

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to MAR VISTA RIVERSIDE PROPERTIES 84
818 W. Katella Avenue, Orange, CA 92667
Attn: Mr. Harry L. Miller
for Lot 10, Tract 13550 MB 116/71

their heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property. A portion of the 12 foot public utilities easement on the southwesterly boundary of Lot 10 of Tract No. 13550, Map Book 116, Page 71, Riverside County Records and shown on Exhibit "A", attached hereto,

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows: Maintenance and construction of a driveway, curbs and a planter encroaching $11\frac{1}{2}$ feet into said easement as shown on said Exhibit "A".

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: May 14, 1985

CITY OF RIVERSIDE, a municipal corporation

By [Signature] Mayor

Attest [Signature] City Clerk

The foregoing is accepted by:

[Signature]
(Signature(s) of Permittee)
Mar Vista Properties 84
"A California Limited Partnership"

APPROVED AS TO CONTENT

[Signature]
Department Head - Utilities

APPROVED AS TO FORM

[Signature]
City Attorney

CITY MANAGER APPROVAL

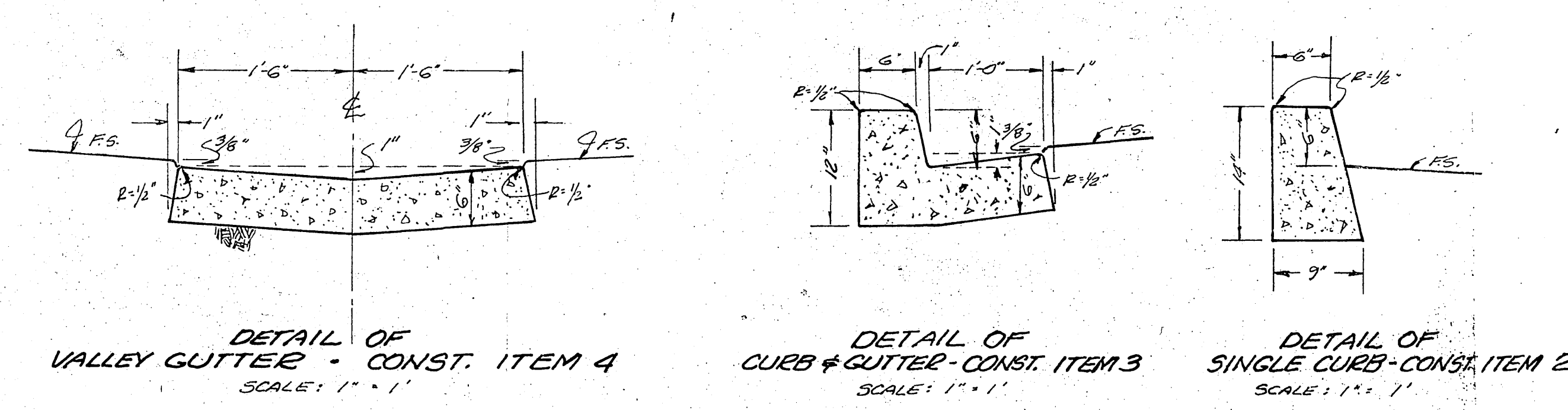
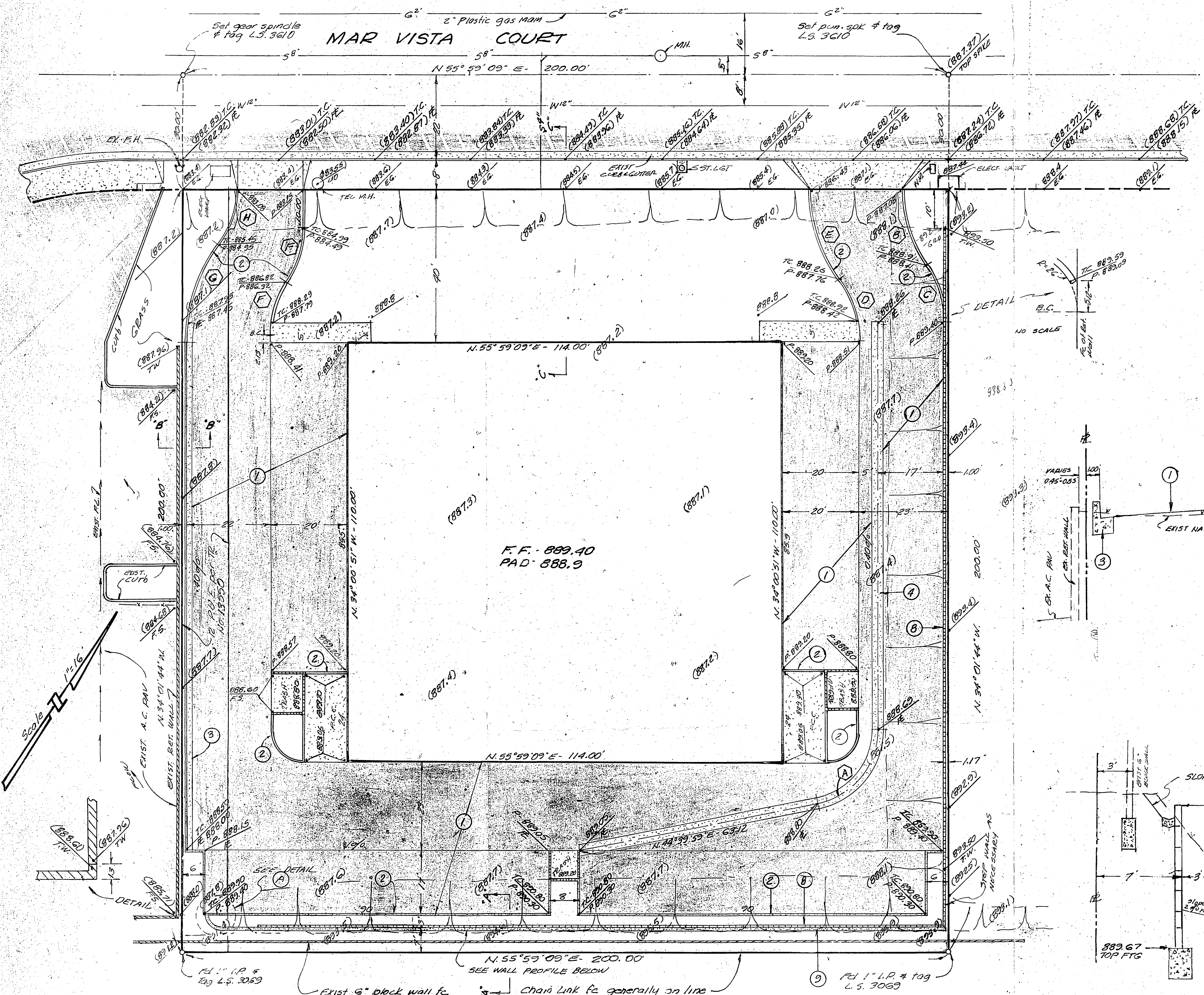
[Signature]
City Manager

