

ENCROACHMENT PERMIT

Pursuant to Resolution No. 11065 of the City of Riverside, permission is hereby granted to Mike D. and Carol E. Munaretto  
6350 Hawarden Drive  
Riverside, CA 92506

their heirs and assigns, hereinafter referred to as "Permittee" to use and occupy the following described property. A portion of the Public Right of Way of Hawarden Drive between Horace Street and Rawburn Drive as shown by the attached Exhibit "A"

in accordance with the terms hereof.

1. Permittee shall use and occupy the described property only in the manner and for the purposes as follows: Construction and maintenance of Block Retaining Walls and a Concrete Driveway encroaching into the Public Street, but not within 12 feet of center line, as shown on Sht. 2 of the attached Exhibit "A".

1a. Permittee or his contractor shall obtain all necessary construction permits from the Public Works Department.

2. Permittee, by acceptance of the benefits hereunder, acknowledges title to the property to be in the City of Riverside and waives any right to contest the validity of the dedication or grant.

3. Permittee acknowledges that the described property is the site of a proposed or planned public improvement and that, accordingly, all rights and privileges of use permitted shall cease and expire upon notice of revocation by the City. Upon the expiration or revocation, Permittee shall, within the time prescribed by the City, remove all improvements or obstructions placed, constructed or maintained by the Permittee. If the Permittee fails to abide by the removal order of the City within the time prescribed, the City shall have the right to remove and destroy the improvements without reimbursement to the Permittee and the cost of such removal shall be paid by the Permittee to the City of Riverside and shall constitute a debt owed to the City of Riverside.

4. Permittee, by acceptance hereof, waives the right of claim, loss, damage or action against the City of Riverside arising out of or resulting from revocation, termination, removal of the improvements or any action of the City of Riverside, its officers, agents or employees taken in accordance with the terms hereof.

5. Finding and determination by the City Council of the City of Riverside that the Permittee, or his heirs and assigns or successors in interest, are in default of the terms hereunder shall be cause for revocation.

6. Permittee herewith agrees to hold the City of Riverside harmless from and against all claims, demands, costs, losses, damages, injuries, action for damages and/or injuries, and liability growing or arising out of or in connection with the construction, encroachment, and/or maintenance to be done by Permittee or his agents, employees or contractors within the described property.

DATED: Nov. 20, 1985

CITY OF RIVERSIDE, a municipal corporation

By [Signature] Mayor

Attest [Signature] City Clerk

The foregoing is accepted by:

[Signature]  
(Signature(s) of Permittee)

[Signature]

APPROVED AS TO CONTENT

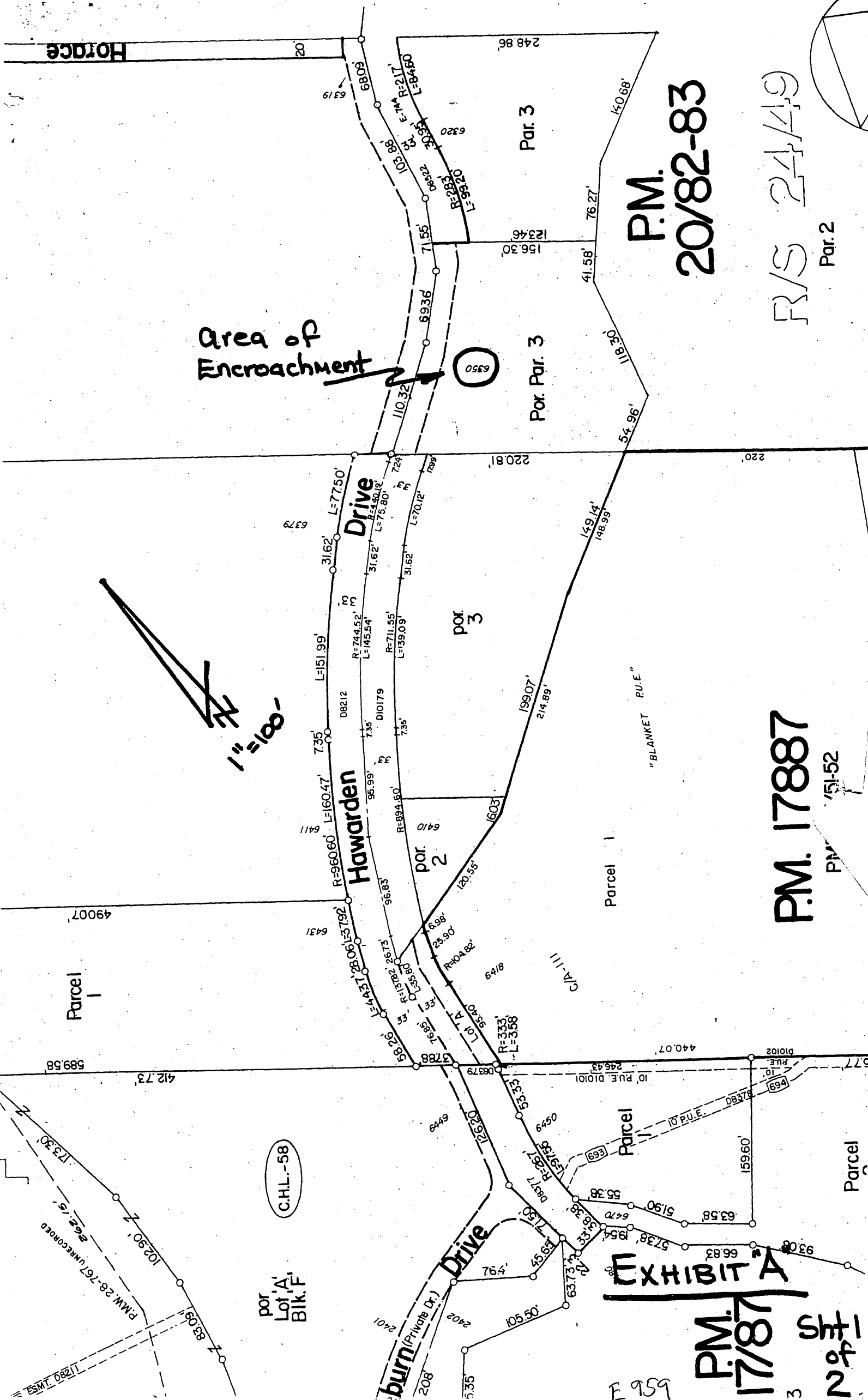
[Signature]  
Department Head

APPROVED AS TO FORM

[Signature]  
City Attorney

CITY MANAGER APPROVAL

[Signature]  
City Manager



Area of Encroachment

1" = 100'

C.H.L.-58

por Lot 'A', Bik. F.

