

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to William L. King and Dagmar King  
310 Blaine Street  
Riverside, CA 92507

their heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property. That portion of Valencia Drive, a public right of way, adjacent to the east line of Lot 8 of Tract No. 2881, as shown by map on file in Book 57 of Maps at Page 49 thereof records of Riverside County, California,

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows: To construct and maintain a 4 foot high block wall encroaching into said public right of way a maximum of 6.50 feet as shown by Exhibit "A" attached and made a part hereof by this reference.

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: Dec 7, 1983

CITY OF RIVERSIDE, a municipal corporation

By [Signature] Mayor

Attest [Signature] City Clerk

The foregoing is accepted by:

[Signature]  
(Signature(s) of Permittee)  
[Signature]  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

APPROVED AS TO CONTENT

[Signature]  
Department Head

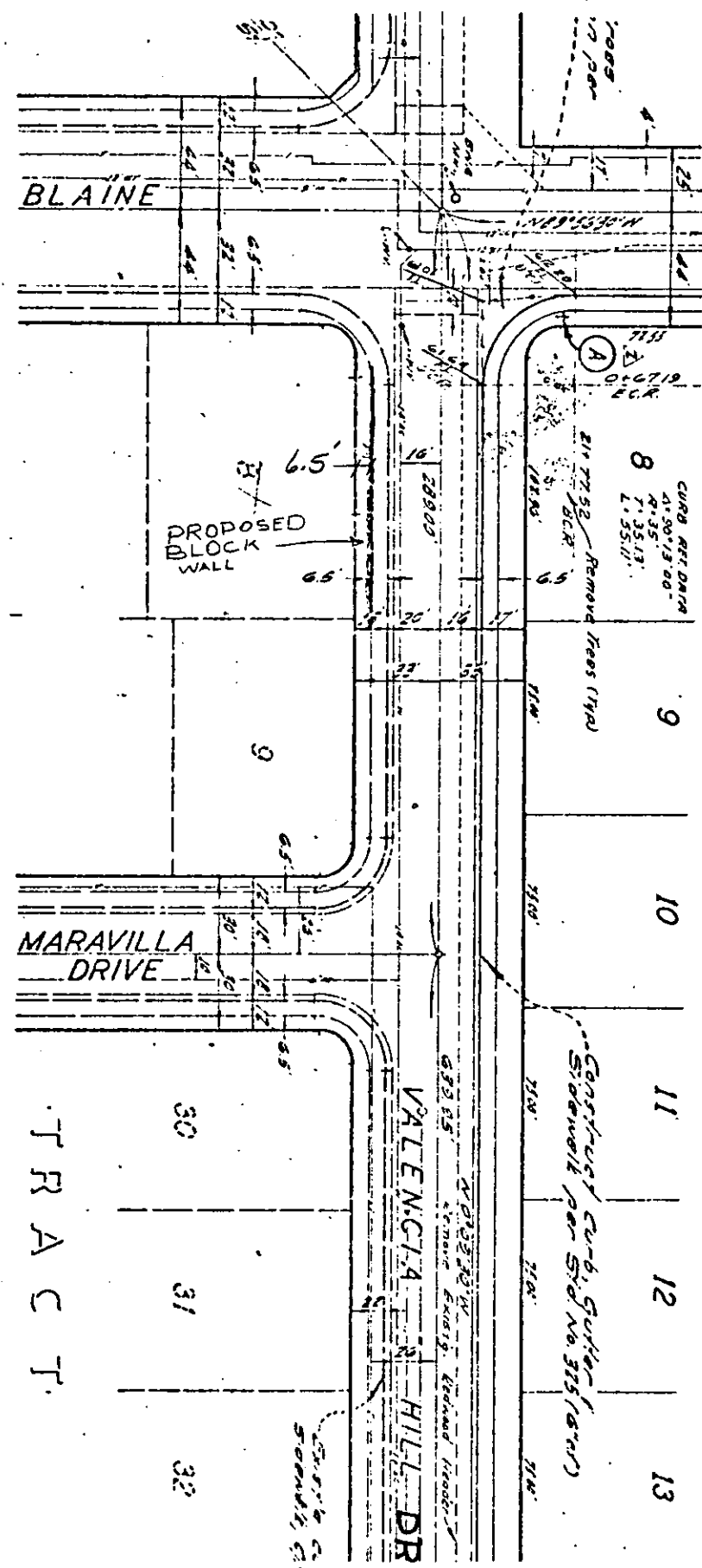
APPROVED AS TO FORM

[Signature]  
City Attorney

CITY MANAGER APPROVAL

[Signature]  
City Manager

# EXHIBIT 'A'



• CITY OF RIVERSIDE, CALIFORNIA •

PRELIM. NO. 1881 MB. - 1/18/83	SHEET <u>1</u> OF <u>2</u>	10/17/83
SCALE: 1" = 10'	DRAWN BY <u>DE</u> DATE <u>10/17/83</u>	SUBJECT: <u>Encroachment Permit - 1881 MB. PLANET</u>

E-878

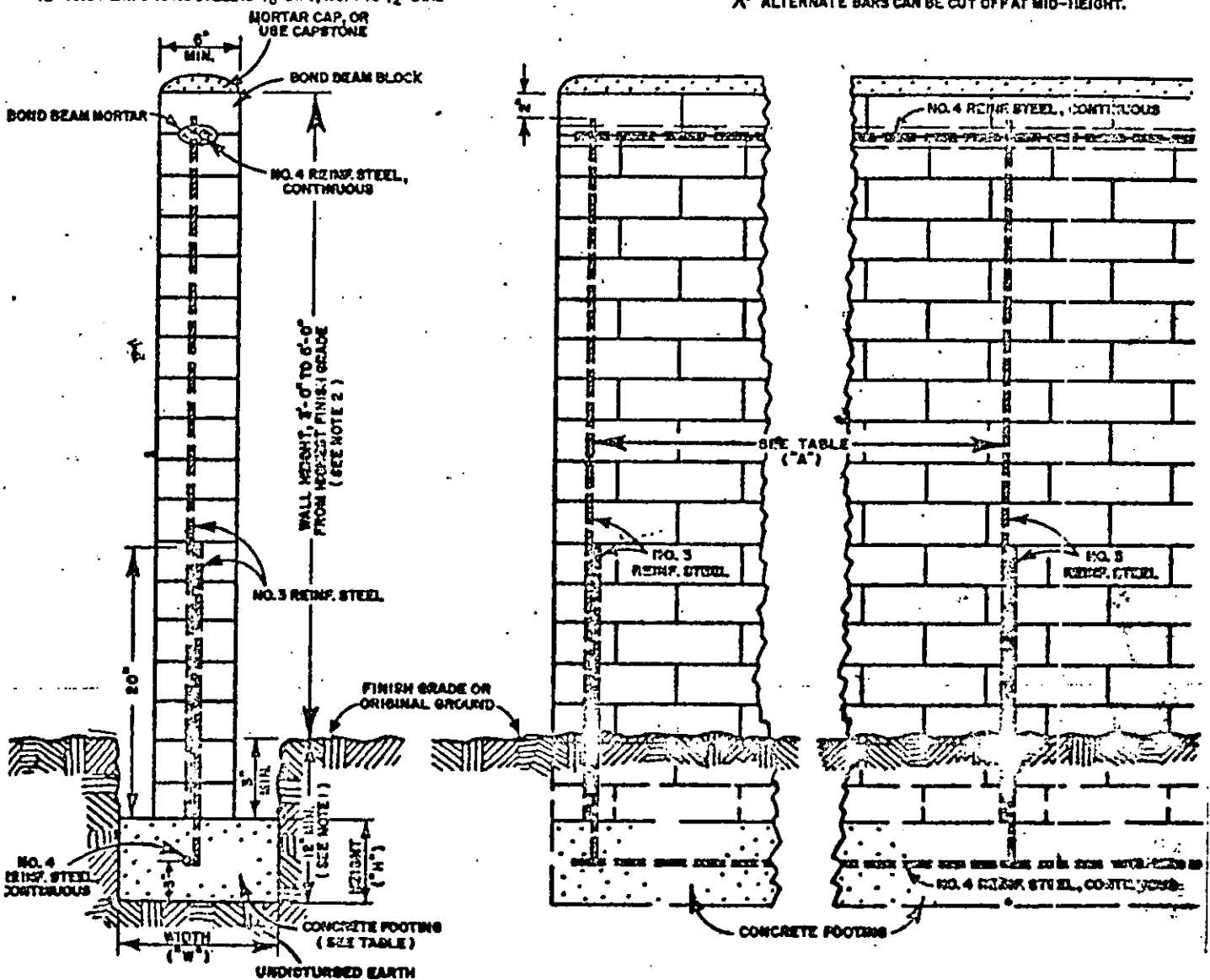
# EXHIBIT 'A'