NOTE: BEFORE STARTING CONSTRUCTION CALL UNDERGROUND SERVICE ALERT 1-800-422-4133

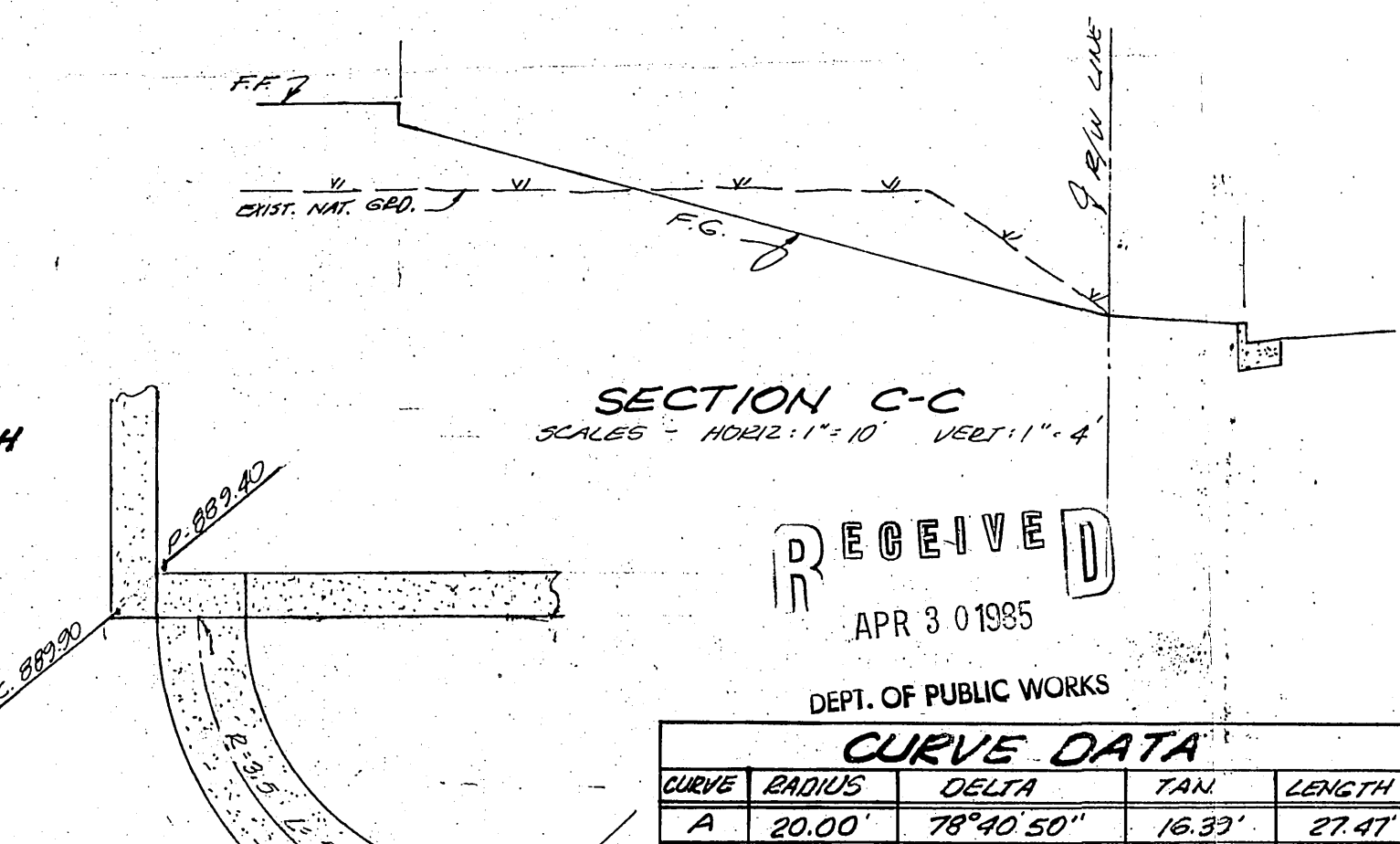
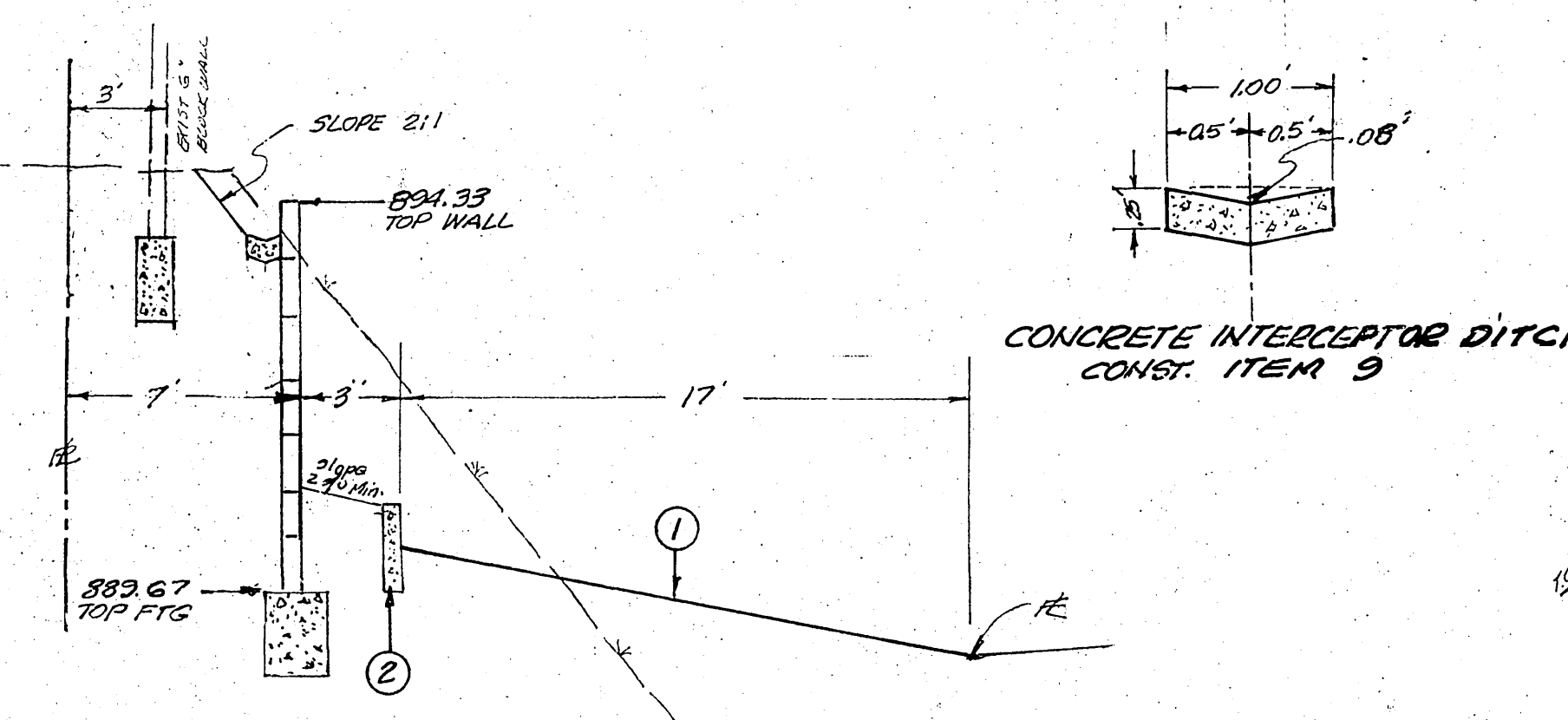
GRADING NOTES