P.M. 20/82-83

R/S 24/49

Par. 2

P.M. 17887

151-52

EXHIBIT A

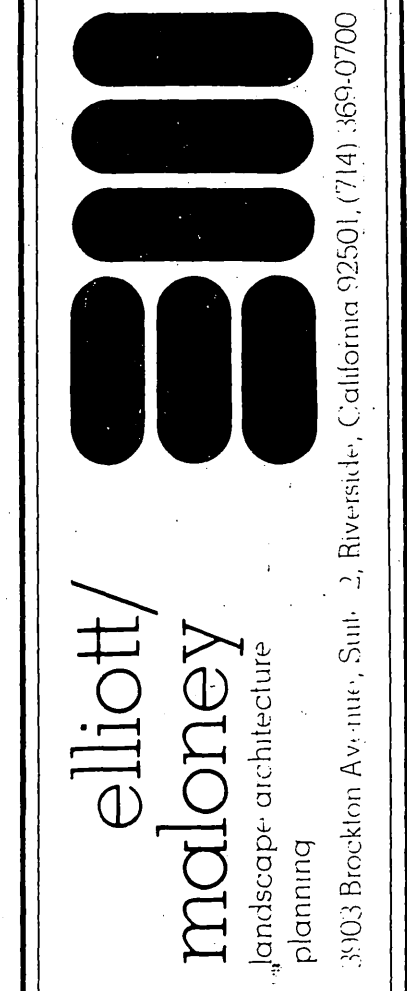
P.M. 17/87

1st 2nd 3rd

E 959

RECEIVED  
OCT 15 1985

DEPT. OF PUBLIC WORKS



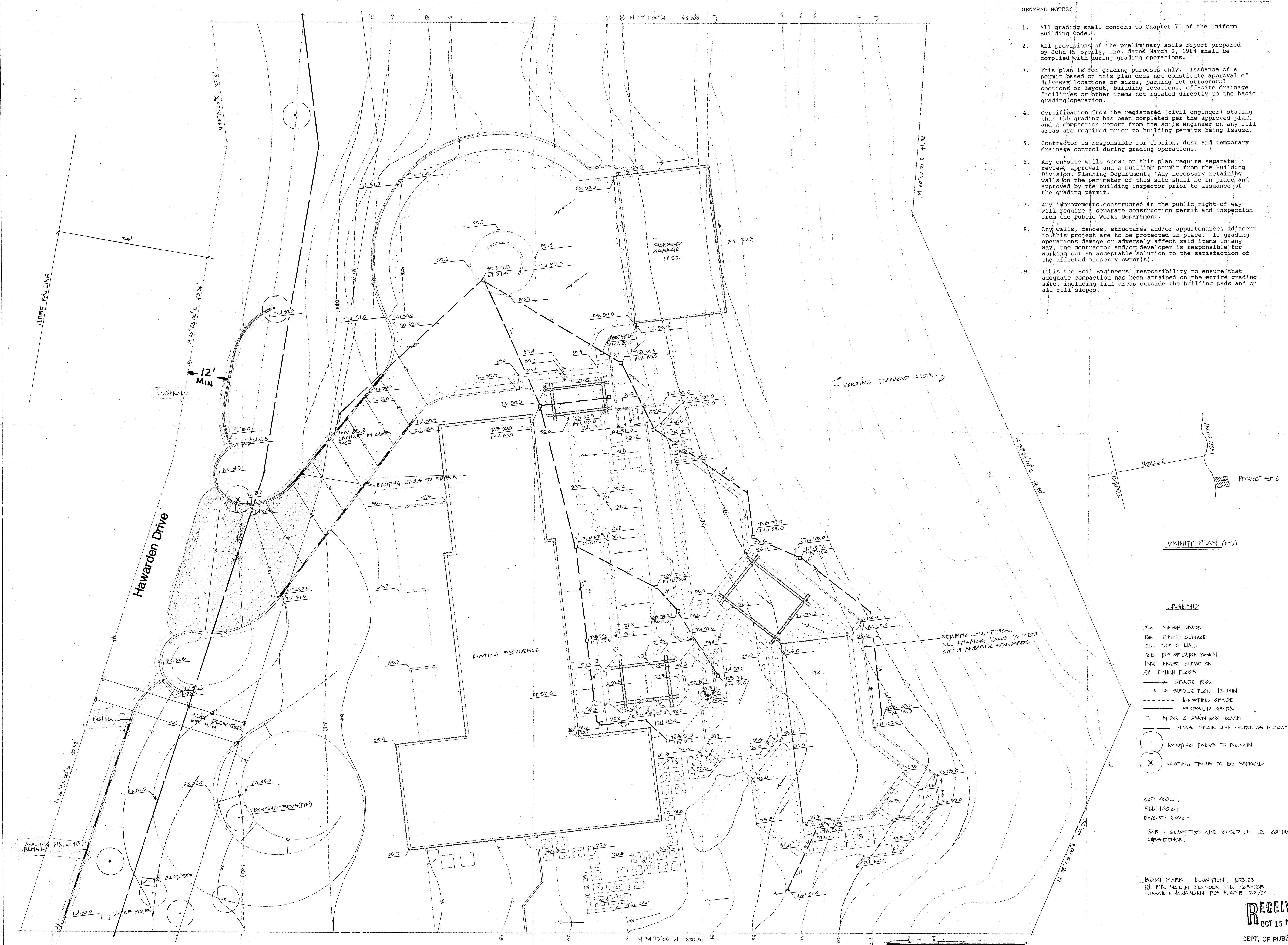
PROJECT  
**MUNARETTO RESIDENCE**  
4950 HAWARDEN DRIVE, RIVERSIDE, CA

SHEET DESCRIPTION  
**Grading Plan**

DATE: 7-22-85  
JOB NO: 85002  
DRAWN BY: T.L.M.  
CHECKED BY:  
REVISIONS:

SHEET:  
**1-1**  
OF

- GENERAL NOTES:
- All grading shall conform to Chapter 70 of the Uniform Building Code.
  - All provisions of the preliminary soils report prepared by John R. Byerly, Inc. dated March 2, 1984 shall be complied with during grading operations.
  - This plan is for grading purposes only. Issuance of a permit based on this plan does not constitute approval of driveway locations or sizes, parking lot structural sections or layout, building locations, off-site drainage facilities or other items not related directly to the basic grading operation.
  - Certification from the registered (civil engineer) stating that the grading has been completed per the approved plan, and a compaction report from the soils engineer on any fill areas are required prior to building permits being issued.
  - Contractor is responsible for erosion, dust and temporary drainage control during grading operations.
  - Any on-site walls shown on this plan require separate review, approval and a building permit from the Building Division, Planning Department. Any necessary retaining walls on the perimeter of this site shall be in place and approved by the building inspector prior to issuance of the grading permit.
  - Any improvements constructed in the public right-of-way will require a separate construction permit and inspection from the Public Works Department.
  - Any walls, fences, structures and/or appurtenances adjacent to this project are to be protected in place. If grading operations damage or adversely affect said items in any way, the contractor and/or developer is responsible for working out an acceptable solution to the satisfaction of the affected property owner(s).
  - It is the Soil Engineer's responsibility to ensure that adequate compaction has been attained on the entire grading site, including fill areas outside the building pads and on all fill slopes.



VICINITY PLAN (N.T.S.)

LEGEND

- F.G. FINISH GRADE
- F.S. FINISH SURFACE
- T.W. TOP OF WALL
- T.B. TOP OF CURB BASHIN
- INV. INVERT ELEVATION
- FF. FINISH FLOOR
- GRADE FLOW
- SURFACE FLOW 1/2 MIN.
- EXISTING GRADE
- PROPOSED GRADE
- N.D.S. 6" DRAIN BOX - BLACK
- N.D.S. DRAIN LINE - SIZE AS INDICATED
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED

CUT: 400 CY.  
FILL: 140 CY.  
EXPORT: 240 CY.

EARTH QUANTITIES ARE BASED ON .20 COMPACTION & SUBSIDENCE.

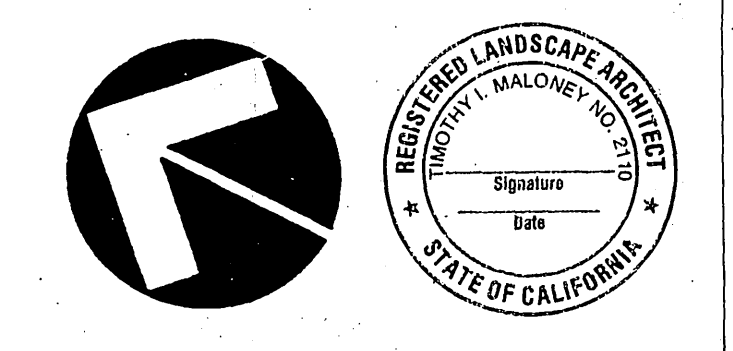
BENCH MARK - ELEVATION 1073.23  
E3, P.A. MAIL IN BIG ROCK HILL CORNER  
HORSE & HAWARDEN PER R.G.F.S. 701/24

