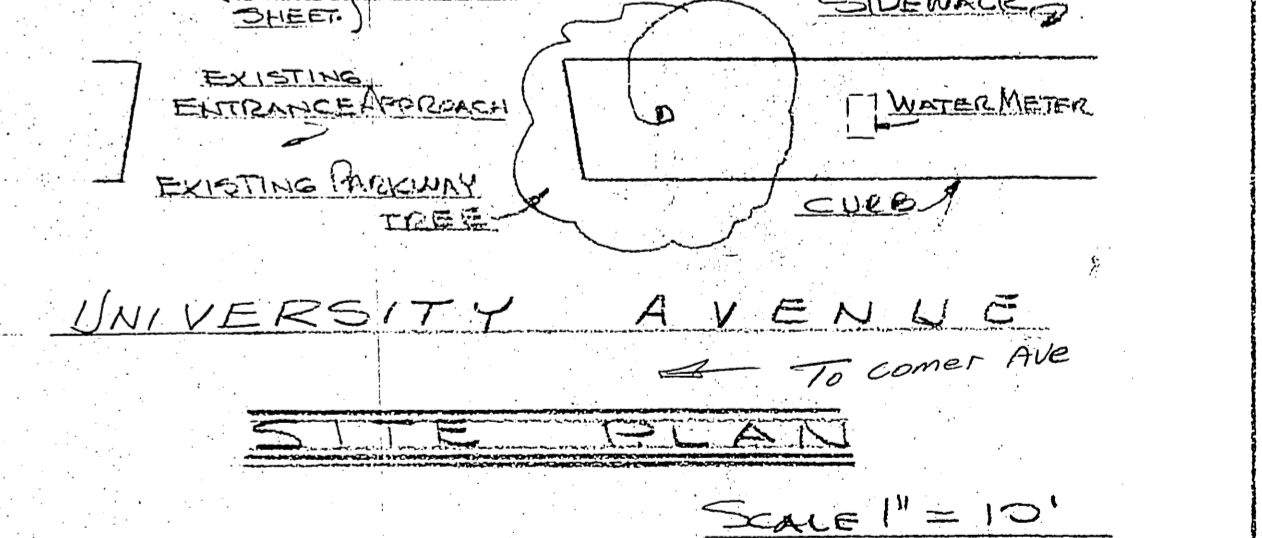


EXISTING ROLLING WROUGHT IRON GATE AT DRIVEWAY ENTRANCE

SCALE 1/4" = 1'-0"



FRONT - SOUTH SIDE - ELEVATION



UNIVERSITY AVENUE
To Corner Ave

SITE PLAN

SCALE 1" = 10'

ADDITION TO A STORAGE BUILDING FOR
UNITED SPEEDOMETER AND INSTRUMENT INC.
AT 2331 UNIVERSITY AVENUE - RIVERSIDE