- ALL GRADING SHALL CONFORM TO CHAPTER 70 OF THE UNIFORM BUILDING CODE.
- ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT PREPARED BY PIONEER CONSULTANTS DATED MARCH 23, 1979 SHALL BE COMPLIED WITH DURING GRADING OPERATIONS.
- THIS PLAN IS FOR GRADING PURPOSES ONLY. ISSUANCE OF A PERMIT BASED ON THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRIVEWAY LOCATIONS OR SIZES, PAVING LOT STRUCTURAL SECTIONS OR LAYOUT, BUILDING LOCATIONS, OFF-SITE DRAINAGE FACILITIES OR OTHER ITEMS NOT RELATED DIRECTLY TO THE BASIC GRADING OPERATION.
- CERTIFICATION FROM THE REGISTERED CIVIL ENGINEER STATING THAT THE GRADING HAS BEEN COMPLETED PER THE APPROVED PLAN, AND A COMPARISON REPORT FROM THE SOILS ENGINEER ON ANY FILL AREAS ARE REQUIRED PRIOR TO BUILDING PERMITS BEING ISSUED.
- CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST & TEMPORARY DRAINAGE CONTROL DURING GRADING OPERATIONS.
- ALL ON-SITE WALLS SHOWN TO BE CONSTRUCTED ON THIS PLAN REQUIRE SEPARATE REVIEW APPROVAL AND A BUILDING PERMIT FROM THE BUILDING DIVISION, PLANNING DEPARTMENT. ANY NECESSARY DETAILING WALLS ON THE PERIMETER OF THIS SITE SHALL BE IN PLACE AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO ISSUANCE OF THE GRADING PERMIT.
- ANY IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A SEPARATE CONSTRUCTION PERMIT AND INSPECTION FROM THE PUBLIC WORKS DEPARTMENT.
- ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT ARE TO BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNERS.