RECEIVED  
OCT 15 1985  
DEPT. OF PUBLIC WORKS PRINT

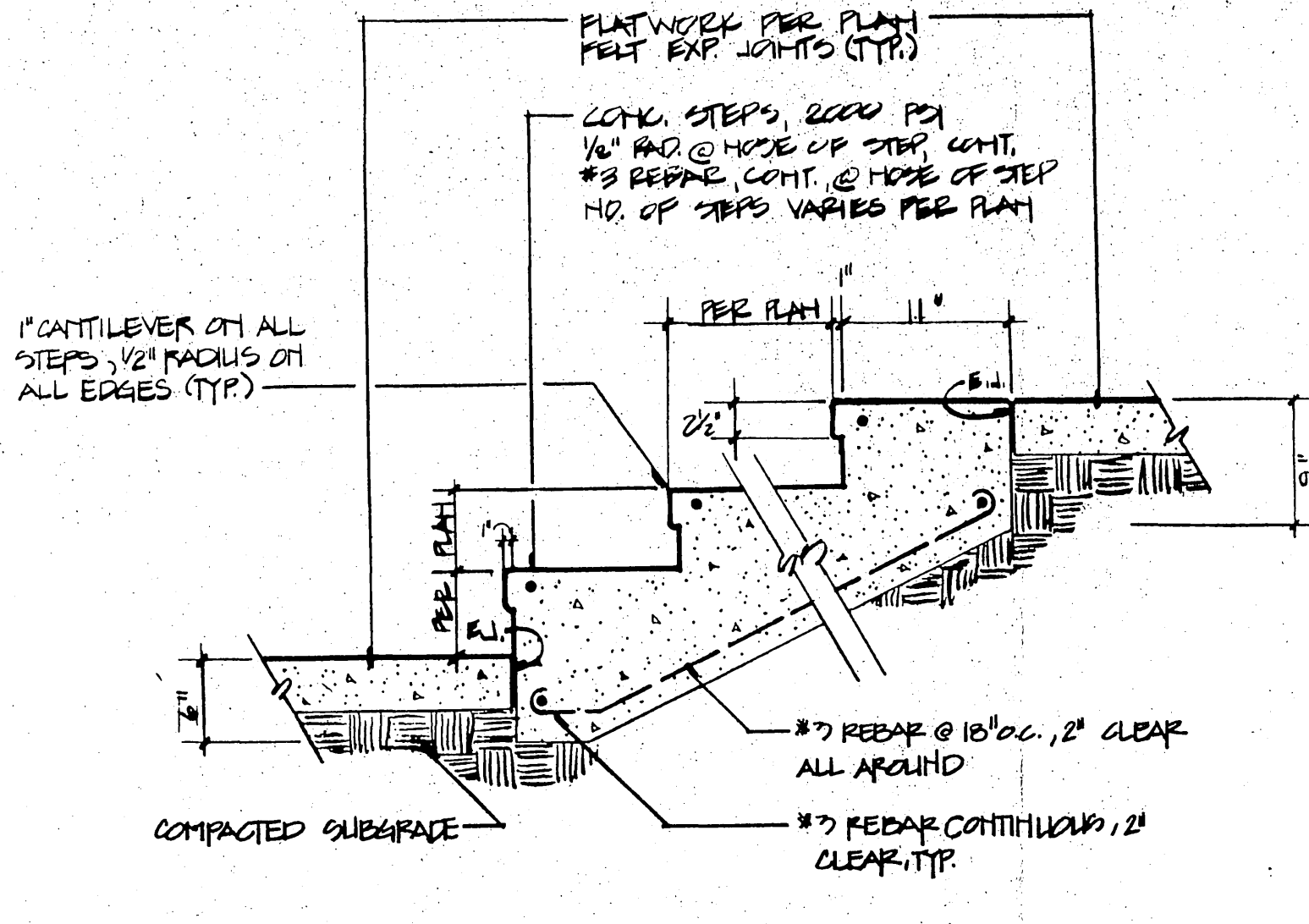
**MORTON ENGINEERING**  
22858 PALM AVENUE, GRAND TERRACE, CALIF. 92324  
(714) 783-0189  
James R. Horton, July 30, 1985  
James R. Horton, R.C.E. 11436

JAMES R. HORTON R.C.E. 11436  
22858 PALM AVENUE  
GRAND TERRACE, CA 92324  
(714) 783-0189

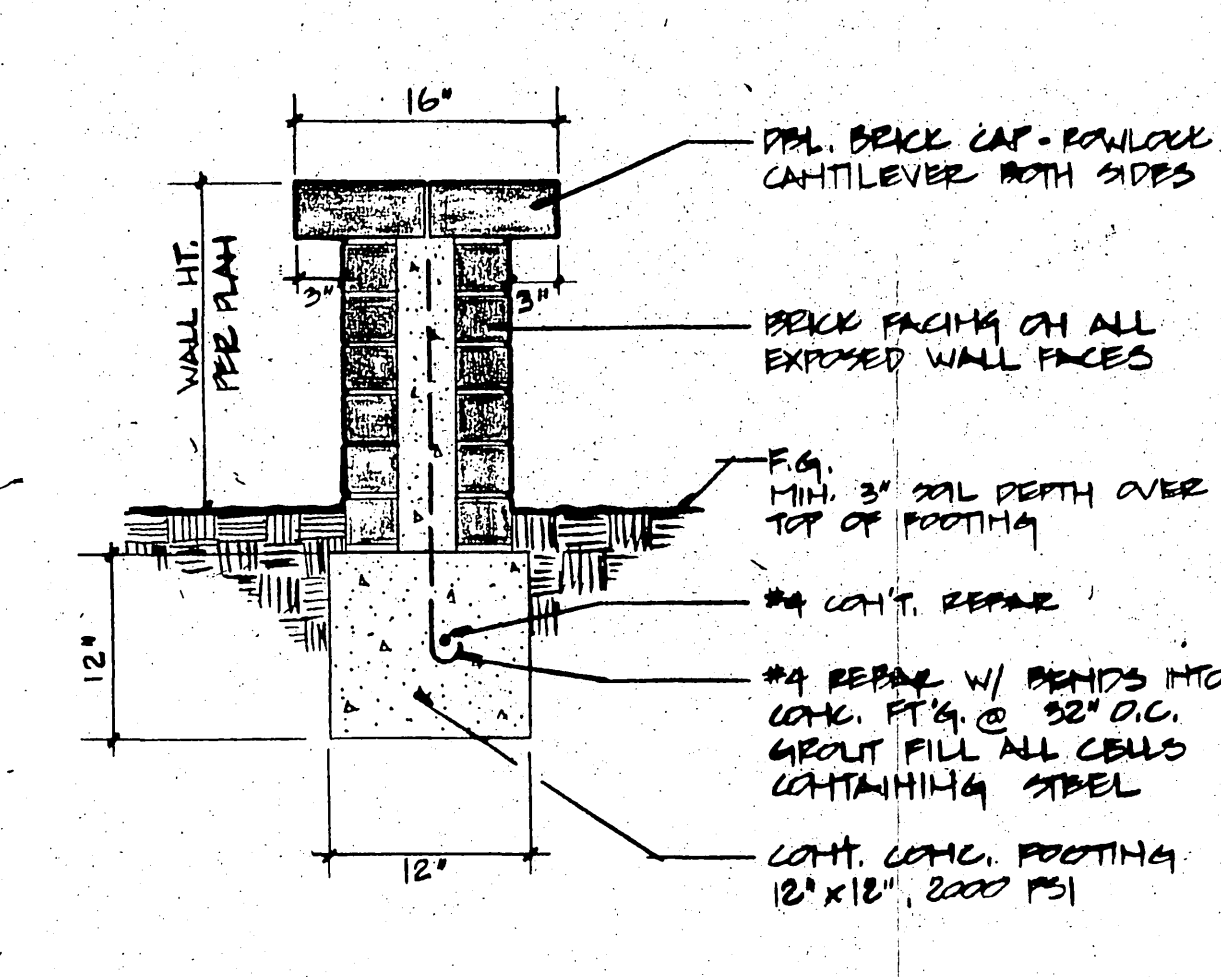
SCALE 1/8" = 20'-0"