**NOTES:**

- 1-BASE OF FOOTING SHALL BE 12" MIN. BELOW FINISH GRADE OR ORIGINAL GROUND SURFACE, WHICHEVER IS LOWER.
- 2-WALL HEIGHT: 3'-0" MAX. FRONT YARD, 6'-0" MAX. SIDE AND REAR.
- 3-GROUT ALL CELLS CONTAINING REINFORCING STEEL.
- 4-THIS WALL IS NOT TO BE USED AS A RETAINING WALL.
- 5-CONSTRUCTION SHALL BE OF THE BEST QUALITY WORKMANSHIP AND ALL WALLS SHALL BE LAID TRUE AND PLUMB.
- 6-FOOTING CONCRETE SHALL BE CLASS "B", 5-SACK MIX.
- 7-REINFORCING STEEL SHALL BE DEFORMED CONFORMING TO UNIFORM BUILDING CODE STANDARDS, SECTION 2604 (D), AND TO A.S.T.M. SPECIFICATIONS A15-RE AND A305-50.
- 8-MORTAR JOINTS SHALL BE 1/2" MORTAR SHALL BE FRESHLY PREPARED AND UNIFORMLY MIXED IN RATIO ONE PART CEMENT, 1/2 PART LIME PUTTY, 3 1/2 PARTS SAND, AND SHALL CONFORM TO A.S.T.M. SPECS. C270-52T.
- 9-GROUT SHALL BE OF FLUID CONSISTENCY AND MIXED IN RATIO ONE PART CEMENT, 3 PARTS SAND, OR ONE PART CEMENT, 2 PARTS SAND, 2 PARTS PEA GRAVEL.
- 10-FOOTING WIDTH DESIGN FOR WALLS 4' TO 6' HEIGHT IS BASED UPON 2000 LBS./SQ. FT. ALLOWABLE SOIL PRESSURE. FOOTING WIDTH MUST BE DESIGNED BY A REGISTERED CIVIL ENGINEER WHERE REQUIRED BY SPECIAL SOIL CONDITIONS.
- 11-SPLICES IN HORIZONTAL REINFORCING BARS SHALL BE LAPPED 40 DIAMETERS AND WIRED TOGETHER.
- 12-NO. 3 REINFORCING STEEL IS 3/8" DIA., NO. 4 IS 1/2" DIA.

WALL HEIGHT	VERTICAL BAR SPACING "A"	FOOTING	
		WIDTH "W"	HEIGHT "H"
LESS THAN 3'	NO REINFORCING REQUIRED	12"	6"
3'	48"	12"	6"
4'	48"	12"	9"
5'	32"	14"	12"
6'	24" *	16"	12"

\* ALTERNATE BARS CAN BE CUT OFF AT MID-HEIGHT.



CITY OF RIVERSIDE, CALIFORNIA

SHEET 2 OF 2

SCALE: 1" = \_\_\_\_\_

DRAWN BY \_\_\_\_\_ DATE \_\_\_\_/\_\_\_\_/\_\_\_\_

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