VICINITY MAP
NO SCALE

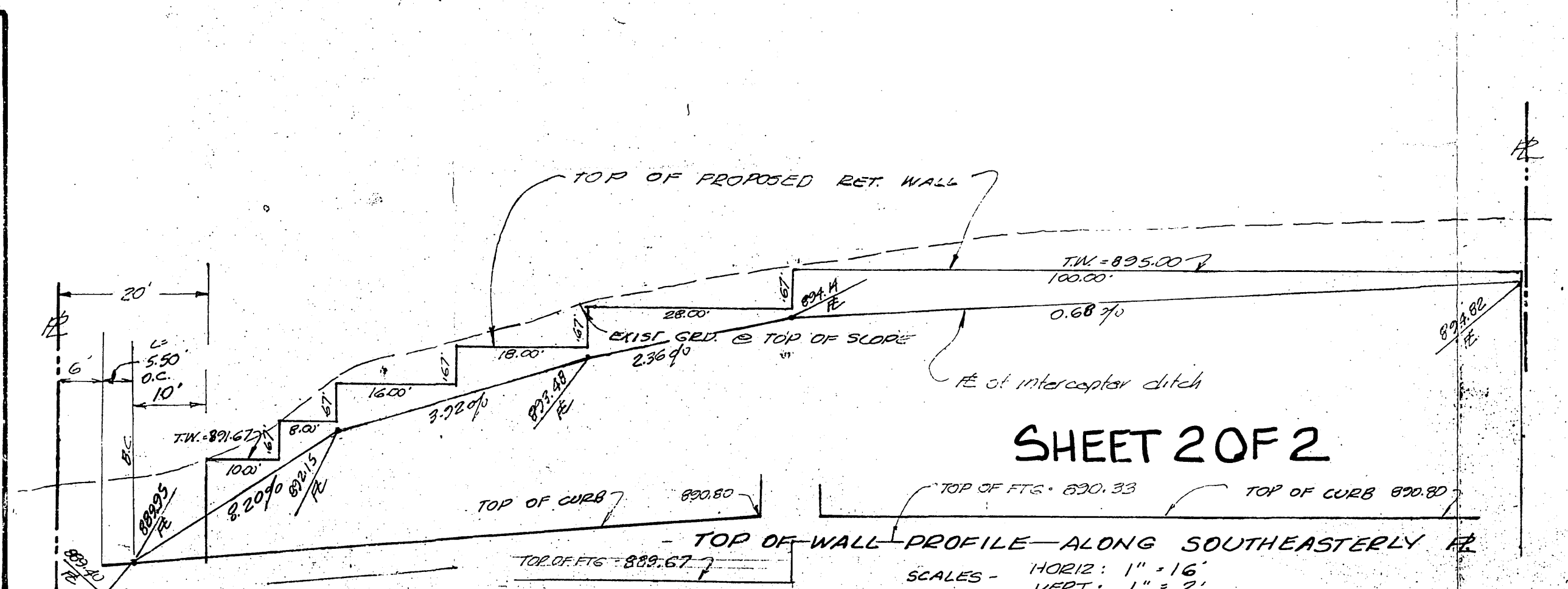


- #### CONSTRUCTION NOTES & ESTIMATE OF QUANTITIES
- | | | | |
|---|---|--------|------------|
| 1 | CONST. 2 1/2" A.C. / 4" A.S. | 16,900 | S.F. |
| 2 | CONST. SINGLE CURB PER DETAIL HEREON | 450 | L.F. |
| 3 | CONST. CURB & GUTTER PER DETAIL HEREON | 138 | L.F. |
| 4 | CONST. VALLEY GUTTER PER DETAIL HEREON | 500 | S.F. |
| 5 | CONST. DRIVEWAY APPROACH PER CITY STD. DRWG. NO. 302 | 350 | S.F. |
| 6 | REMOVE & DISPOSE OF EXISTING CURB & GUTTER | 59 | L.F. (MIN) |
| 7 | CONST. CURB & GUTTER PER CITY STD. DRWG. NO. 200-TYPE I (DEPRESSED FOR CONST. ITEM 5) | 59 | L.F. (MIN) |
| 8 | CONST. RETAINING WALL PER CITY STD. DRWG. NO. 708 | 363 | L.F. |
| 9 | CONST. INTERCEPTOR DITCH PER DETAIL HEREON | 195 | S.F. |



LEGEND

B.W.	BACK OF WALL
F.F.	FINISHED FLOOR
E.G.	EXISTING GRADE
FL or FE	FLOW LINE
F.S.	FINISHED SURFACE
G.B.	GRADE BREAK
INV.	INVERT
H.P.	HIGH POINT
T.C.	TOP OF CURB
T.W.	TOP OF WALL
(887.4) OR (887.4)	EXISTING SPOT ELEVATION
887.40	DESIGN ELEVATION
→	DIRECTION OF FLOW
▬	EDGE OF PAVEMENT
▬	PROPOSED WALL
▬	EXISTING WALL
▬	TOP OF SLOPE
▬	TOE OF SLOPE
▬	FINISHED GRADE
▬	PAVEMENT



EARTHWORK

CUT - 485 C.Y.
FILL - 1390 C.Y.
(ALLOWS FOR 00 INITIAL SETTLEMENT AND 15% COMPACTION)
NOTE: THE EARTHWORK QUANTITIES MAY VARY DEPENDING ON THE INITIAL COMPACTION OF THE EXISTING SOILS AND DEGREE OF COMPACTION OF THE FILL. THE QUANTITY ESTIMATE HEREON DOES NOT INCLUDE REMOVE OR REMOVAL OF UNSUITABLE MATERIAL. CONTRACTOR SHALL ESTIMATE THESE ITEMS AND MAKE AN ALLOWANCE FOR THEM IN HIS BID.

BENCH MARK: F.S.-1, F.D. RE. MAIL IN TOP OF CURB AT CENTER OF N.E. LY CURB RETURN AT LINCOLN ST. ENTRANCE TO MUNICIPAL CORPORATION YARD - ELEV. 882.02A (1/8 8/28/82)

PLANNING DEPARTMENT APPROVAL		DATE	SCALE
JOB SITE ADDRESS: GRADING PLAN FOR LOT 10 OF TRACT NO. 13550		DATE	SCALE
SMITLEY & ASSOCIATES		DATE	SCALE
P. O. BOX 249		DATE	SCALE
ORANGE, CALIFORNIA 92666		DATE	SCALE
TEL. (714) 633-9941		DATE	SCALE
APPROVED:	DATE	SCALE	
DRAWN:	DATE	JOB NO.	
CHECKED: Harry E. Smitley	4/12/85	286	
REVISIONS:		SHEET	
		1 OF 1	