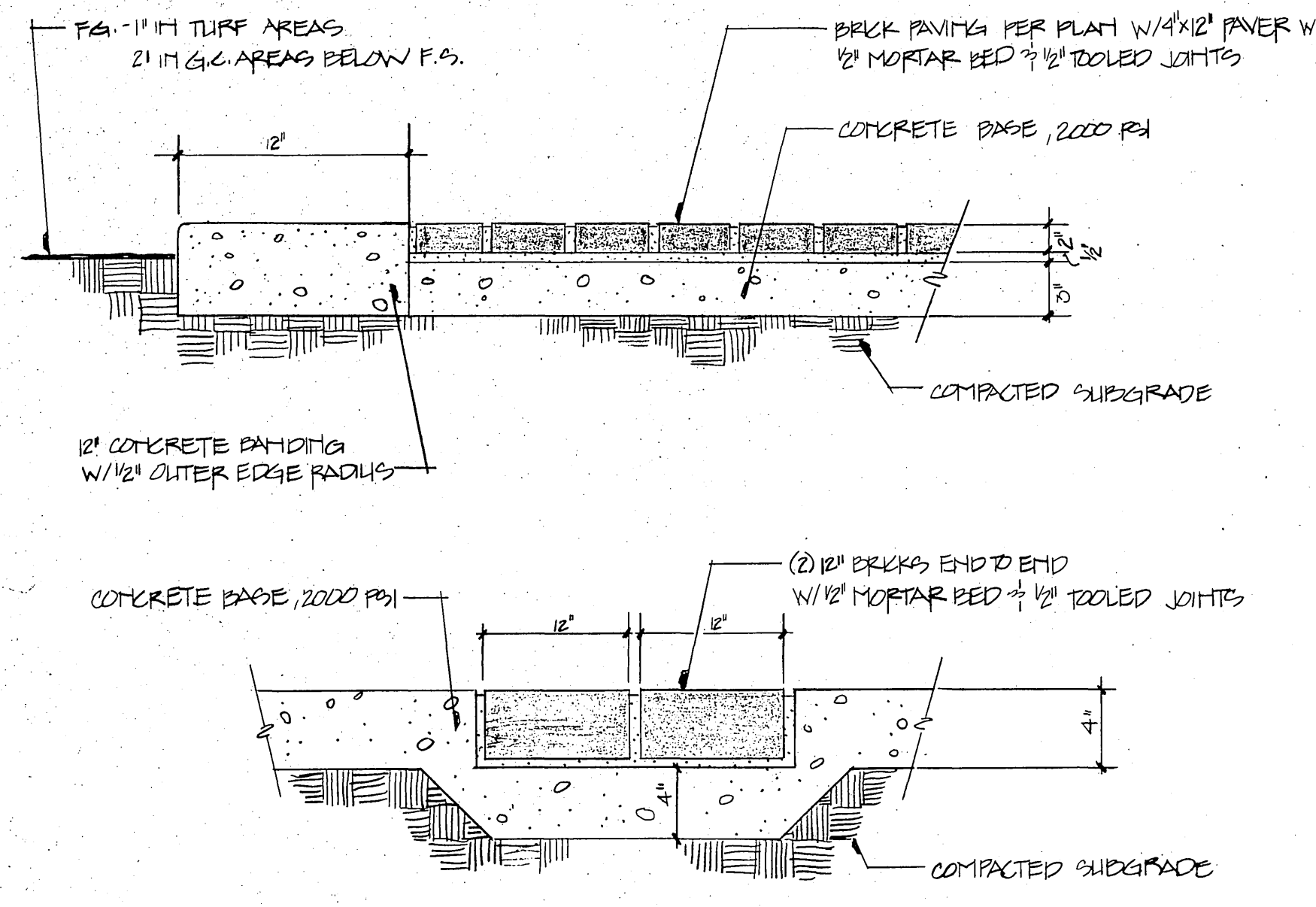
APPROVED: \_\_\_\_\_  
CITY OF RIVERSIDE PLANNING DEPT. DATE



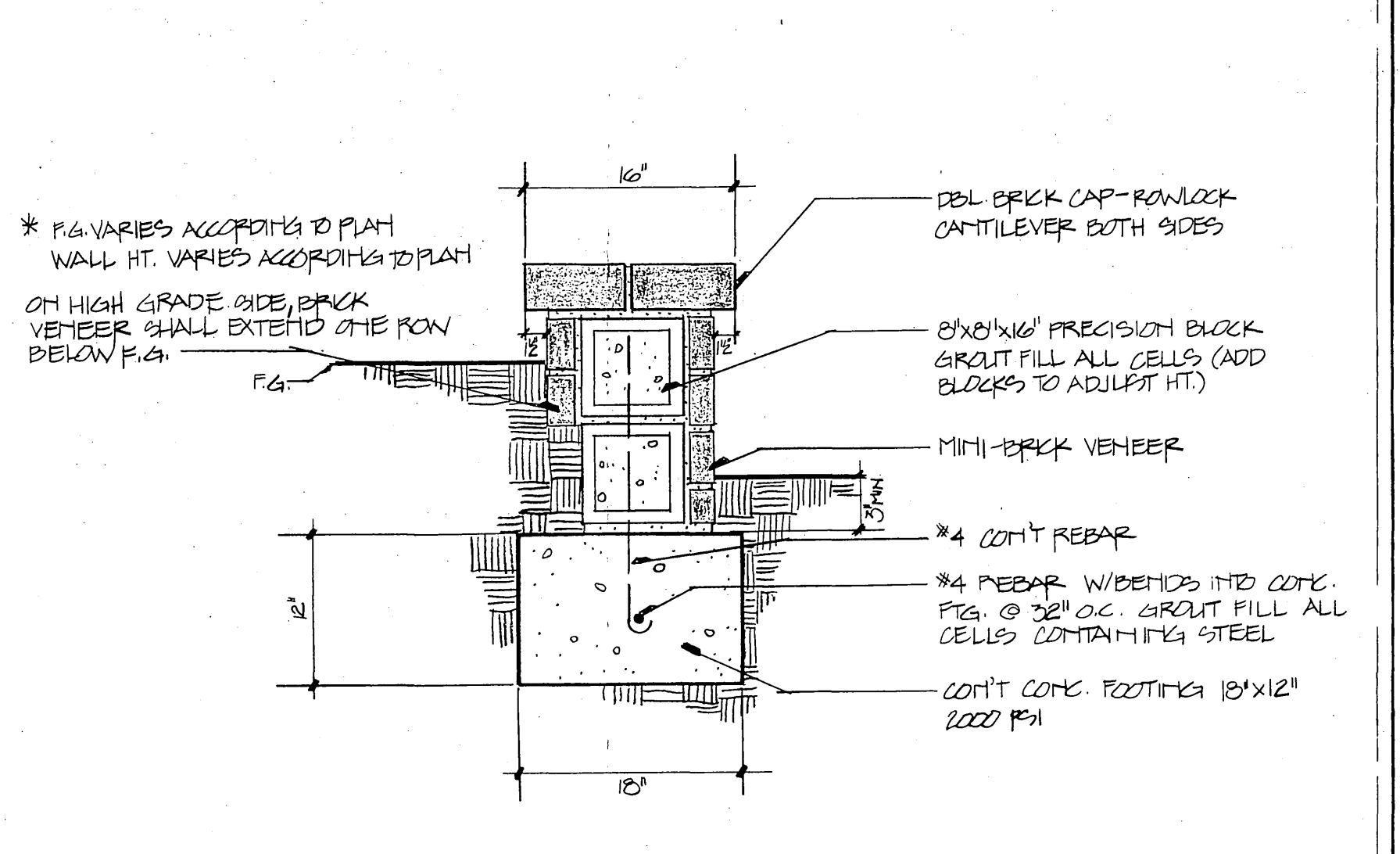
**A CONCRETE STEPS**



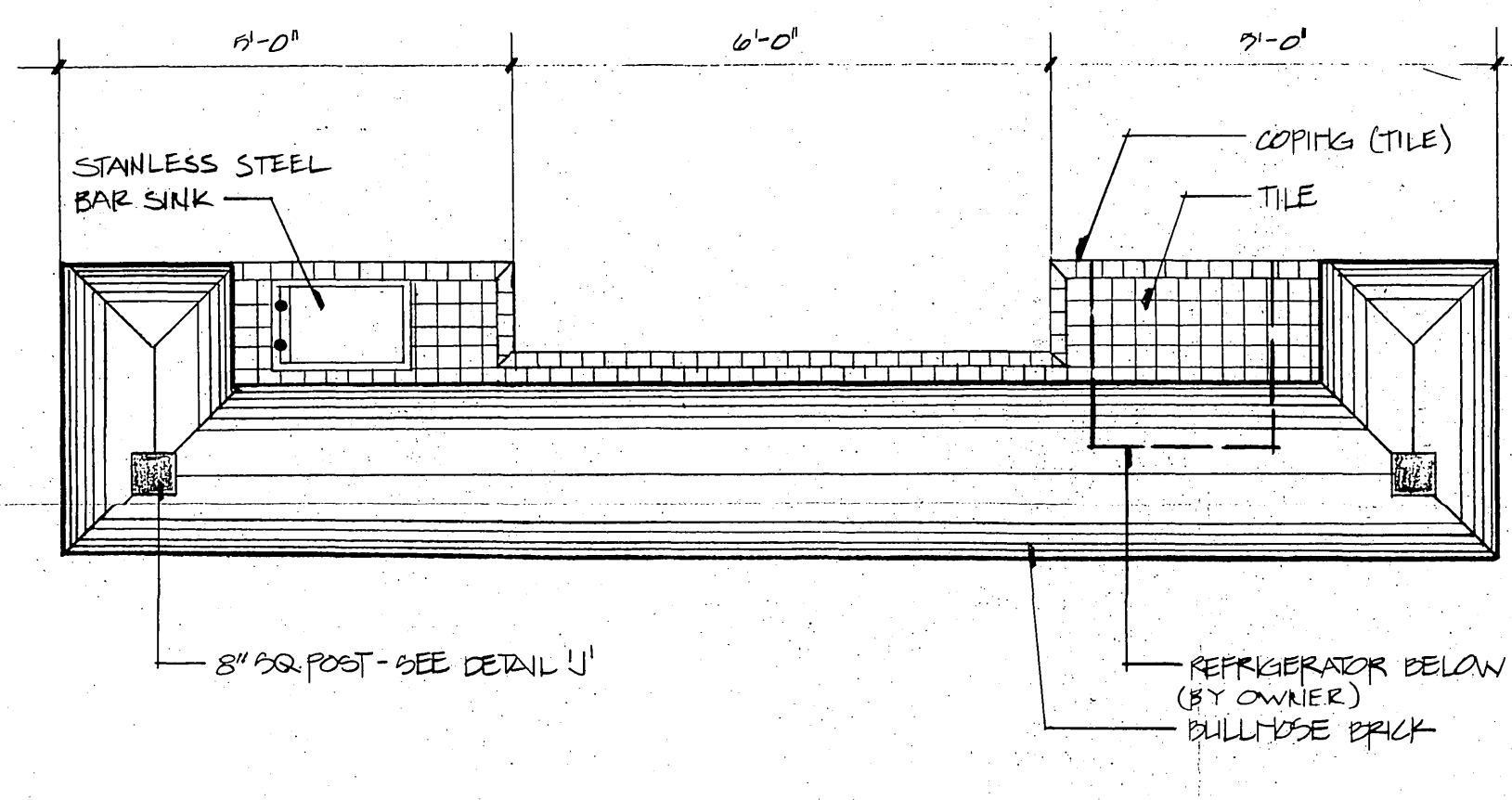
**B BRICK SEAT WALL**



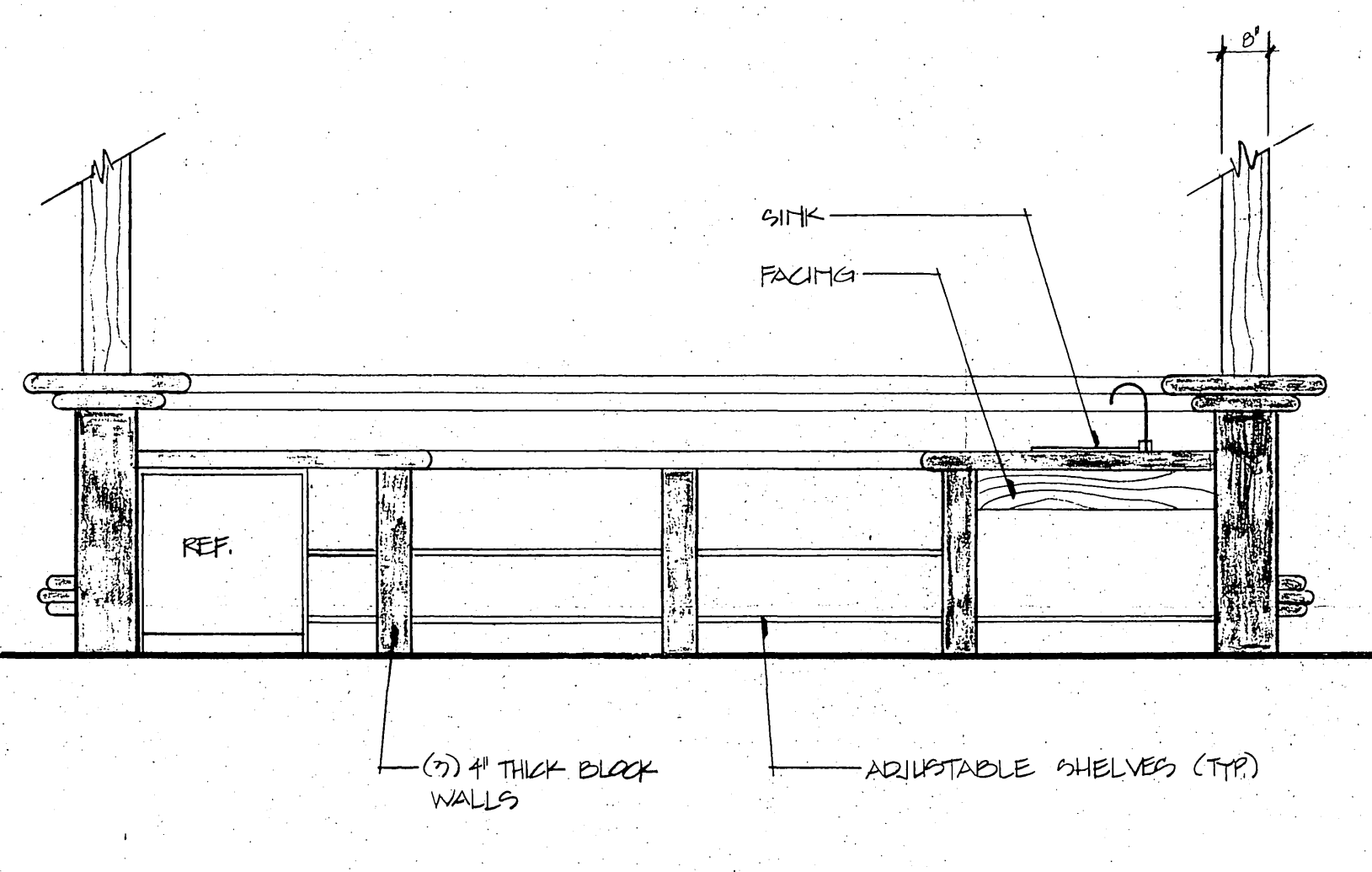
**C BRICK PAVING & BANDING**



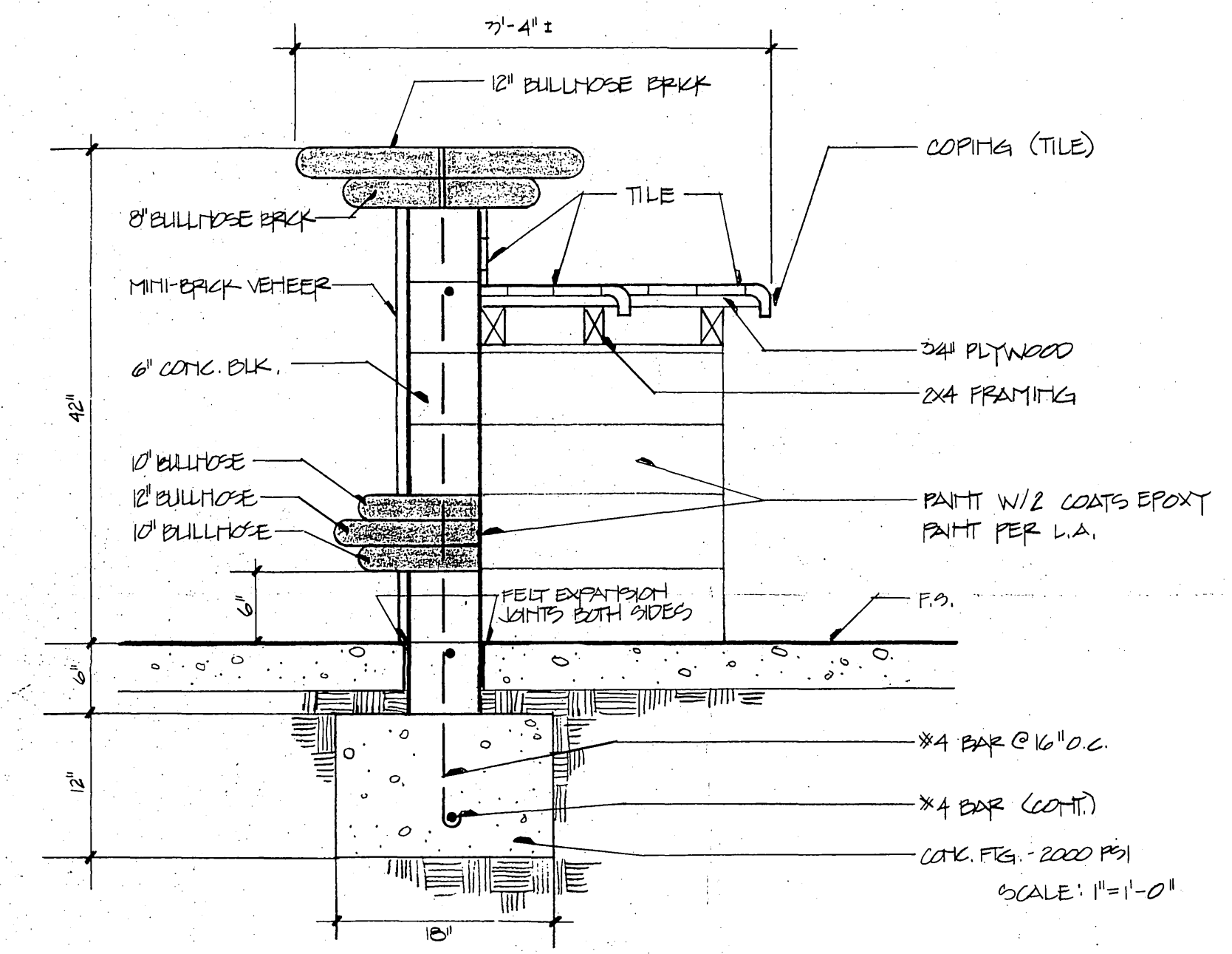
**D BRICK GARDEN WALL**



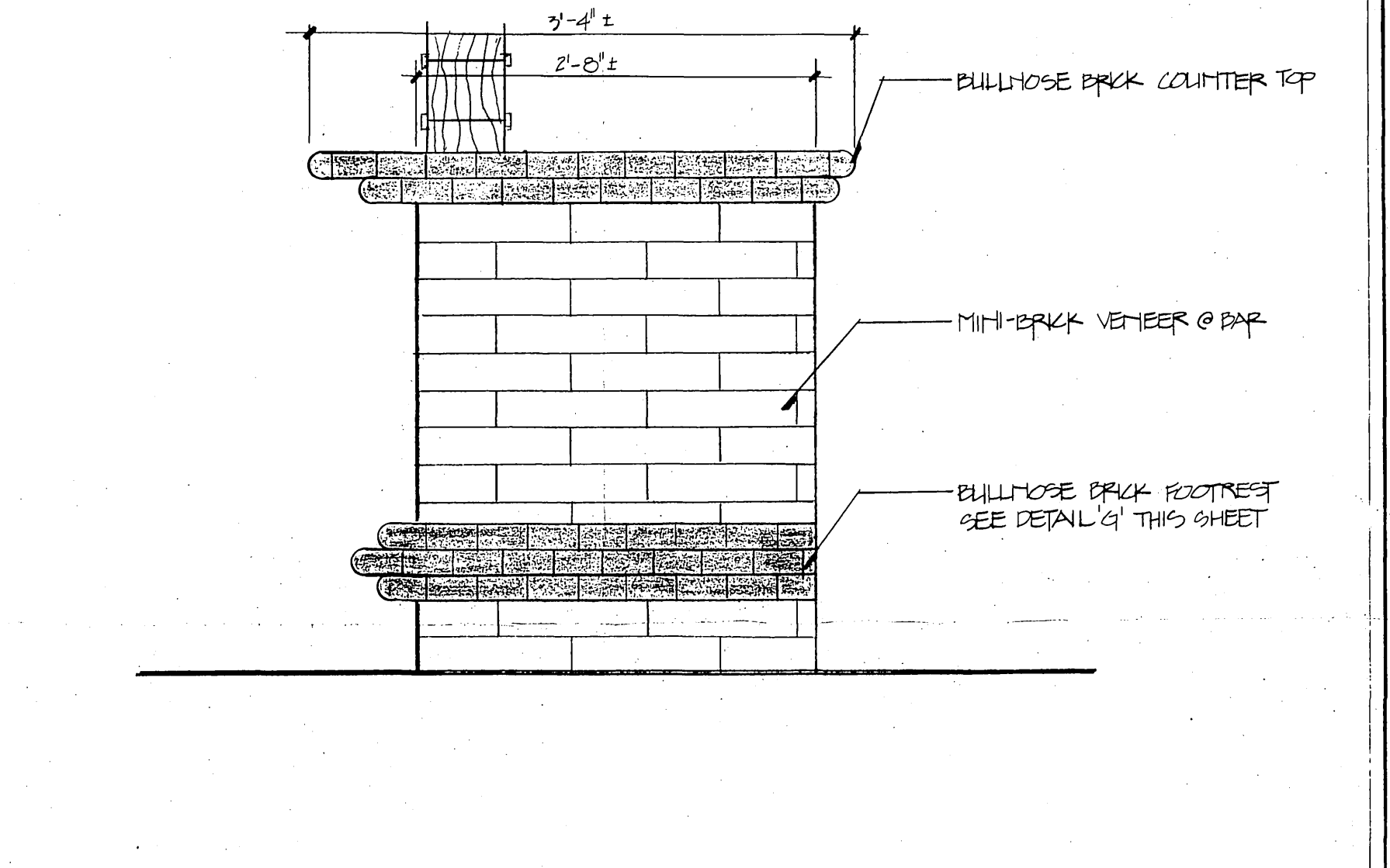
**E BAR-PLAN VIEW**



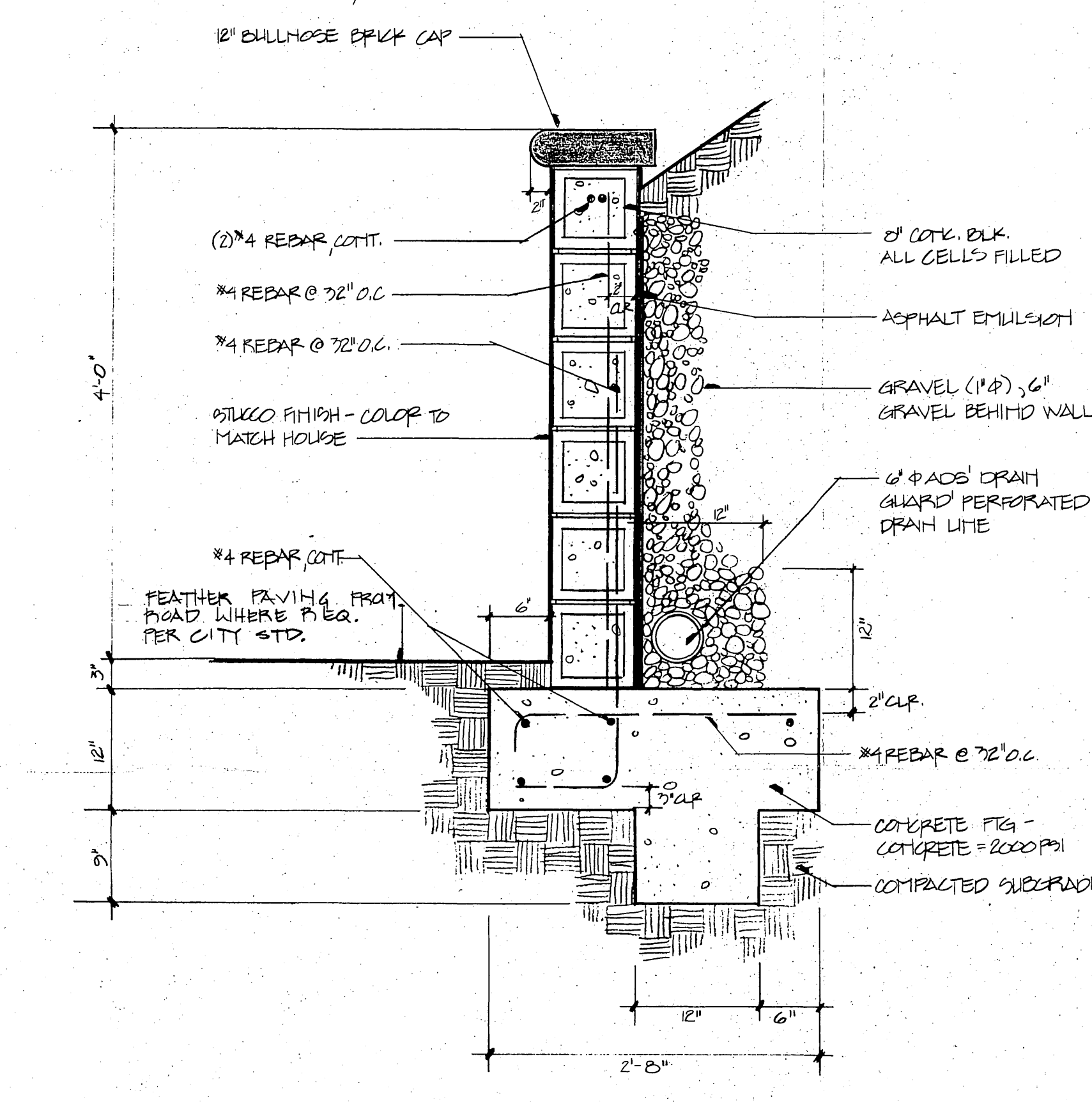
**F BAR-REAR ELEVATION**



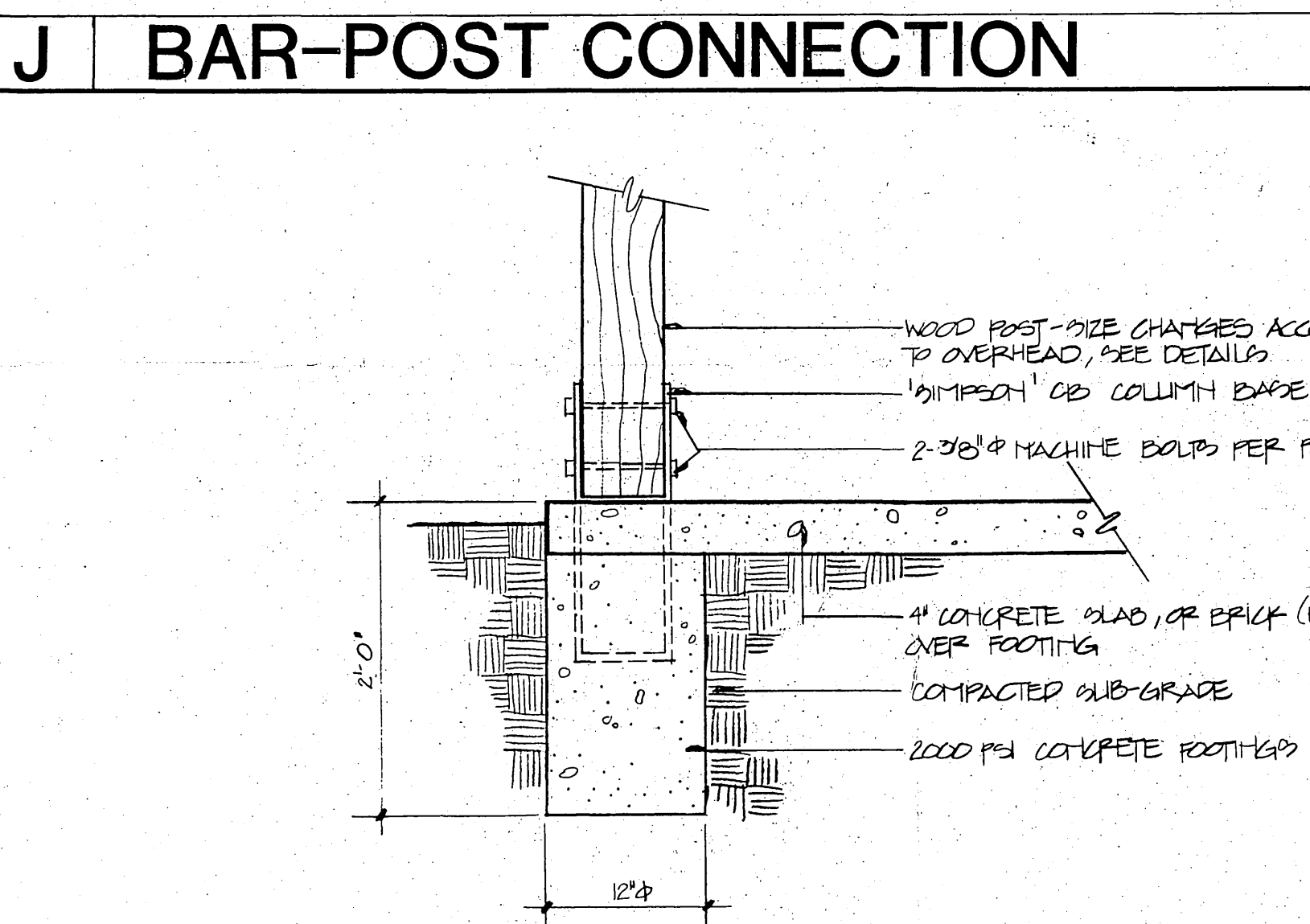
**G BAR-SECTION**



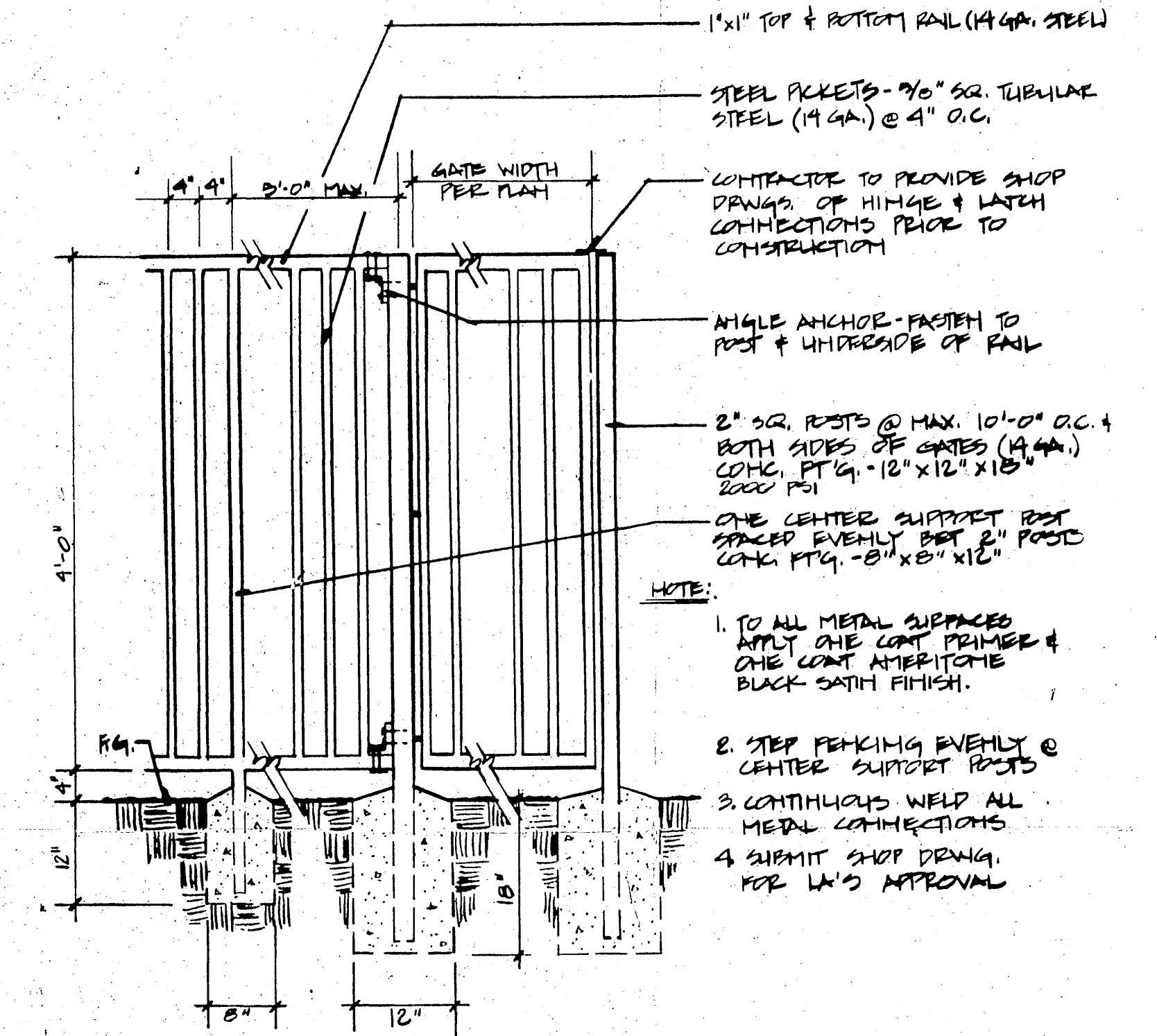
**H BAR-END SIDE VIEW**



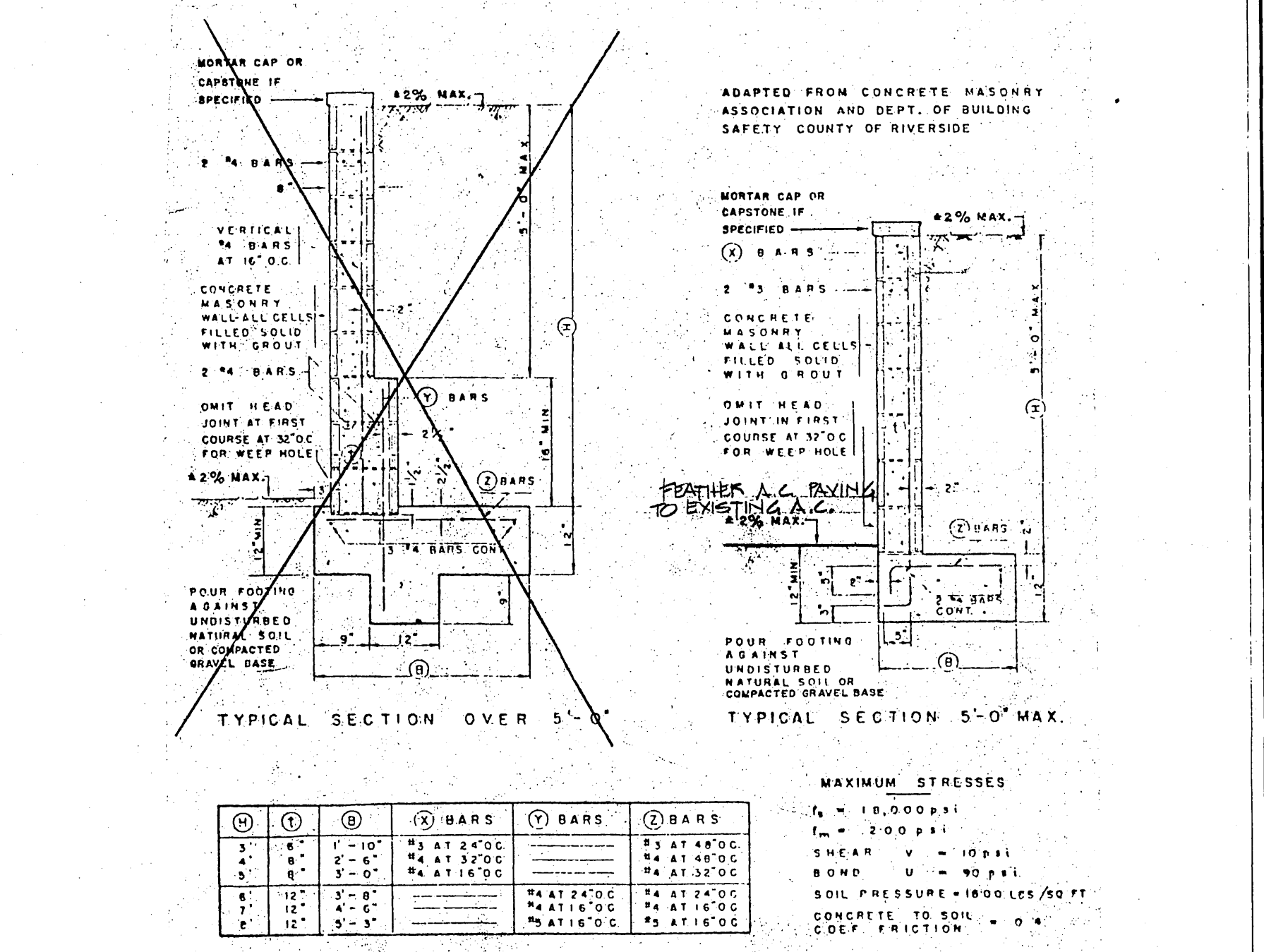
**I RETAINING WALL**



**K OVERHEAD POST TO PAVING**



**L WROUGHT IRON FENCE & GATE**



**M RETAINING WALL**

EXHIBIT "B"  
SHEET 2 OF 2

Phase II Phase I



- GENERAL NOTES:
- All grading shall conform to Chapter 70 of the Uniform Building Code.
  - All provisions of the preliminary soils report prepared by John R. Byerly, Inc. dated March 2, 1984 shall be complied with during grading operations.
  - This plan is for grading purposes only. Issuance of a permit based on this plan does not constitute approval of driveway locations or sizes, parking lot structural sections or layout, building locations, off-site drainage facilities or other items not related directly to the basic grading operation.
  - Certification from the registered (civil engineer) stating that the grading has been completed per the approved plan, and a compaction report from the soils engineer on any fill areas are required prior to building permits being issued.
  - Contractor is responsible for erosion, dust and temporary drainage control during grading operations.
  - Any on-site walls shown on this plan require separate review, approval and a building permit from the Building Division, Planning Department. Any necessary retaining walls on the perimeter of this site shall be in place and approved by the building inspector prior to issuance of the grading permit.
  - Any improvements constructed in the public right-of-way will require a separate construction permit and inspection from the Public Works Department.
  - Any walls, fences, structures and/or appurtenances adjacent to this project are to be protected in place. If grading operations damage or adversely affect said items in any way, the contractor and/or developer is responsible for working out an acceptable solution to the satisfaction of the affected property owner(s).
  - It is the Soil Engineers' responsibility to ensure that adequate compaction has been attained on the entire grading site, including fill areas outside the building pads and on all fill slopes.
- Contractor shall visit the site to verify items to be demolished and removed from the site in a legal manner. Demolition to include but not be limited to: retaining walls, concrete, brick work, fencing, tree and shrub removal, etc. Coordinate architectural demolition and landscape demolition.

NOTE:  
ALL WALLS TO BE CONSTRUCTED IN FULL OF HAWARDEN DRIVE SHALL BE CONSTRUCTED APPROX. 3.5 FEET FROM R.L.  
WALL LOCATION SHALL BE DETERMINED TO BE CONSTRUCTED 5' FROM THE R.L. OF THE EXISTING PALM TREES

FEATHER ASPHALT PAVING BACK TO NEW WALLS. PAVING PER CITY STD.

EXISTING WALL TO BE REMOVED

EXISTING TREES (TYP) TO REMOVE

EXISTING WALL TO REMAIN

VELOCITY PLAN (H.T.)

LEGEND

- FA FINISH GRADE
- FS FINISH SURFACE
- T.W. TOP OF WALL
- T.B. TOP OF CURB BOUND
- INV. INVERT ELEVATION
- FF FINISH FLOOR
- GRADE FLOW
- SURFACE FLOW 1% MIN.
- EXISTING GRADE
- PROPOSED GRADE
- M.D.S. STORM BOX - BLACK
- M.D.S. DRAIN LINE - SIZE AS INDICATED
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED

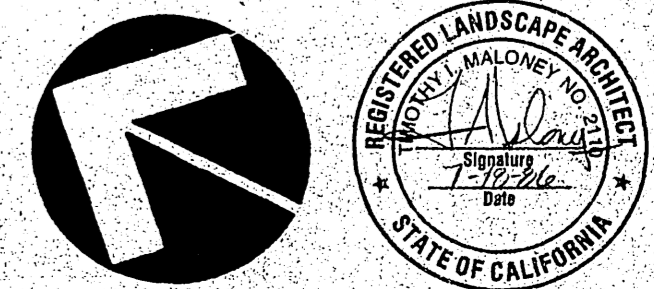
CUT: 400 CY.  
FILL: 140 CY.  
EXPORT: 260 CY.  
EARTH QUANTITIES ARE BASED ON .20 COMPACTION + RESIDENCE.  
EXPORT TO BE PLACED AT: 2051 GRANITE HILL, MIWA LOMA

BENCH MARK: ELEVATION 1073.23  
P.G. P.N. IN BIG ROCK N.W. CORNER  
HORACE + HAWARDEN PER R.C.F.S. 7/16/84

APPROVED: Kathleen Sab  
CITY OF RIVERSIDE PLANNING DEPT  
DATE: 7-14-86

**HORTON ENGINEERING**  
2285 PALM AVENUE, GRAND TERRACE, CALIF. 92324  
(714) 783-0188  
James R. Horton, R.C.E. 11436  
Date: Aug 30, 1985

JAMES R. HORTON, R.C.E. 11436  
2285 PALM AVENUE  
GRAND TERRACE, CA 92324  
(714) 783-0188



**elliott/maloney**  
landscape architecture  
planning  
350 Biscan Avenue, Suite 2, Riverside, California 92501 (714) 359-0700

**MUNARETTO RESIDENCE**  
PROJECT: 2285 PALM AVENUE, RIVERSIDE, CA

RECEIVED SEP 11 1986  
DEPT. OF PUBLIC WORKS

Grading Plan

DATE: 7-14-85  
JOB NO: 85002  
DRAWN BY: T.L.M.  
CHECKED BY:  
REVISIONS:

SHEET: L-1 OF 8

SEP 11 1985

EXHIBIT #B1

SUPPLEMENT AND REVISION TO  
ENCROACHMENT PERMIT E-959

That certain Encroachment Permit executed November 20, 1985, is hereby revised and modified to change the location of the block retaining walls and concrete driveway to be in accordance with Exhibit "B", attached hereto. Exhibit "B" supercedes Exhibit "A" sheet 2 of 2.

This revision shall apply to item 1 of said Encroachment Permit. All other terms and conditions shall remain in effect.

THE FOREGOING MODIFICATION AND REVISION IS APPROVED AS TO  
CONTENT

William D. Gardner 10-6-86  
(Department Head)

Mahe B. Munro  
(Signatures of Permittees)

Cawl E. Munro